

**Notice of Meeting for the  
Historic and Architectural Review Commission  
of the City of Georgetown  
July 22, 2021 at 6:00 PM  
at 510 W. 9th Street Georgetown, Texas 78626 Council and Courts Building**

The City of Georgetown is committed to compliance with the Americans with Disabilities Act (ADA). If you require assistance in participating at a public meeting due to a disability, as defined under the ADA, reasonable assistance, adaptations, or accommodations will be provided upon request. Please contact the City Secretary's Office, at least three (3) days prior to the scheduled meeting date, at (512) 930-3652 or City Hall at 808 Martin Luther King Jr. Street, Georgetown, TX 78626 for additional information; TTY users route through Relay Texas at 711.

**The Historic and Architectural Review Commission (HARC) is now meeting in person. A quorum of the HARC will be in attendance at the Council and Courts Building, 510 W 9th St., Georgetown, TX 78626. It is possible that one or more board members may attend via video conference using the Zoom client.**

**To allow for as much citizen participation as possible, citizen comments are accepted either in person or via the Zoom client.**

**Face masks are encourage. Use of profanity, threatening language, slanderous remarks or threats of harm are not allowed and will result in you being immediately removed from the meeting.**

**If you have questions or need assistance, please contact the Planning Department at [planning@georgetown.org](mailto:planning@georgetown.org) or at 512-930-3575.**

**To participate virtually, please copy and paste the following weblink into your browser:**

**<https://bit.ly/3ze0xEq>  
Meeting ID: 952-3567-8847  
Passcode: 309523**

**Or by phone: (Toll-Free) 833-548-0282, 346-248-7799**

**Citizen comments are accepted in the following formats:**

- Submit written comments to [mirna.garcia@georgetown.org](mailto:mirna.garcia@georgetown.org) by 5p.m. on the date of the meeting and the Recording Secretary will forward your comments to the board before the meeting.**
- Log onto the meeting at the link above and 'raise' your hand during the**

**item, or attend the meeting and sign-up to speak in-person for an item posted on the agenda.**

**To join a Zoom meeting, click on the link provided and join as an attendee. You will be asked to enter your name and email address (this is so we can identify you when you are called upon). To speak on an item, click on the 'raise your hand' option at the bottom of the Zoom meeting webpage once that item has opened. When you are called upon by the Recording Secretary, your device will be remotely un-muted by the Administrator and you may speak for three minutes. Please state your name clearly, and when your time is over, your device will be muted again.**

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## **Regular Session**

(This Regular Session may, at any time, be recessed to convene an Executive Session for any purpose authorized by the Open Meetings Act, Texas Government Code 551.)

- A Discussion on how the Historic and Architectural Review Commission virtual conference will be conducted, to include options for public comments and how the public may address the Commission -- Sofia Nelson, CNU-A, Planning Director
- B The Historic and Architectural Review Commission, appointed by the Mayor and the City Council, is responsible for hearing and taking final action on applications, by issuing Certificates of Appropriateness based upon the City Council adopted Downtown Design Guidelines and Unified Development Code.

### **Welcome and Meeting Procedures:**

- Staff Presentation
- Applicant Presentation (Limited to ten minutes unless stated otherwise by the Commission.)
- Questions from Commission to Staff and Applicant
- Comments from Citizens\*
- Applicant Response
- Commission Deliberative Process
- Commission Action

\* Once staff and the applicant have addressed questions from the Commissioners, the Chair of the Commission will open the public hearing. The chair will ask if anyone would like to speak. To speak, click on the "Raise Your Hand" option at the bottom of the Zoom meeting webpage. Your device will be remotely un-muted and you may speak for three minutes. Please state your name and address clearly. A speaker may allot their time to another speaker for a maximum of 6 minutes. If a member of the public wishes to allot their time to another speaker, they may do so when their name is called by the Chair. Please remember that all comments and questions must be addressed to the Commission, and please be patient while we organize the speakers during the public hearing portion. When your time is over, your device will be muted again.

•After everyone who has asked to speak has spoken, the Chair will close the public hearing and provide a few minutes of rebuttal time to the applicant if they so choose.



## Public Wishing to Address the Board

On a subject that is posted on this agenda: Please fill out a speaker registration form which can be found at the Board meeting. Clearly print your name, the letter of the item on which you wish to speak, and present it to the Staff Liaison, preferably prior to the start of the meeting. You will be called forward to speak when the Board considers that item.

On a subject not posted on the agenda: Persons may add an item to a future Board agenda by filing a written request with the Staff Liaison no later than one week prior to the Board meeting. The request must include the speaker's name and the specific topic to be addressed with sufficient information to inform the board and the public. For Board Liaison contact information, please logon to <http://government.georgetown.org/category/boards-commissions/>.

C At the time of posting, no persons had signed up to address the Board.

## Legislative Regular Agenda

- D Consideration and possible action to approve the minutes from the July 8, 2021 workshop and the regular meeting of the Historic and Architectural Review Commission. - Mirna Garcia, Program Manager
- E **Public Hearing and Possible Action** on a request for a **Certificate of Appropriateness** for additions that create a new, or add to an existing street facing façade; replacing a historic architectural feature with a non-historic architectural feature; and a 10'-0" setback encroachment into the required 25'-0" street-facing garage setback for the construction of a detached garage 15'-0" from the side street (south) property line at the property located at 1312 Elm Street, bearing the legal description 0.3888 acres being a portion of the south half of Block B, Hughes Second Addition. – Britin Bostick, Downtown & Historic Planner
- F **Conceptual review** of a request for a **Certificate of Appropriateness** (COA) for an addition that creates a new, or adds to an existing street facing façade and the replacement of a historic architectural feature with a non-historic architectural feature at the property located at 1808 Knight Street, bearing the legal description Lots 3 & 4, Block 5, Eubank Addition. – Britin Bostick, Downtown & Historic Planner
- G **Public Hearing and Possible Action** on a request for a **Certificate of Appropriateness** (COA) for additions that create a new, or add to an existing street facing façade and replacing a historic architectural feature with a non-historic architectural feature at the property located at 1505 Olive Street, bearing the legal description 0.345 acres in Block 40, Snyder Addition. - Britin Bostick, Downtown & Historic Planner
- H **Public Hearing and Possible Action** on a request for a **Certificate of Appropriateness** (COA) for an addition that creates a new, or adds to an existing street facing façade and replacing a historic architectural feature with a non-historic architectural feature at the property located at 701 E. 15th Street, bearing the legal description 0.33 acres out of the William Addison Survey, Abstract No. 21, also being known as a part of Block 96, Dimmitt Addition, an unrecorded subdivision. - Britin Bostick, Downtown & Historic Planner
- I **Public Hearing and Possible Action** on a request for a **Certificate of Appropriateness** (COA) for the replacement of a historic architectural feature with a non-historic architectural feature at the property located at 110 E. 7th Street, bearing the legal description 0.0826 acres being the north part of Lot 2, Block 40, City of Georgetown. – Britin Bostick, Downtown and Historic Planner
- J Updates, Commissioner questions, and comments. - Sofia Nelson, Planning Director

## Adjournment

### **Certificate of Posting**

I, Robyn Densmore, City Secretary for the City of Georgetown, Texas, do hereby certify that this Notice of Meeting was posted at City Hall, 808 Martin Luther King Jr. Street, Georgetown, TX 78626, a place readily accessible to the general public as required by law, on the \_\_\_\_\_ day of \_\_\_\_\_, 2021, at \_\_\_\_\_, and remained so posted for at least 72 continuous hours preceding the scheduled time of said meeting.

\_\_\_\_\_  
Robyn Densmore, City Secretary

City of Georgetown, Texas  
Historic and Architectural Review  
July 22, 2021

**SUBJECT:**

Consideration and possible action to approve the minutes from the July 8, 2021 workshop and the regular meeting of the Historic and Architectural Review Commission. - Mirna Garcia, Program Manager

**ITEM SUMMARY:**

**FINANCIAL IMPACT:**

.N/A

**SUBMITTED BY:**

Mirna Garcia, Program Manager

**ATTACHMENTS:**

	<b>Description</b>	<b>Type</b>
☐	Workshop minutes	Backup Material
☐	Regular meeting minutes	Backup Material

City of Georgetown, Texas  
Historic and Architectural Review Commission

**Minutes**

July 8, 2021 at 5:30 p.m.

Teleconference Meeting: <https://bit.ly/3g4JOM6>

The Historic and Architectural Review Commission (HARC) is now meeting in person. A quorum of the HARC will be in attendance at the Council and Courts Building, 510 W 9th St., Georgetown, TX 78626. It is possible that one or more board members may attend via video conference using the Zoom client.

The workshop convened at 5:30PM on July 8, 2021 via teleconference at: <https://bit.ly/3g4JOM6>. Webinar ID: 999-0983-8632. To participate by phone: Call in number: (346) 248-7799 or Toll-Free: 833-548-0282. Password: 655294. Public Comment was allowed via the conference call number or the “ask a question” function on the video conference option; no in-person input was allowed.

- **Members Present:** Faustine Curry, Chair; Terri Hyde; Catherine Morales; Michael Walton; Lawrence Romero; Robert McCabe; Steve Johnston

**Members Absent:** Karalei Nun; Pam Mitchell

**Staff present:** Britin Bostick, Historic Planner; Nat Waggoner, Assistant Planning Director; Sofia Nelson, Planning Director

Meeting called to order by Chair Curry at 5:35 pm.

**Policy Development/Review Workshop**

- A. Discussion of Historic and Architectural Review Commission procedures, new board member introductions. – Britin Bostick, Downtown and Historic Planner

The Commission introduced the newest members.

Commissioner Hyde joined the meeting at 5:54pm.

**Public Wishing to Address the Board**

- B. Consideration and possible action to approve the minutes from the May 27, 2021 regular meeting of the Historic and Architectural Review Commission. - Mirna Garcia, Management Analyst

**Adjournment**

Chair Curry closed the meeting at 6:00p.m

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Approved, Faustine Curry, Chair

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Attest, Terri Asendorf-Hyde, Secretary

City of Georgetown, Texas  
Historic and Architectural Review Commission  
**Minutes**  
July 8, 2021 at 6:00 p.m.  
Teleconference Meeting: <https://bit.ly/3g4JOM6>

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**Members Present:** Faustine Curry, Chair; Terri Hyde; Catherine Morales; Pam Mitchell; Michael Walton; Lawrence Romero; Robert McCabe; Steve Johnston

**Members Absent:** Karalei Nunn

**Staff present:** Britin Bostick, Historic Planner; Nat Waggoner, Assistant Planning Director; Sofia Nelson, Planning Director

Meeting called to order by Chair Curry at 6:04 pm.

**Regular Session**

(This Regular Session may, at any time, be recessed to convene an Executive Session for any purpose authorized by the Open Meetings Act, Texas Government Code 551.)

- A.** Discussion on how the Historic and Architectural Review Commission virtual conference will be conducted, to include options for public comments and how the public may address the Commission. – Sofia Nelson, Planning Director
- B.** The Historic and Architectural Review Commission, appointed by the Mayor and the City Council, is responsible for hearing and taking final action on applications, by issuing Certificates of Appropriateness based upon the City Council adopted Downtown Design Guidelines and Unified Development Code.

**Welcome and Meeting Procedures:**

- Staff Presentation
- Applicant Presentation (Limited to ten minutes unless stated otherwise by the Commission.)
- Questions from Commission to Staff and Applicant
- Comments from Citizens\*
- Applicant Response
- Commission Deliberative Process
- Commission Action

\*Once staff and the applicant have addressed questions from the Commissioners, the Chair of the Commission will open the public hearing. If a member of the public would like to provide comments on the agenda item under discussion, the chair will ask if anyone would like to speak. To speak, please identify yourself by either entering your name, address and item number on the Q/A chat on your screen. When your name is called you will have up to 3

minutes. A speaker may allot their time to another speaker for a maximum of 6 minutes. If a member of the public wished to allot their time to another speaker, they may do so when their name is called by the Chair. Please remember that all comments and questions must be addressed to the Commission, and please be patient while we organize the speakers during the public hearing portion. After everyone who has asked to speak has spoken, the Chair will close the public hearing and provide a few minutes of rebuttal time to the applicant if they so choose.

### **Public Wishing to Address the Board**

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C. At the time of posting, no persons had signed up to address the Board.

### **Legislative Regular Agenda**

D. Consideration and possible action to approve the minutes from the June 24, 2021 regular meeting of the Historic and Architectural Review Commission. - Mirna Garcia, Management Analyst

**Motion by to approve by Commissioner Johnston. Second by Commissioner Hyde.  
Approved (5-0).**

E. **Public Hearing and Possible Action** on a request for a **Certificate of Appropriateness** for an addition that creates a new, or adds to an existing street facing façade; the addition of a porch, patio or deck; and replacing historic architectural features with non-historic architectural features at the property located at 408 W. University Avenue, bearing the legal description 0.44 acres, being part of the "Homestead" block, also known as Block G, Dalrymple Addition. – Britin Bostick, Downtown & Historic Planner

Staff report by Bostick. The Applicant is requesting HARC approval for exterior additions for a restaurant tenant that would include a porch and deck with ramp and stairs on the west and south facades as well as a screened deck area on the southeast corner of the existing historic structure. The applicant is also proposing to replace the combination of historic and non-historic windows with new metal windows that would match the style of the historic windows. According to public records H. W. and Arabella Harrel sold the northwest corner of Homestead Block in the Dalrymple Addition to J. Wilson Armstrong for \$1,150 in 1910. The Harrels had bought it for the same amount in 1907 when W. F. and Tomye Magee sold it to them after purchasing it from Ike B. Mankins for \$800 in 1897. Ike Mankins had bought the property from

W. C. Dalrymple in 1891. J. Wilson Armstrong also bought a 22 ½ foot wide strip of property directly to the east of the property on the corner for \$130 in 1911, presumably to construct either the house visible in the 1916 Sanborn Map or to expand a previously existing house. Armstrong sold the full property to Earl Henderson for \$2,300 in 1919. That is the first deed in which improvements are described. Henderson owned the property until 1944. The historic structure today has had a few exterior modifications, including replacement of some of the street-facing windows, an addition to the roof toward the rear, the removal of the skirting or underpinning around the foundation and replacement of some of the piers with concrete block, but many of the architectural details remain, including the brick columns, exposed rafter tails, gable roof and wood siding. The applicant is proposing to install brick skirting around the foundation to match the brick columns and piers, repaint the exterior and replace all exterior windows with new windows that would match the historic 4/1 pattern still visible in some of the windows on the west façade. The additions would include an elevated wood deck on the west façade as well as a ramp, stairs, and deck on the south façade. Part of the rear deck would have a wood slat screen similar to a fence to screen cooking and mechanical equipment for a proposed new restaurant tenant.

The applicant, Lee McIntosh, provided comments and thanked Bostick for her help. McIntosh provided an overview of the condition of the subject structure.

Chair Curry opened and closed the Public Hearing as no one signed up to speak.

Commissioner Walton asked staff to bring additional information on window and energy efficiency at a later meeting date.

**Motion to approve Item E (2020-58-COA) by Commissioner Romero. Second by Commissioner Walton. Approved (5-0).**

- F. Public Hearing and Possible Action** on a request for a **Certificate of Appropriateness (COA)** for new signage that is inconsistent with an approved Master Sign Plan or applicable guidelines at the property located at 1201 S. Church Street, bearing the legal description 0.25 acres, being Lot 1 and a portion of Lot 2, Block I, Cody's Subdivision. – Britin Bostick, Downtown & Historic Planner

Staff report by Bostick. The applicant is requesting HARC approval of a new, internally illuminated primary sign for Tony & Luigi's Restaurante. The current sign is mounted on the edge of the sloped roof facing S. Church Street and is externally illuminated with two light fixtures above the sign. The new sign is proposed to be 100" x 70.48" or 48.94 sq. ft. aluminum sign, similar to the existing sign. The sign colors would come from vinyl applied to the sign materials, and the internal illumination would be a "push-thru" three-dimensional effect that would create illuminated, warm white letters with a glow or "halo" around the text from clear acrylic letter sides. A similar illumination style previously approved by HARC is the sign for 6Whiskey at 708 S. Rock Street. The subject property is a historic gas station, grocery store and car dealership that has changed style since constructed around 1927, and which has been altered from a flat roofed building to a gable roof, although the stuccoed finish appears to be part of the original design.

Commissioner Romero asked staff to provide additional information and clarify the request. Bostick further explained the applicant's request.

Chair Curry opened and closed the Public Hearing as no one signed up to speak.

**Motion to approve Item F (2021-24-COA) by Commissioner Hyde. Second by Commissioner Johnston. Approved (5-0).**

- G. Public Hearing and Possible Action** on a request for a **Certificate of Appropriateness (COA)** for replacing a historic architectural feature with a non-historic architectural feature at the property located at 1302 Vine Street, bearing the legal description Block 1, Lot 4, Coffee Heights Addition. – Britin Bostick, Downtown & Historic Planner

**Staff report by Bostick.** The applicant is requesting HARC approval to replace the historic wood window sashes (the movable portion of the window that fits within the window frame) with new window sashes as a continuation of the rehab of the subject property. After completing foundation repair, repair and replacement of deteriorated structural elements, an interior remodel and revealing the original wood siding, the applicant would like to use a white vinyl window product as the replacement, with the same 1/1 configuration as the original windows. As the wood window screens are intact the applicant is planning to repair, repaint and reinstall the screens, which would cover the new windows and help maintain the historic appearance.

Commissioner Romero asked staff to clarify the requested motion. Bostick explained the request and the request for the Commission.

**Motion to approve Item G (2021-26-COA) by Commissioner Walton. Second by Commissioner Romero. Approved (5-0).**

- H. Conceptual Review** of a request for a **Certificate of Appropriateness** for additions that create a new, or add to an existing street facing façade; replacing a historic architectural feature with a non-historic architectural feature; and a 10'-0" setback encroachment into the required 25'-0" street-facing garage setback for the construction of a detached garage 15'-0" from the side street (south) property line at the property located at 1312 Elm Street, bearing the legal description 0.3888 acres being a portion of the south half of Block B, Hughes Second Addition. – Britin Bostick, Downtown & Historic Planner

**Staff report by Bostick.** The applicant is requesting HARC approval of two additions to the existing historic structure as part of a rehabilitation of this recorded Texas Historic Landmark property. The first addition would be a single story added to the northwest corner of the historic main structure, which would be visible to the rear and right as viewed from Elm Street. The addition would have a gable roof, shingle siding and vertically oriented windows similar to the windows in the existing structure and would be connected to the main structure via a flat-roofed portion. The addition would



have a prominent window facing Elm Street. The second addition proposed is a detached, one-story garage facing E. 14<sup>th</sup> Street. The garage would also have a gable roof and shingle siding, and the garage would require a 10'-0" setback modification to the 25'-0" setback for a street-facing garage.

The proposed project also includes enclosing the porch on the southeast corner of the house, or front left corner as viewed from Elm Street. The porch enclosure would use a contemporary metal storefront window from floor to ceiling. Additional project work includes restoring the historic windows and repairing deteriorated exterior elements, which is reviewed by the HPO.

**Bostick explained the feedback sought from the Commission is:**

Is the proposed garage setback compatible with surrounding properties?

- Is the proposed living space addition compatible with the main structure?
- Are the window materials proposed for the enclosed porch compatible with the style and character of the historic structure?

The applicant, Gary Wang, addressed the Commission and provided an overview of the request.

Commissioner Hyde provided feedback, and stated that she appreciates the garage and addition going in back corner, that additions are 1 story. Commissioner Hyde asked what does the siding look like for the proposed addition, what the windows will look like for the sun room.

Commissioner Hyde left the meeting at 7:06pm

Commissioner Walton asked about potential conflicts or risk from THC or University Elm National Historic Register District. Bostick replied that National Register District provides recognition but are not regulatory authority.

Commissioner Romero asked for material examples and shared concern for the sunroom (curtain wall/storefront windows).

Commissioner Curry shared concern for sun room. Commissioner Curry asked for additional renderings of the sunroom, looking for details on the design to better consider.

**I. Updates, Commissioner questions, and comments. – Sofia Nelson, Planning Director**

**Adjournment**

Motion to adjourn by Commissioner Johnston. Second by Commissioner Romero. Approved (4-0). Meeting adjourned at 7:49 pm

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Approved, Faustine Curry, Chair

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Attest, Terri Asendorf-Hyde, Secretary

City of Georgetown, Texas  
Historic and Architectural Review  
July 22, 2021

**SUBJECT:**

**Public Hearing** and **Possible Action** on a request for a **Certificate of Appropriateness** for additions that create a new, or add to an existing street facing façade; replacing a historic architectural feature with a non-historic architectural feature; and a 10'-0" setback encroachment into the required 25'-0" street-facing garage setback for the construction of a detached garage 15'-0" from the side street (south) property line at the property located at 1312 Elm Street, bearing the legal description 0.3888 acres being a portion of the south half of Block B, Hughes Second Addition. – Britin Bostick, Downtown & Historic Planner

**ITEM SUMMARY:**

**Overview of Applicant's Request:**

The applicant is requesting HARC approval of two additions to the existing historic structure as part of a rehabilitation of this recorded Texas Historic Landmark property. The first addition would be a single story added to the northwest corner of the historic main structure, which would be visible to the rear and right as viewed from Elm Street. The addition would have a gable roof, shingle siding and vertically oriented windows similar to the windows in the existing structure and would be connected to the main structure via a flat-roofed portion. The addition would have a prominent window facing Elm Street. The second addition proposed is a detached, one-story garage facing E. 14<sup>th</sup> Street. The garage would also have a gable roof and shingle siding, and the garage would require a 10'-0" setback modification to the 25'-0" setback for a street-facing garage.

The proposed project also includes enclosing the porch on the southeast corner of the house, or front left corner as viewed from Elm Street. The porch enclosure would reinstall the decorative wood details of the porch that have been restored and retained on the property and install metal storefront windows from floor to ceiling behind the decorative wood elements. Three windows at the rear of the house facing E. 14<sup>th</sup> Street are proposed to be replaced to accommodate interior alterations. The replacement windows would be wood windows that would alter the existing window locations and proportions. A door to the back porch would be enclosed for the new kitchen. Additional project work includes restoring the historic windows and repairing deteriorated exterior elements, which is reviewed by the HPO.

The Recorded Texas Historic Landmark text reads: "One of the many fine structures erected by C. S. Belford Lumber Co., this house was built in 1895 for grocer J. A. McDougle (d. 1939). The Victorian styling included ornate stained glass windows. The home was bought in 1901 by John R. Allen and in 1910 by W. J. Flanagan, who was county treasurer for several terms. His family lived here until Mr. and Mrs. Halsell P. Armstrong became owners (1945). The property was acquired and restored in 1969 by Neil and Joyce Adams."

**Staff's Analysis:**

Staff has reviewed the request in accordance with the Unified Development Code (UDC) and other applicable codes. Staff has determined that the proposed request *meets 5 of the 8* criteria established in UDC Section 3.13.030 for a *Certificate of Appropriateness*, as outlined in the attached Staff Report.

**Public Comments:**

As required by the Unified Development Code (UDC), two (2) signs were posted on-site. As of the

publication date of this report, staff has received 1 written comments in favor and 0 in opposition of the request, with 1 written comment on the request.

**FINANCIAL IMPACT:**

None. The applicant has paid the required application fees.

**SUBMITTED BY:**

Britin Bostick, Downtown & Historic Planner

**ATTACHMENTS:**

	<b>Description</b>	<b>Type</b>
📎	Staff Report	Cover Memo
📎	Exhibit 1 - Location Map	Exhibit
📎	Exhibit 2 - Letter of Intent	Exhibit
📎	Exhibit 3 - Plans & Specifications	Exhibit
📎	Exhibit 4 - Historic Resource Surveys	Exhibit
📎	Exhibit 5 - Texas Historical Commission Review Letter	Exhibit
📎	Exhibit 6 - Public Comments	Exhibit
📎	Staff Presentation	Presentation

# Planning Department Staff Report

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## Historic and Architectural Review Commission

Report Date: *July 16, 2021*

File Number: *2021-21-COA*

### AGENDA ITEM DESCRIPTION

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Public Hearing and Possible Action on a request for a Certificate of Appropriateness for additions that create a new, or add to an existing street facing façade; replacing a historic architectural feature with a non-historic architectural feature; and a 10'-0" setback encroachment into the required 25'-0" street-facing garage setback for the construction of a garage addition 15'-0" from the side street (south) property line at the property located at 1312 Elm Street, bearing the legal description 0.3888 acres being a portion of the south half of Block B, Hughes Second Addition.

### AGENDA ITEM DETAILS

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Project Name: *Residence for Jim and Debbie Golden*  
Applicant: *Katia Barrios (Wang Architects)*  
Property Owner: *James & Deborah Golden, Trustees of The Golden Family Trust UDT*  
Property Address: *1312 Elm Street*  
Legal Description: *0.3888 acres being a portion of the south half of Block B, Hughes Second Addition*  
Historic Overlay: *Old Town Overlay District*  
Case History: *N/A*

### HISTORIC CONTEXT

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Date of construction: *1895 (HRS)*  
Historic Resources Survey Level of Priority: *High*  
National Register Designation: *Within the University Avenue – Elm Street National Register Historic District*  
Texas Historical Commission Designation: *Recorded Texas Historic Landmark (1975)*

### APPLICANT'S REQUEST

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#### HARC:

- ✓ New detached garage and attached living space additions
- ✓ 10'-0" garage setback modification
- ✓ Replacement of side porch with sunroom
- ✓ Window & door replacement

#### HPO:

- ✓ Restoration of historic architectural features

# Planning Department Staff Report

## Historic and Architectural Review Commission

### STAFF ANALYSIS

The applicant is requesting HARC approval of two additions to the existing historic structure as part of a rehabilitation of this recorded Texas Historic Landmark property. The first addition would be a single story added to the northwest corner of the historic main structure, which would be visible to the rear and right as viewed from Elm Street. The addition would have a gable roof, shingle siding and vertically oriented windows similar to the windows in the existing structure and would be connected to the main structure via a flat-roofed portion. The addition would have a prominent window facing Elm Street. The second addition proposed is a detached, one-story garage facing E. 14<sup>th</sup> Street. The garage would also have a gable roof and shingle siding, and the garage would require a 10'-0" setback modification to the 25'-0" setback for a street-facing garage.

The proposed project also includes enclosing the porch on the southeast corner of the house, or front left corner as viewed from Elm Street. The porch enclosure would reinstall the decorative wood details of the porch that have been restored and retained on the property and install metal storefront windows from floor to ceiling behind the decorative wood elements. Three windows at the rear of the house facing E. 14<sup>th</sup> Street are proposed to be replaced to accommodate interior alterations. The replacement windows would be wood windows that would alter the existing window locations and proportions. A door to the back porch would be enclosed for the new kitchen. Additional project work includes restoring the historic windows and repairing deteriorated exterior elements, which is reviewed by the HPO.

The Recorded Texas Historic Landmark text reads: "One of the many fine structures erected by C. S. Belford Lumber Co., this house was built in 1895 for grocer J. A. McDougle (d. 1939). The Victorian styling included ornate stained glass windows. The home was bought in 1901 by John R. Allen and in 1910 by W. J. Flanagan, who was county treasurer for several terms. His family lived here until Mr. and Mrs. Halsell P. Armstrong became owners (1945). The property was acquired and restored in 1969 by Neil and Joyce Adams."

### APPLICABLE DESIGN GUIDELINES

The following guidelines are applicable to the proposed scope of work in accordance with the adopted Downtown and Old Town Design Guidelines:

GUIDELINES	FINDINGS
<b>CHAPTER 6 – DESIGN GUIDELINES FOR INDIVIDUAL BUILDING ELEMENTS</b>	
<b>6.12 Preserve the position, number, size, and arrangement of historic windows and doors in a building wall.</b> <ul style="list-style-type: none"><li>✓ Enclosing an historic opening in a key character-defining facade is inappropriate, as is adding a new opening.</li><li>• Do not close down an original opening to accommodate a smaller window.</li></ul>	<b>Partially Complies</b> <p>The historic windows and openings are proposed to be preserved and repaired, with the exception of three replacement windows and an enclosure of a porch door on the rear part of the house facing E. 14<sup>th</sup> Street. The new windows are proposed to be wood windows with different proportions and locations than the current windows, and the</p>

# Planning Department Staff Report

## Historic and Architectural Review Commission

GUIDELINES	FINDINGS
<b>CHAPTER 6 – DESIGN GUIDELINES FOR INDIVIDUAL BUILDING ELEMENTS</b>	
<p>Restoring original openings which have been altered over time is encouraged.</p> <ul style="list-style-type: none"> <li>✓ Historically, windows had a vertical emphasis. The proportions of these windows contribute to the character of each residence and commercial storefront.</li> </ul>	<p>door is proposed to be replaced with wood siding. Although the windows and door are part of the E. 14<sup>th</sup> Street façade, they are set back from the primary façade.</p>
<p><b>6.13 Preserve the functional and decorative features of an historic window or door.</b></p> <ul style="list-style-type: none"> <li>✓ Features important to the character of a window include its clear glass, frame, sash, muntins, mullions, glazing, sills, heads, jambs, moldings, operation, location, and relation to other windows.</li> <li>✓ Features important to the character of a door include the door itself, door frame, screen door, threshold, glass panes, paneling, hardware, detailing, transoms, and flanking sidelights.</li> <li>✓ Historic screen and storm doors should be preserved and maintained.</li> </ul>	<p><b>Complies</b></p> <p>The historic stained-glass windows are proposed to be repaired and restored and the other historic windows are proposed to be repaired.</p>
<p><b>6.16 Glass in doors and windows should be retained.</b></p> <ul style="list-style-type: none"> <li>✓ If it is broken or has been removed in the past, consider replacing it with new glass. If security is a concern, consider using wire glass, tempered glass, or light metal security bars (preferably on the interior).</li> <li>✓ Replacement glass may be insulating glass, but it should match the style and color of the original glass.</li> <li>✓ Replacement glass should match the historic glass - clear, rolled ("wavy"), tinted, etc.</li> <li>✓ Removal of historic leaded, art, stained, beveled, prismatic glass, etc. should not be permitted, unless it is damaged and is technically infeasible to repair.</li> </ul>	<p><b>Complies</b></p> <p>The historic stained-glass windows are proposed to be repaired and restored and the other historic windows are proposed to be repaired with replacement glass where needed that would closely match the existing.</p>
<p><b>6.25 Maintain an historic porch and its detailing.</b></p> <ul style="list-style-type: none"> <li>✓ Do not remove original details from a porch. These include the columns,</li> </ul>	<p><b>Complies</b></p> <p>The historic porches have deteriorated and lost many of the original decorative</p>

# Planning Department Staff Report

## Historic and Architectural Review Commission

GUIDELINES	FINDINGS
<b>CHAPTER 6 – DESIGN GUIDELINES FOR INDIVIDUAL BUILDING ELEMENTS</b>	
<p>balustrade, and any decorative brackets that may exist.</p> <ul style="list-style-type: none"> <li>✓ Maintain the existing location, shape, details, and columns of the porch.</li> <li>✓ Missing or deteriorated decorative elements should be replaced with new wood, milled to match existing elements. Match the original proportions and spacing of balusters when replacing missing ones.</li> <li>✓ Unless used historically, wrought iron porch posts and columns are inappropriate.</li> <li>✓ Where an historic porch does not meet current code requirements and alterations are needed or required, then retrofit it to meet the code, while also preserving original features. Do not replace a porch that can otherwise be modified to meet code requirements.</li> <li>✓ A missing porch and its steps should be reconstructed, using photographic documentation and historical research, to be compatible in design and detail with the period and style of the building.</li> <li>✓ Most precast concrete steps are not acceptable alternatives for primary façade porches.</li> <li>✓ Construction of a new non-original porch is usually inappropriate.</li> <li>✓ The construction of a non-original second or third level porch, balcony, deck, or sun porch on the roof of an existing front porch is inappropriate.</li> </ul>	<p>elements, although those elements have been restored and retained on the property and are proposed to be reinstalled. The applicant is proposing to repair the existing features and replace decorative details where feasible, as well as enclose a side porch behind the reinstalled decorative features. The proposed enclosure would be with metal storefront windows which would be distinguishable as new, and which would provide transparency for the enclosed porch and reference Victorian window styles.</p>
<p><b>6.26 Avoid enclosing an historic front porch with opaque materials.</b></p> <ul style="list-style-type: none"> <li>✓ Enclosing a porch with opaque materials that destroy the openness and transparency of the porch is inappropriate.</li> </ul>	<p style="text-align: center;"><b>Complies</b></p> <p>The side porch is proposed to be enclosed with metal storefront windows, which would provide transparency while being installed behind the reinstalled decorative wood details.</p>

# Planning Department Staff Report

## Historic and Architectural Review Commission

GUIDELINES	FINDINGS
<b>CHAPTER 6 – DESIGN GUIDELINES FOR INDIVIDUAL BUILDING ELEMENTS</b>	
<ul style="list-style-type: none"> <li>✓ If historic porches that have been enclosed in the past are proposed to be remodeled or altered, they should be restored to their appearance during the period of significance, unless the enclosure, by nature of its age, architectural significance, or other special circumstance, has achieved historic significance of its own.</li> <li>✓ When a porch is enclosed or screened, it shall be done with a clear transparent material. This material should be placed behind porch columns.</li> </ul>	

GUIDELINES	FINDINGS
<b>CHAPTER 14 – DESIGN GUIDELINES FOR INFILL CONSTRUCTION AND ADDITIONS IN THE OLD TOWN OVERLAY DISTRICT</b>	
<b>14.10 Non-traditional siding materials are discouraged.</b> <ul style="list-style-type: none"> <li>✓ Typically, artificial stone and brick veneer are not appropriate.</li> <li>✓ Asphalt shingles are not appropriate.</li> <li>✓ Aluminum and vinyl are not appropriate.</li> </ul>	<p style="text-align: center;"><b>Complies</b></p> <p>The proposed shingle siding is compatible with the historic lapped wood siding and reflects the decorative siding patterns in the gables of the roof on the main structure.</p>
<b>14.11 Avoid alterations that would damage historic features.</b> <ul style="list-style-type: none"> <li>✓ Avoid alterations that would hinder the ability to interpret the design character of the original building or period of significance.</li> <li>✓ Alterations that seek to imply an earlier period than that of the building are inappropriate.</li> </ul>	<p style="text-align: center;"><b>Complies</b></p> <p>The proposed project repairs and restores rather than damages historic features and the proposed additions have minimal impact to the historic features of the existing main structure. The proposed porch enclosure would not damage historic features as the decorative historic features have already been removed or have deteriorated. However, the porch as an architectural feature would effectively be replaced with an enclosed sunroom.</p>
<b>14.13 Design a new addition such that the original character can be clearly seen.</b> <ul style="list-style-type: none"> <li>✓ In this way, a viewer can understand the history of changes that have occurred to the building.</li> </ul>	<p style="text-align: center;"><b>Complies</b></p> <p>The proposed additions can be distinguished from the historic main structure and are set back from the primary façade so that the original character remains prominent.</p>



# Planning Department Staff Report

## Historic and Architectural Review Commission

GUIDELINES	FINDINGS
<b>CHAPTER 14 – DESIGN GUIDELINES FOR INFILL CONSTRUCTION AND ADDITIONS IN THE OLD TOWN OVERLAY DISTRICT</b>	
<ul style="list-style-type: none"> <li>✓ An addition should be distinguishable from the original building, even in subtle ways, such that the character of the original can be interpreted.</li> <li>✓ Creating a jog in the foundation between the original and new structures may help to define an addition.</li> <li>✓ Even applying new trim board at the connection point between the addition and the original structure can help define the addition.</li> </ul> <p>See also Preservation Briefs #14: New Exterior Additions to Historic Buildings, published by the National Park Service.</p>	
<p><b>14.14 Place an addition at the rear of a building or set it back from the front to minimize the visual impacts.</b></p> <ul style="list-style-type: none"> <li>✓ This will allow the original proportions and character to remain prominent.</li> <li>✓ Locating an addition at the front of a structure is usually inappropriate.</li> </ul>	<p><b>Complies</b></p> <p>The proposed living space addition is set back from both street facades and the proposed garage addition is set to the rear of the main façade, although it will be set closer to E. 14<sup>th</sup> Street than the main structure.</p>
<p><b>14.16 An addition shall be compatible in scale, materials, character, and architectural style with the main building.</b></p> <ul style="list-style-type: none"> <li>✓ An addition shall relate to the historic building in mass, scale, and form. It should be designed to remain subordinate to the main structure.</li> <li>✓ While a smaller addition is visually preferable, if a residential addition would be significantly larger than the original building, one option is to separate it from the primary building, when feasible, and then link it with a smaller connecting structure.</li> <li>✓ An addition should be simple in design to prevent it from competing with the primary façade.</li> </ul>	<p><b>Complies</b></p> <p>The proposed additions are a single story in height with materials, characteristics and architectural features, including roof pitches, windows and siding and roof materials, that are compatible with the historic main structure. The proposed living space addition is separated from the main structure via a small, flat roofed connector.</p>

# Planning Department Staff Report

## Historic and Architectural Review Commission

GUIDELINES	FINDINGS
<b>CHAPTER 14 – DESIGN GUIDELINES FOR INFILL CONSTRUCTION AND ADDITIONS IN THE OLD TOWN OVERLAY DISTRICT</b>	
✓ Consider adding dormers to create second story spaces before changing the scale of the building by adding a full second floor.	
<b>14.18 The roof of a new addition shall be in character with that of the primary building.</b> ✓ Typically, gable, hip, and shed roofs are appropriate for residential additions. Flat roofs may be more appropriate for commercial buildings. ✓ Repeat existing roof slopes and materials. ✓ If the roof of the primary building is symmetrically proportioned, the roof of the addition should be similar.	<b>Complies</b> The roof slopes of the proposed additions are gable roofs with slopes that match the existing primary roof slopes of the main structure. A flat roof is proposed for the connector to the new master bedroom addition to differentiate the addition.

### CRITERIA FOR APPROVAL

In accordance with Section 3.13.030 of the Unified Development Code, the HARC must consider the following criteria:

SECTION 3.13.030 CRITERIA	FINDINGS
1. The application is complete and the information contained within the application is correct and sufficient enough to allow adequate review and final action;	<b>Complies</b> Staff reviewed the application and deemed it complete.
2. Compliance with any design standards of this Code;	<b>Partially Complies</b> The proposed garage requires a 10'-0" setback modification.
3. Compliance with the Secretary of the Interior's Standards for the Treatment of Historic Properties to the most extent practicable;	<b>Complies</b> The applicant has provided a review letter from the Texas Historical Commission confirming that the project meets the Secretary of the Interior's standards.
4. Compliance with the adopted Downtown and Old Town Design Guidelines, as may be amended from time to time, specific to the applicable Historic Overlay District;	<b>Partially Complies</b> Proposed project complies or partially complies with applicable Design Guidelines.
5. The general historic, cultural, and architectural integrity of the building, structure or site is preserved;	<b>Complies</b> The proposed project retains and preserves key architectural features and materials

## Planning Department Staff Report

### Historic and Architectural Review Commission

SECTION 3.13.030 CRITERIA	FINDINGS
	while providing additions with minimal disturbance to the existing structure and which are in character with the historic structure.
6. New buildings or additions are designed to be compatible with surrounding properties in the applicable historic overlay district;	<b>Complies</b> The proposed detached garage is compatible in location, scale and materials with other nearby detached and attached garage additions that face side streets and the proposed living space addition is set to the rear of the main structure in a way that maintains the historic street character.
7. The overall character of the applicable historic overlay district is protected; and	<b>Complies</b> The proposed additions and alterations are compatible with the Old Town Overlay District.
8. The Master Sign Plan is in keeping with the adopted Downtown and Old Town Design Guidelines and character of the historic overlay district.	<b>Not Applicable</b> No signs are proposed as part of this project.

In addition to the approval criteria listed above, HARC must also consider the following criteria for a request for COA for a setback modification:

SECTION 3.13.030.D.2 CRITERIA	FINDINGS
a. Whether the proposed setback encroachment is solely a matter of convenience;	<b>Partially Complies</b> The proposed garage location within the setback is to provide space for future improvements, however the proposed location would also avoid an encroachment on an existing cistern and provides separation from the rear porch.
b. Whether there is adequate room on the site to allow the proposed addition or new structure without encroaching into the setback;	<b>Partially Complies</b> There is room on the site for the garage addition without encroaching into the setback, however the garage would encroach onto historic site elements.
c. Whether the proposed setback is compatible and in context within the block in which the subject property is located;	<b>Complies</b> The proposed setback is compatible with both the property across the street to the

# Planning Department Staff Report

## Historic and Architectural Review Commission

SECTION 3.13.030.D.2 CRITERIA	FINDINGS
	south that has a detached garage with a similar setback as well as the house to the west, which is closer to E. 14 <sup>th</sup> Street than the proposed garage addition.
d. Whether the proposed addition or new structure will be set closer to the street than other units within the block;	<b>Complies</b> The proposed garage would not be set closer to the street than other structures within the block.
e. Whether the proposed structure is replacing a structure removed within the past year;	<b>Not Applicable</b> No structures are proposed to be replaced.
f. Whether the proposed structure will replace a structure that previously existed with relatively the same footprint and encroachment as proposed;	<b>Not Applicable</b> No structures are proposed to be replaced.
g. If the proposed encroachment is for a structure that is replacing another structure, whether the proposed structure is significantly larger than the original;	<b>Not Applicable</b> No structures are proposed to be replaced.
h. If the proposed encroachment is for an addition, the scale of the addition compared to the original house;	<b>Complies</b> The garage addition is proposed to be 606 sq. ft. or 22% of the size of the existing main structure. With the proposed living space additions, the main structure would be 3,593 sq. ft. and the proposed garage would be 17% of that size. The proposed garage is a single story, and the existing structure is two stories in height.
i. The size of the proposed structure compared to similar structures within the same block;	<b>Complies</b> Within the same block there is a variety of sizes and architectural styles. The proposed garage addition is similar to garage additions within the same block and on adjacent blocks for structures of a similar size, time period and architectural style, but larger than garage and carport structures for small structures constructed in later decades.
j. Whether the proposed addition or new structure will negatively impact adjoining properties, including limiting their ability to maintain existing buildings;	<b>Complies</b> The proposed detached garage is not anticipated to negatively impact adjoining properties.

## Planning Department Staff Report

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### Historic and Architectural Review Commission

SECTION 3.13.030.D.2 CRITERIA	FINDINGS
k. Whether there is adequate space for maintenance of the proposed addition or new structure and/or any adjacent structures; and/or	<b>Complies</b> The proposed setback modification for the detached garage would leave adequate space for the maintenance of that structure and the adjacent structure.
l. Whether the encroachment would enable existing large trees or significant features of the lot to be preserved.	<b>Not Applicable</b> No large trees or significant features are proposed to be preserved.

### STAFF RECOMMENDATION

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Based on the findings listed above, staff recommends *APPROVAL* of the request.

### PUBLIC COMMENTS

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As of the date of this report, staff has received *1* written comment in favor and *0* opposed to the request with *1* comment received *on* the request.

### ATTACHMENTS

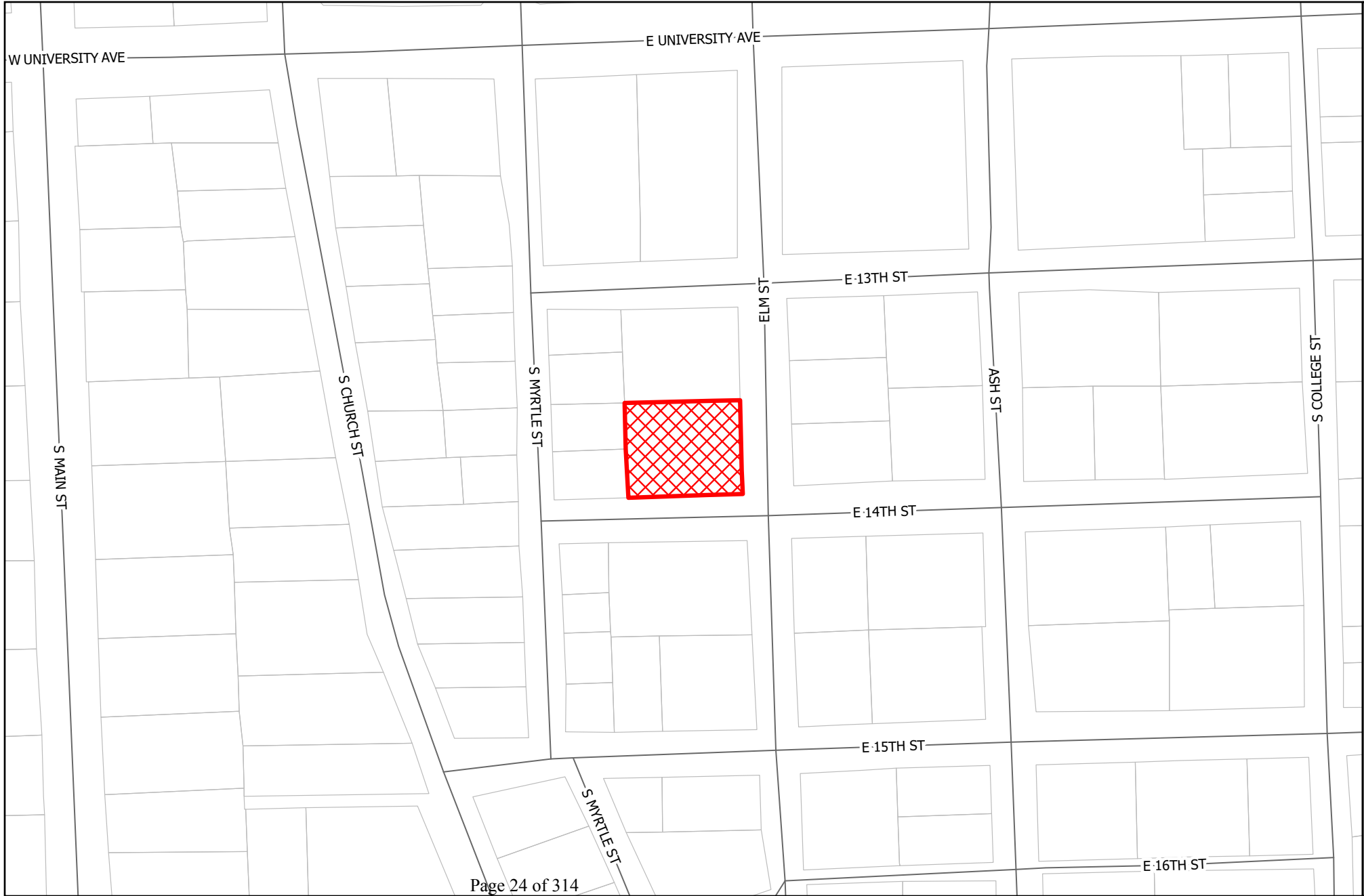
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Exhibit 1 – Location Map  
Exhibit 2 – Letter of Intent  
Exhibit 3 – Plans and Specifications  
Exhibit 4 – Historic Resource Surveys  
Exhibit 5 – Texas Historical Commission Review Letter  
Exhibit 6 – Public Comments

### SUBMITTED BY

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*Britin Bostick, Downtown & Historic Planner*

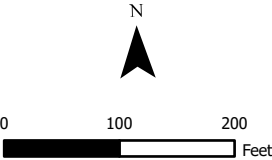


# LOCATION

2021-21-COA

Exhibit #1

-  Site
-  Parcels



May 13, 2021

**Historic and Architectural Review Commission**  
City of Georgetown

Re: 1312 S. Elm Street

Dear Members of the Historical and Architectural Review Commission:

We are pleased to submit this project on behalf of our clients, Jim and Debbie Golden. This house at 1312 Elm is a registered historical landmark with the Texas Historical Commission, and we have also been discussing the project with them and have their support. As you will find, the house has fallen under disrepair over the past several years, and we are fortunate to have a client like Mr. and Mrs. Golden as new owners of the home, as they understand the significant level of investment that will be required to restore such a historically significant home.

**Aging in Place:**

Jim and Debbie plan to retire in the next few years, and will make 1312 Elm their “forever home”. The existing home layout can not accommodate a master bedroom on the ground floor. As such, the proposal calls for a new master bedroom addition on the ground floor. After considering several different concepts, the best solution is found in the Northwestern most corner of the lot, set back from both Elm and 14<sup>th</sup> Street.

**A New Garage:**

The proposal and new addition falls within the “as-of-right” per the UDC with one exception. The one “ask” of HARC is to be able to place the new 2-car garage at the 15’ side yard setback line, instead of the 25’ setback line for garages because this falls on a corner lot. This exception has precedents along this street, as found on Page 4, showing encroachments within 2 blocks of this site.

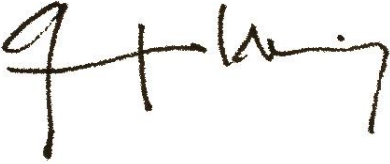
Included here are pages to further describe the rationale for the proposed project’s design:

Page 1, Site Map  
Page 2-3, Existing Conditions  
Page 4, Precedents for Garages Encroaching Setbacks  
Page 5, Site Design Plan with project information  
Page 6, Existing Floor Plans  
Page 7, Proposed Ground Floor Plan  
Page 8, Proposed Second Floor Plan  
Page 9, Street Facing Elevation East (Elm Street)  
Page 10, Side Elevation Facing North  
Page 11, Rear Elevation Facing West  
Page 12, Street Facing Elevation South (14th Street)  
Page 13, Materials/Color  
Page 14, Model Views  
Page 15, Model Views

We look forward to presenting this project to you at an upcoming HARC meeting, and we will have additional information at this meeting for your review.

If you have any questions or need any supplemental information in advance, please feel free to contact me at 512.819.6012. Thank you for your time, and I look forward to meeting with you.

Yours truly,

A handwritten signature in black ink, appearing to read 'G. Wang'.

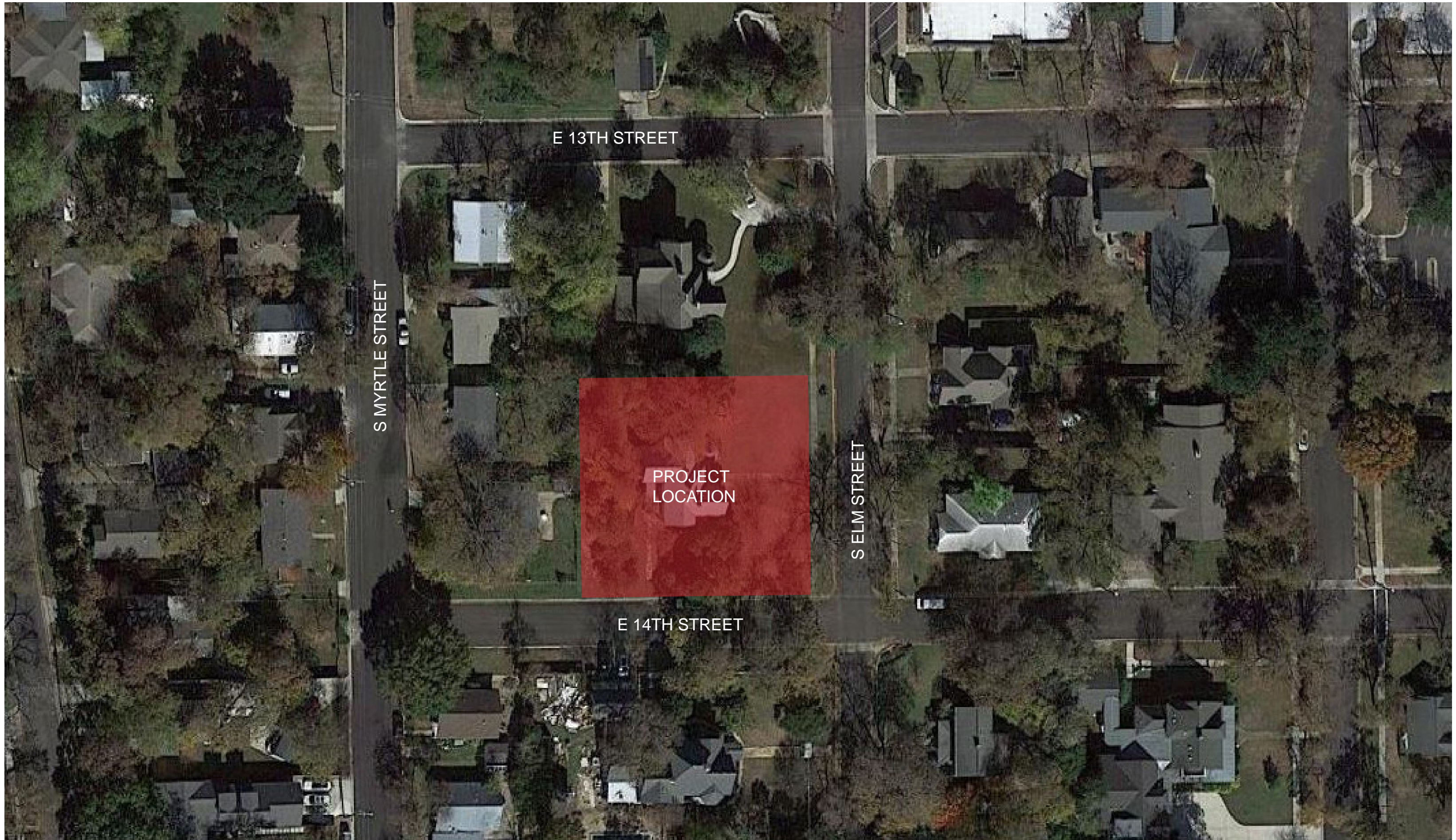
Gary Wang, AIA  
*Wang Architects*





*Design Concepts for Review by HARC: 1312 South Elm Street*  
**Residence for Jim + Debbie Golden**  
May 21, 2021

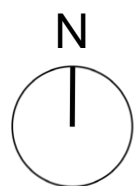
*Wang Architects*  
ARCHITECTURE | URBAN DESIGN | MASTERPLANNING



MAY 21, 2021

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Site Map 1







Existing East front facade along Elm Street



Existing South facade at main house along E 14th Street



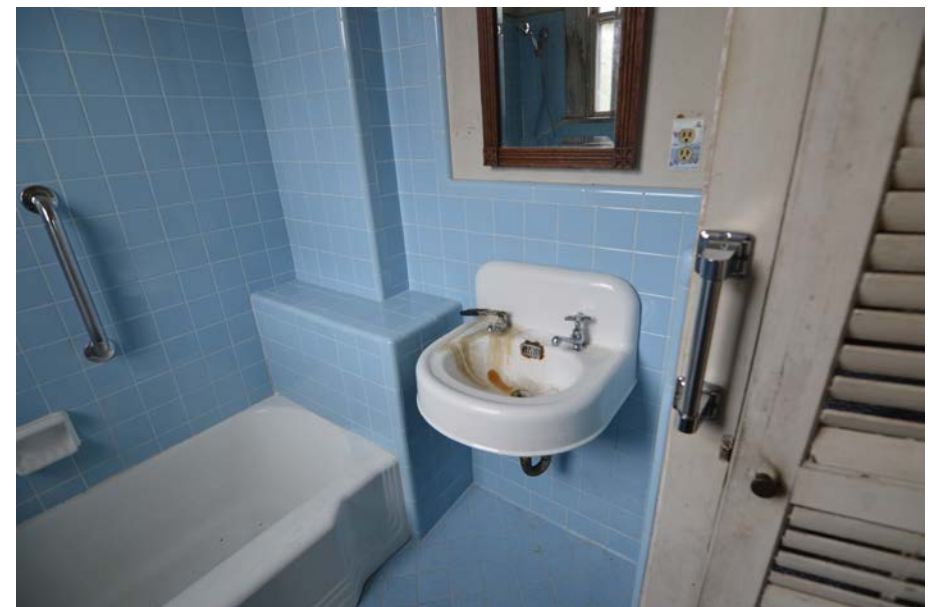
Existing West front facade along Elm Street



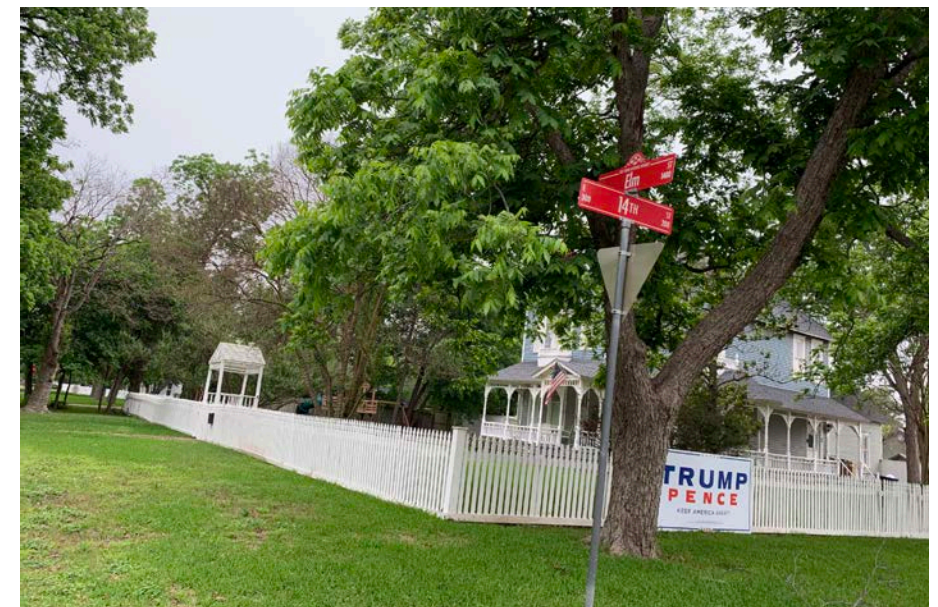
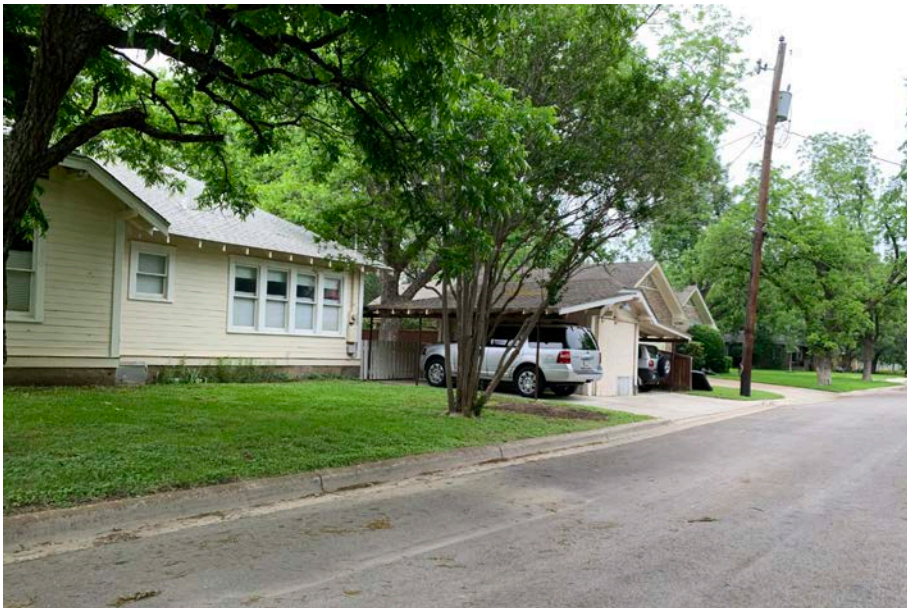
Existing South facade at main house along E 14th Street

## Existing Conditions 2





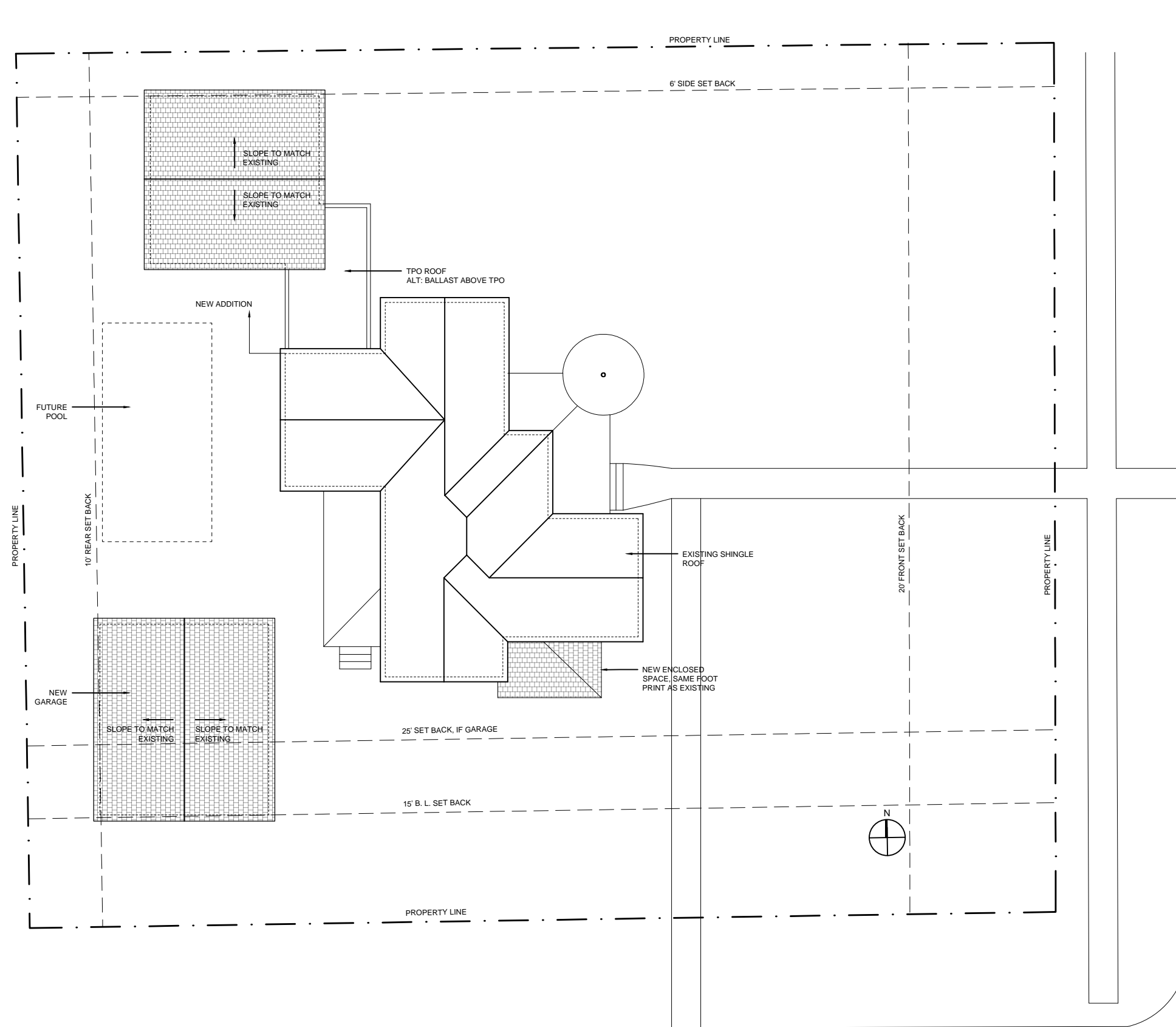




## Precedents for Garages Encroaching Setbacks 4

- All within 2 blocks of this site





LOT AREA: 14,375 SF

ZONING DISTRICT: SINGLE-FAMILY RESIDENTIAL

EXISTING AND PROPOSED USE: SINGLE-FAMILY RESIDENTIAL

EXISTING: 2,758 SF

NEW SUNROOM + ADDITION: 835 SF

NEW ENCLOSED: 3,593 SF

NEW GARAGE: 606 SF (ALLOWABLE 895 SF)

PROPOSED CONST AREA: 1,441 SF

FRONT SETBACK: 20'

SIDE SETBACK: 6'

STREET FACING GARAGE SETBACK: 15'

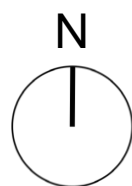
REAR SETBACK: 10'

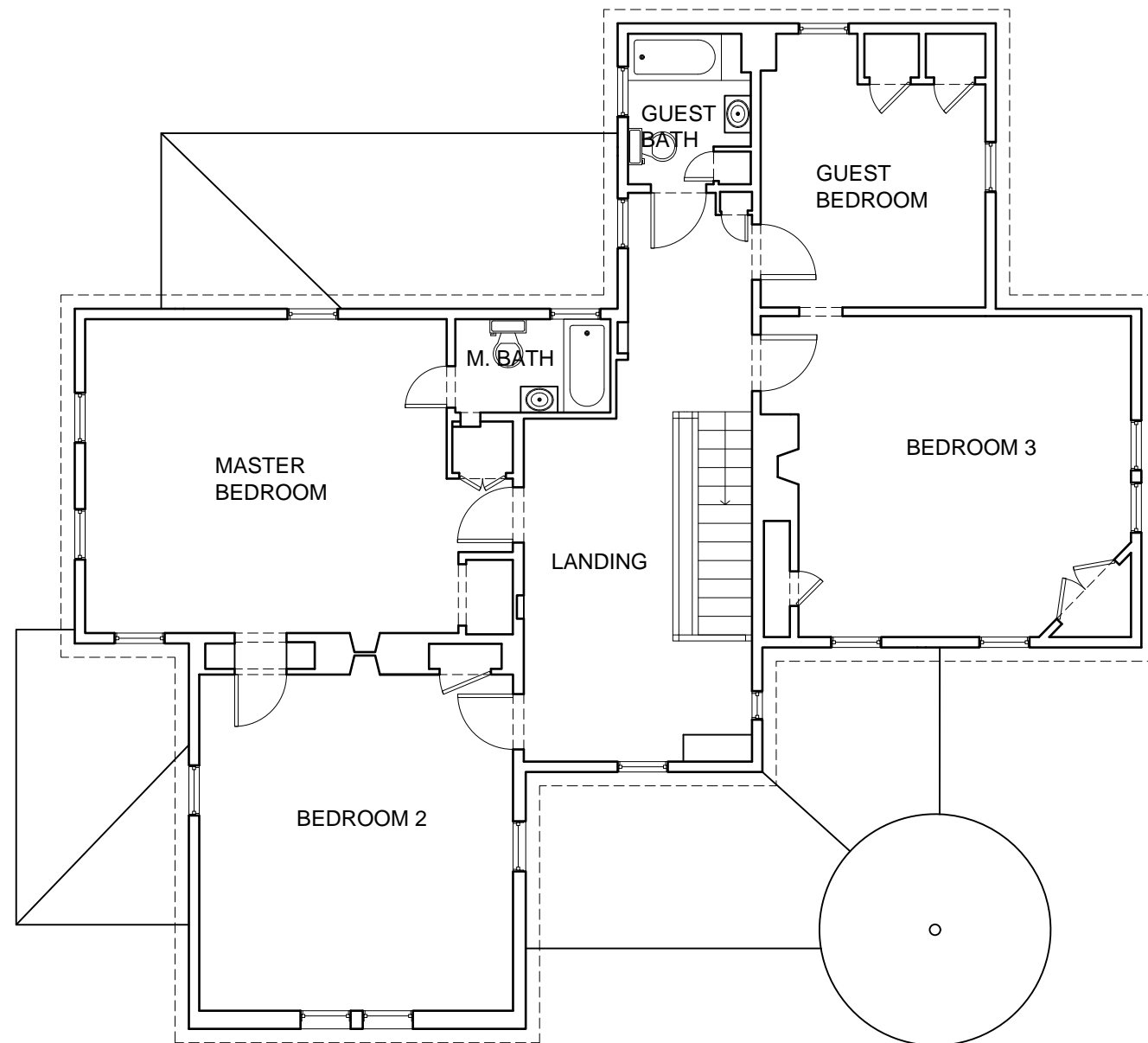
MAY 21, 2021

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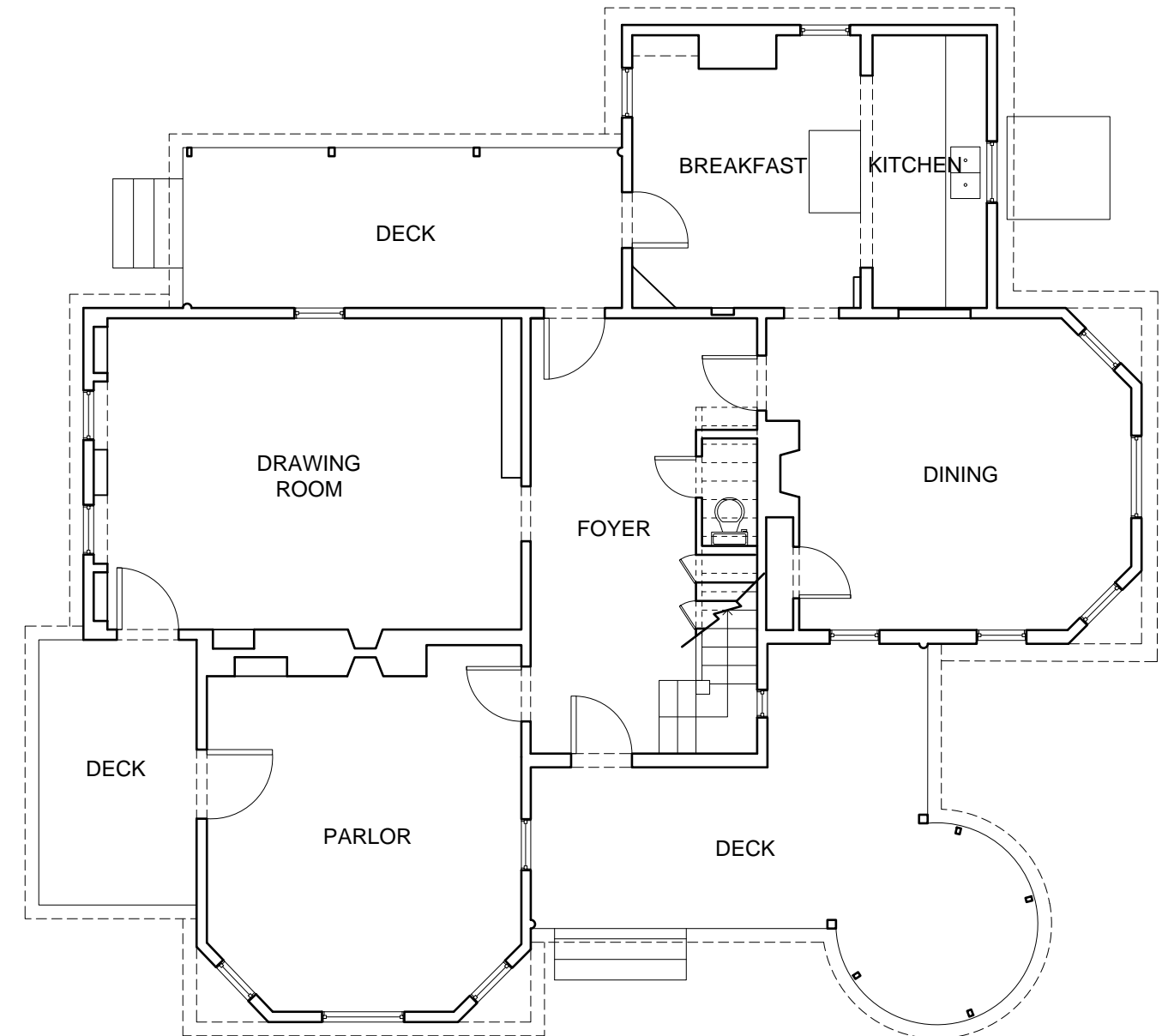
Site Design Plan 5

1/16" = 1'-0"

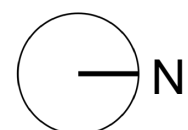




EXISTING SECOND FLOOR



EXISTING GROUND FLOOR



MAY 21, 2021

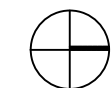
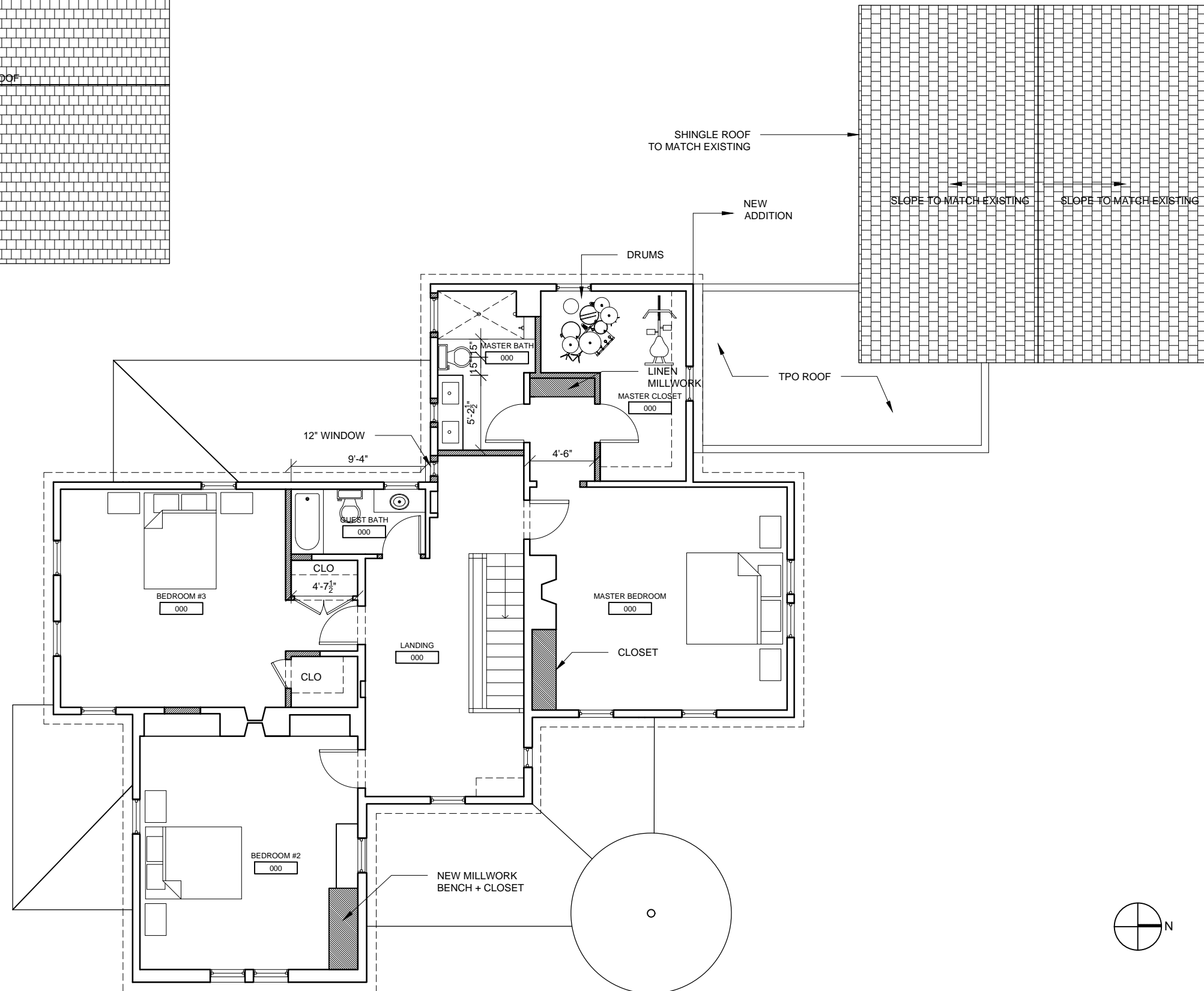
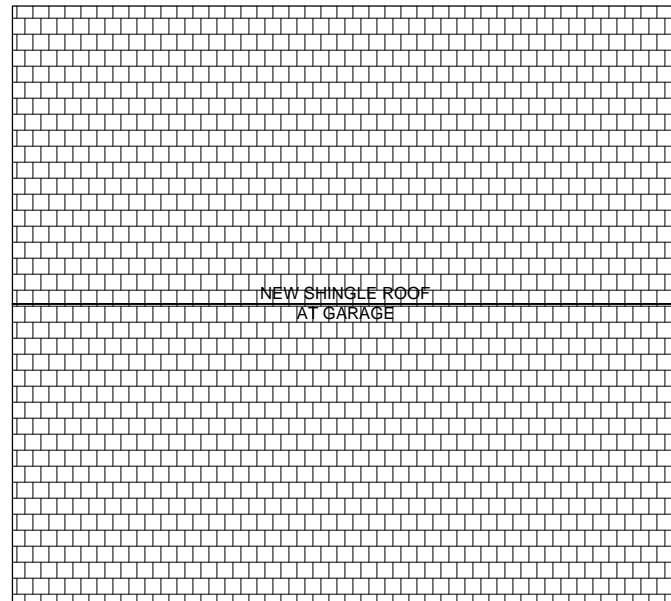
Page 33 of 314

Existing Floor Plans 6

1/8" = 1'-0"





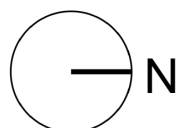


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Proposed Second Floor Plan

1/8" = 1'-0"

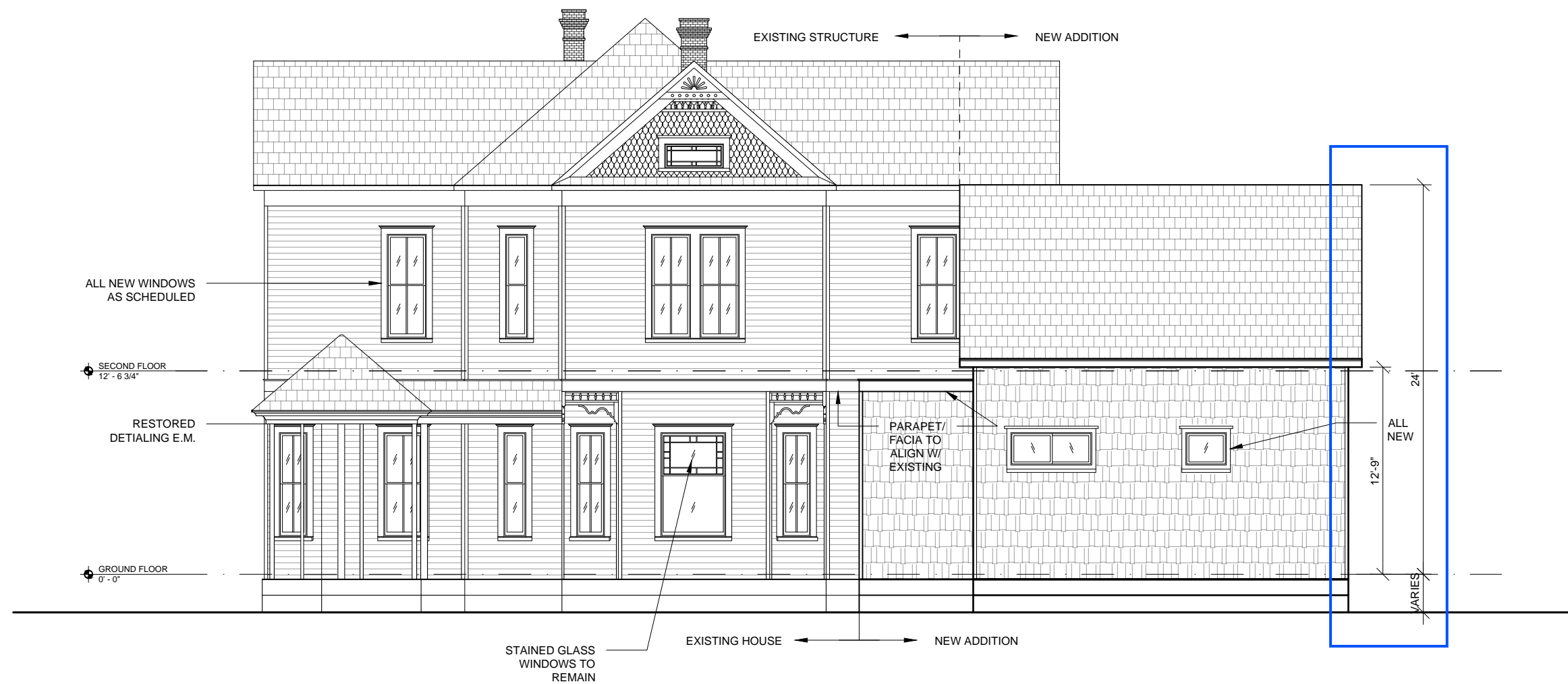




MAY 21, 2021

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Street Facing (East) Elevation 9  
1/8" = 1'-0"



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Elevation Facing North 10

1/8" = 1'-0"



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Rear Elevation 11

1/8" = 1'-0"



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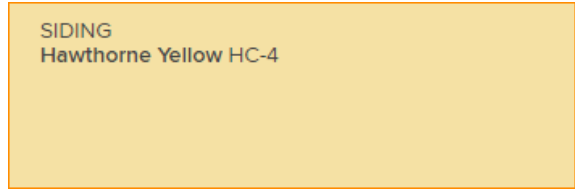
Elevation Facing South 12

1/8" = 1'-0"





Exterior color precedent



Benjamin Moore paint color

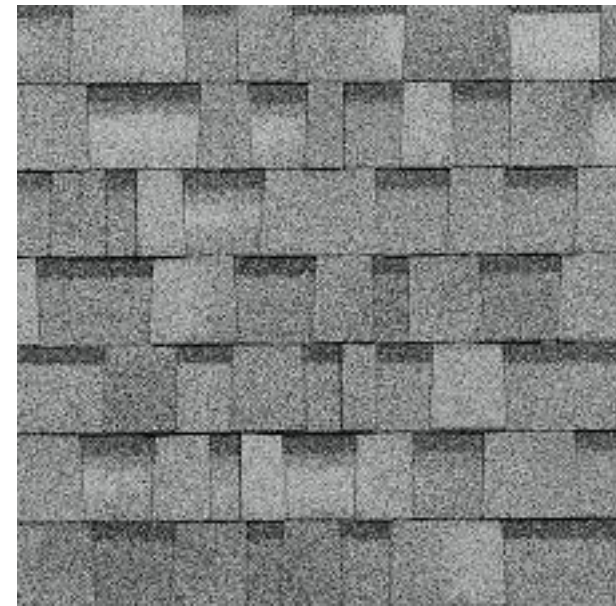


Existing stained glass windows to be refurbished



Marvin Ultimate Series:  
Wood inside / Wood outside windows

NEW WINDOWS WILL MATCH EXISTING



Grey shingle roof



Existing



Proposed



Existing



Proposed

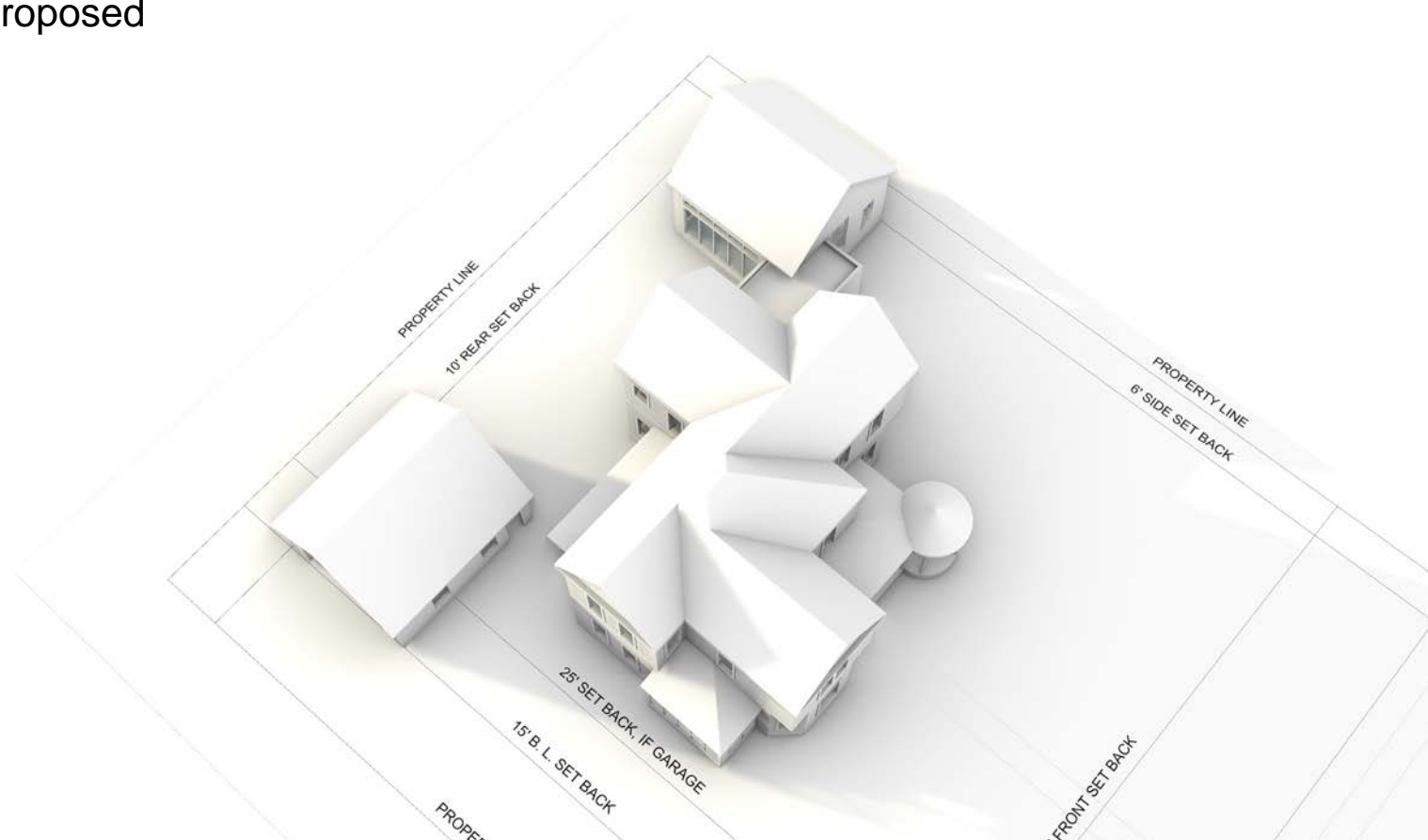




Proposed



Proposed



Proposed



Proposed



## EXTERIOR PAINT SAMPLE



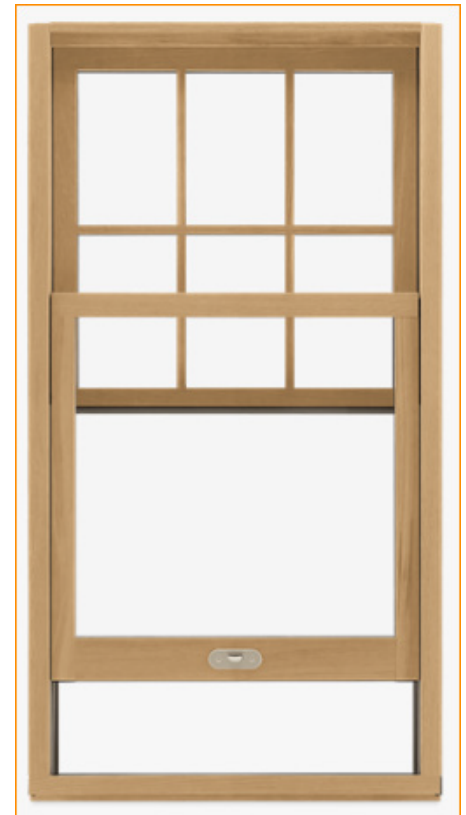
SIDING  
Hawthorne Yellow HC-4

Benjamin Moore Paint  
Siding: Hawthorne Yellow HC-4

## EXTERIOR WINDOW SAMPLES

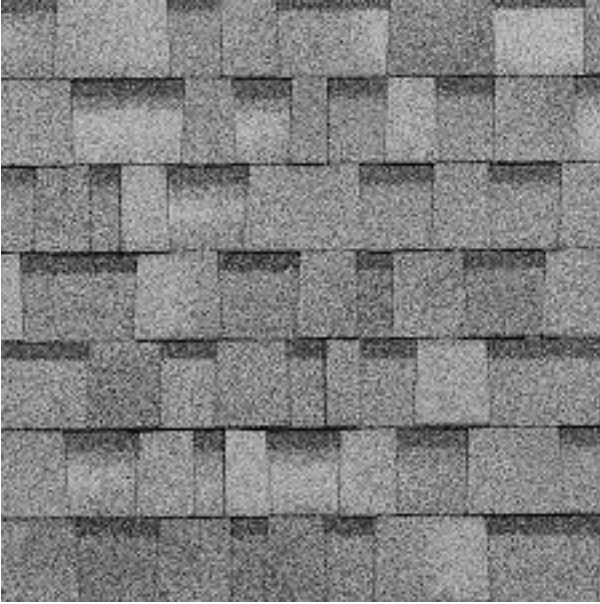


Existing stained glass windows to be refurbished



Marvin Ultimate Series:  
Wood inside / Wood outside  
windows

## ROOF SHINGLE SAMPLE





NOT FOR REGULATORY  
APPROVAL, PERMITTING  
OR CONSTRUCTION

(512) 819-6012

Wang Architects  
Architecture and Urban Design

1312 ELM  
1312 S ELM STREET  
GEORGETOWN, TX

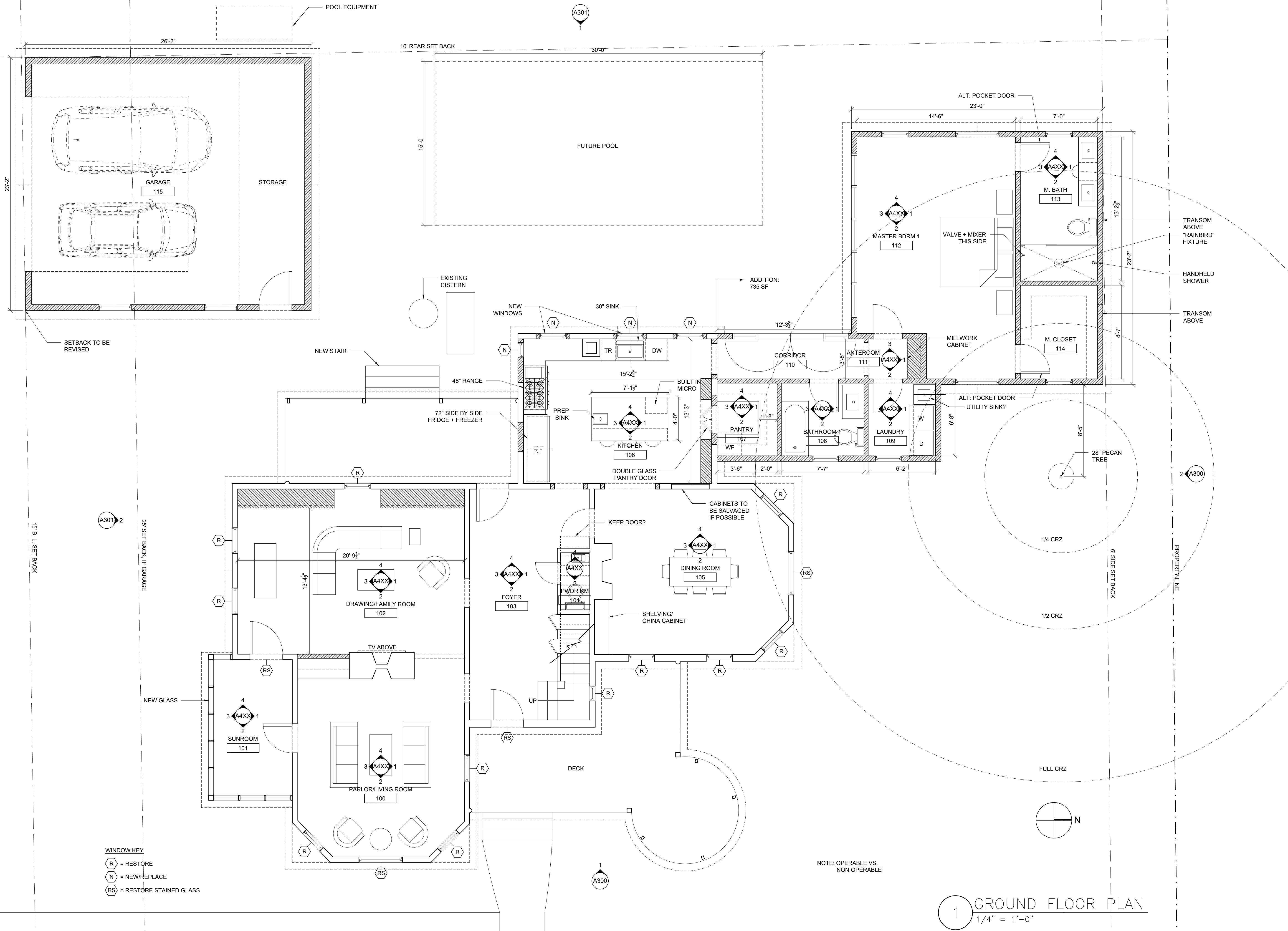
DATE: APRIL 15, 2021  
FOR: SCHEMATIC DESIGN  
DATE: JUNE 15, 2021  
FOR: DESIGN DEVELOPMENT PROGRESS

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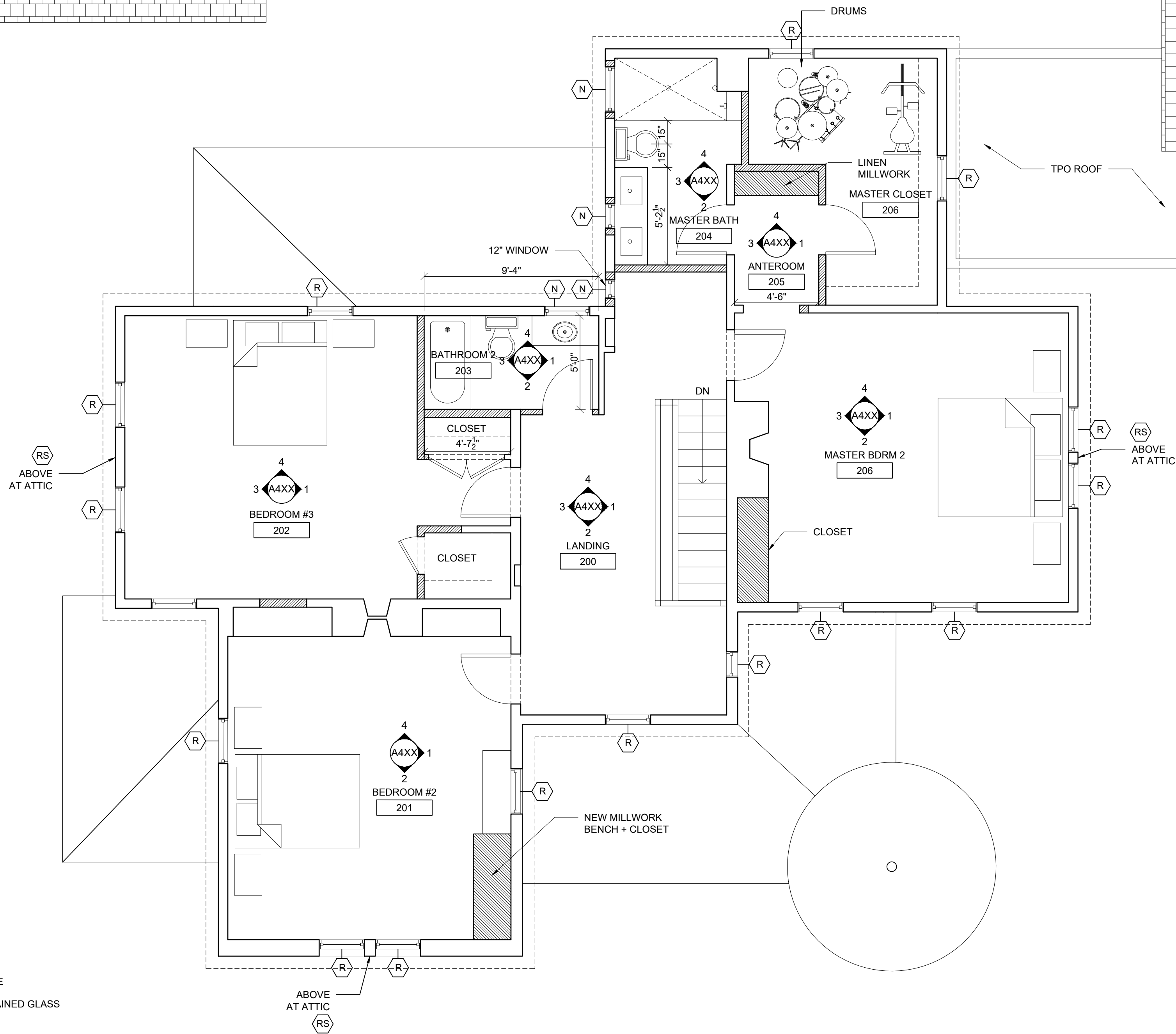
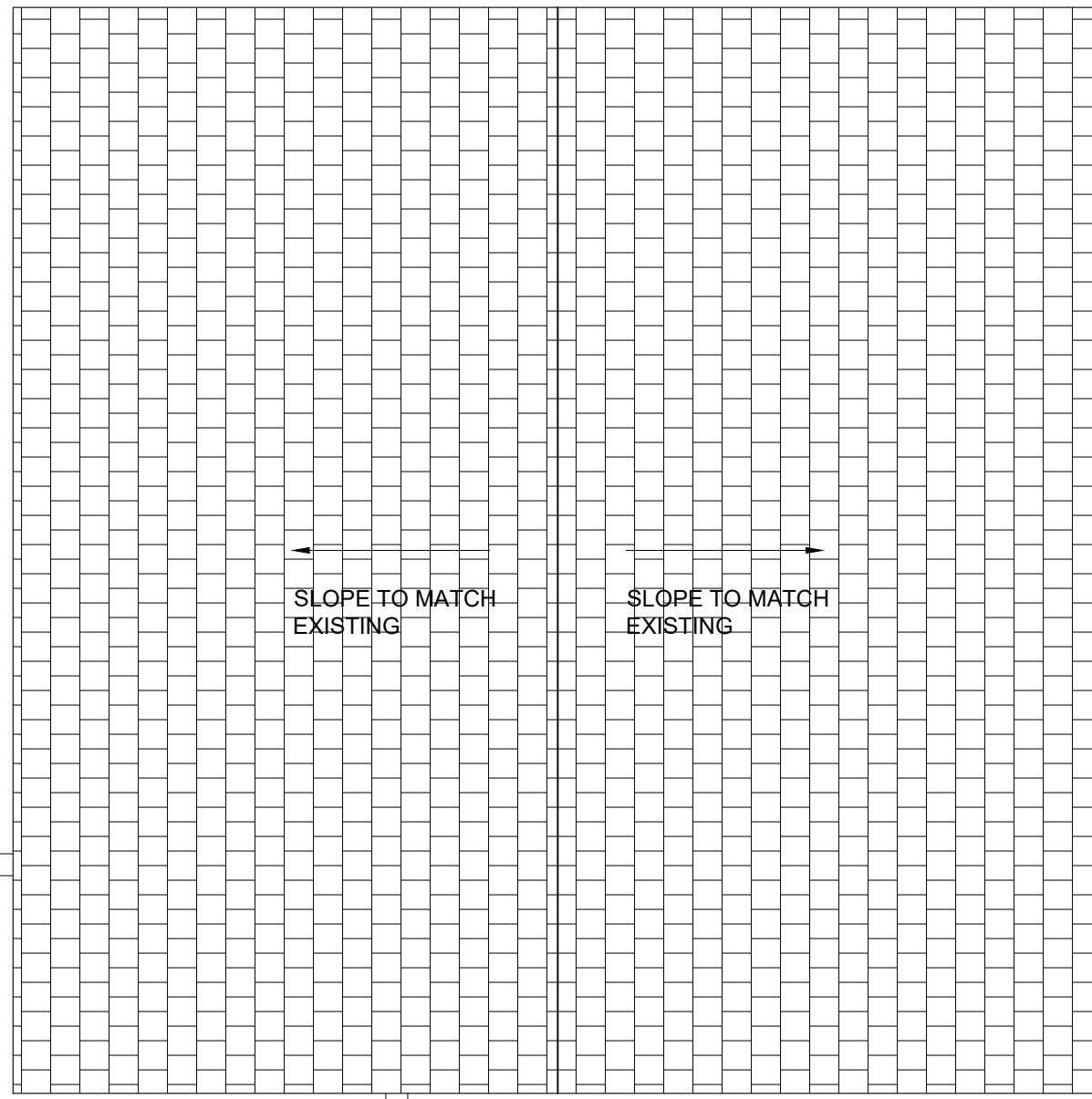
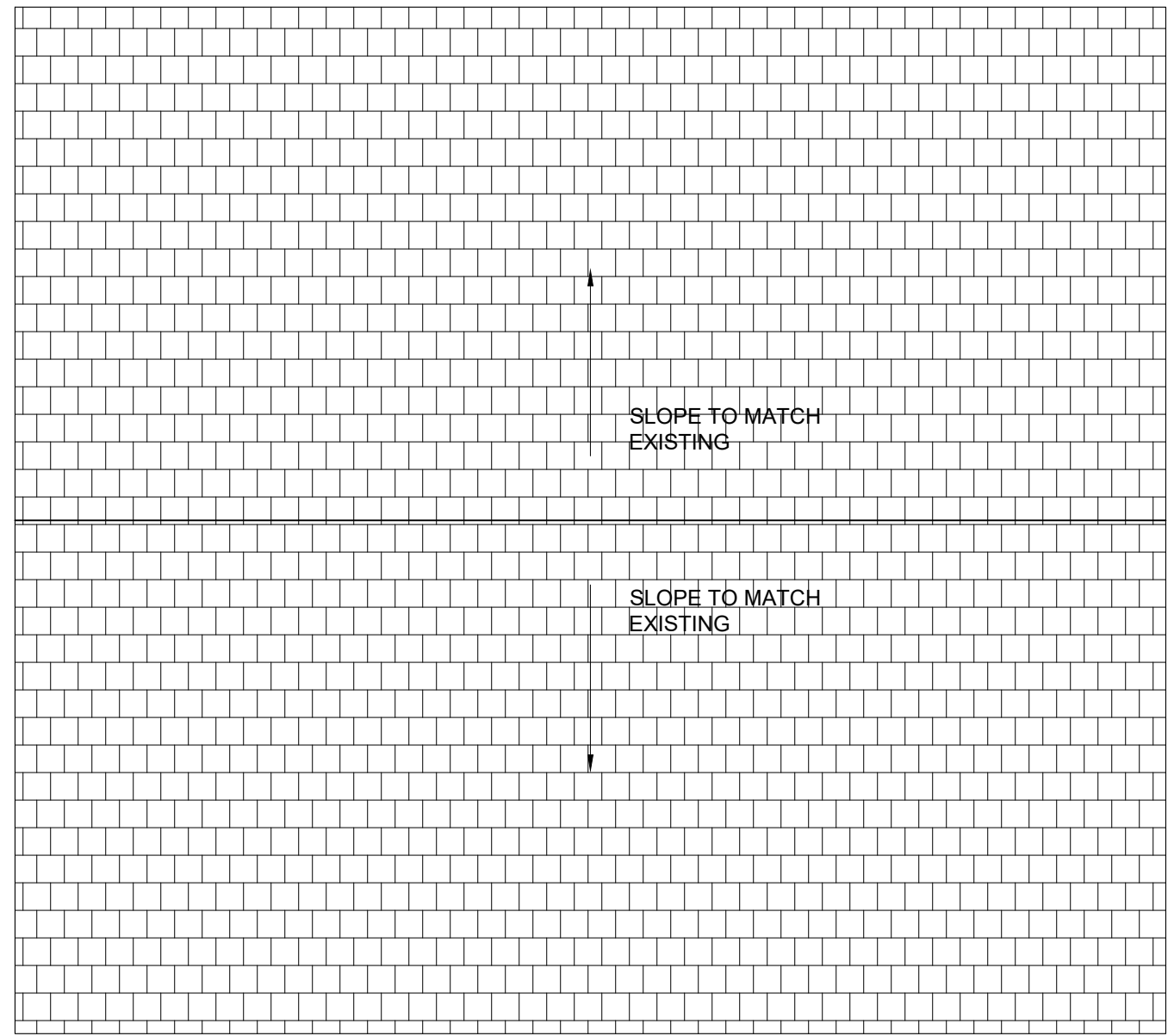
DRAWING:

A211

DO NOT SCALE DRAWING



NOT FOR REGULATORY  
APPROVAL, PERMITTING  
OR CONSTRUCTION



WINDOW KEY  
R = RESTORE  
N = NEW/REPLACE  
RS = RESTORE STAINED GLASS

1 SECOND FLOOR PLAN  
1/4" = 1'-0"

1312 ELM  
1312 S ELM STREET  
GEORGETOWN, TX

Wang Architects  
Architecture and Urban Design

(512) 819-6012

DATE: APRIL 15, 2021  
FOR: SCHEMATIC DESIGN  
DATE: JUNE 15, 2021  
FOR: DESIGN DEVELOPMENT PROGRESS

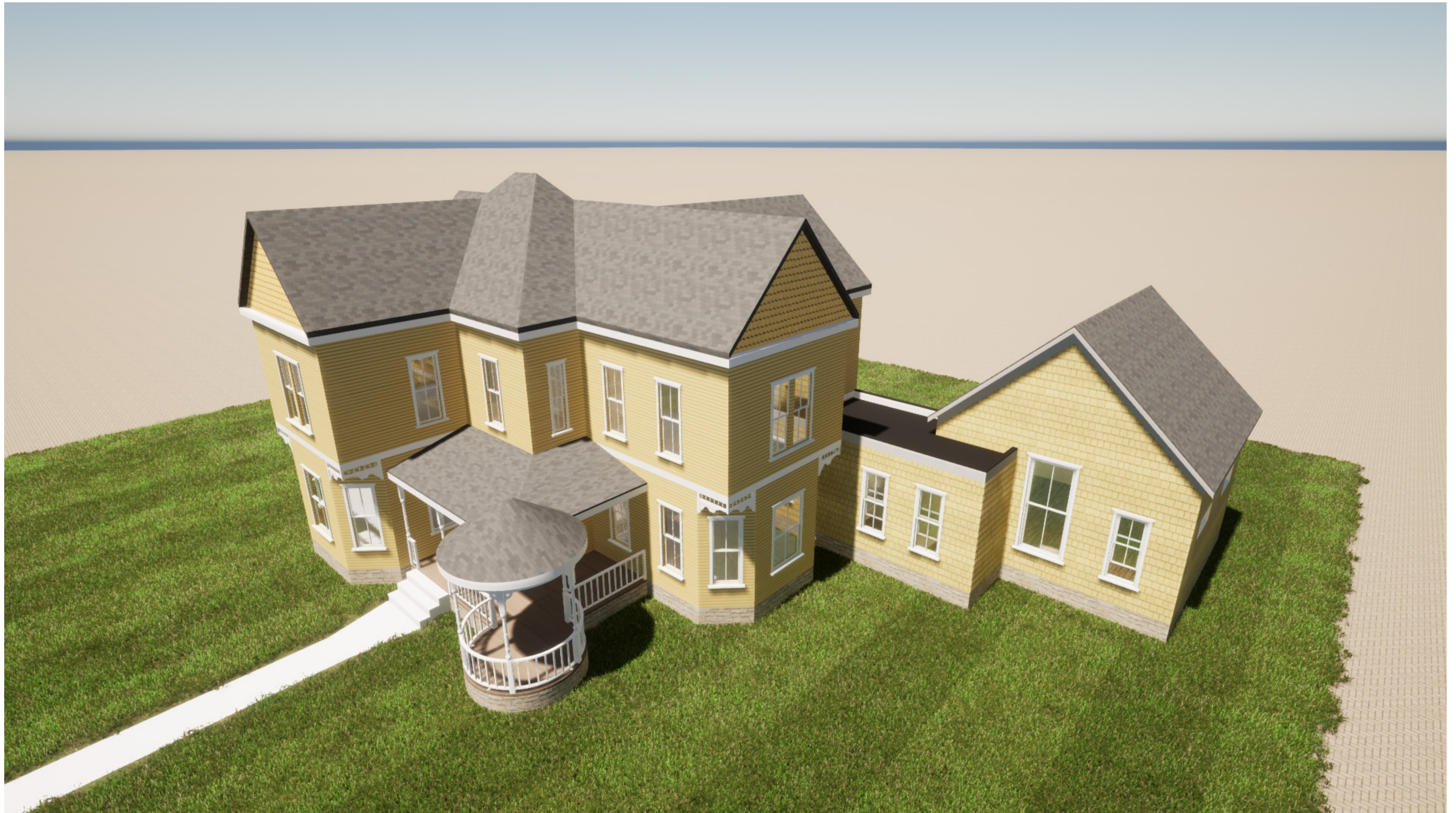
© 2020 WANG ARCHITECTS

A212

DRAWING:

DO NOT SCALE DRAWING





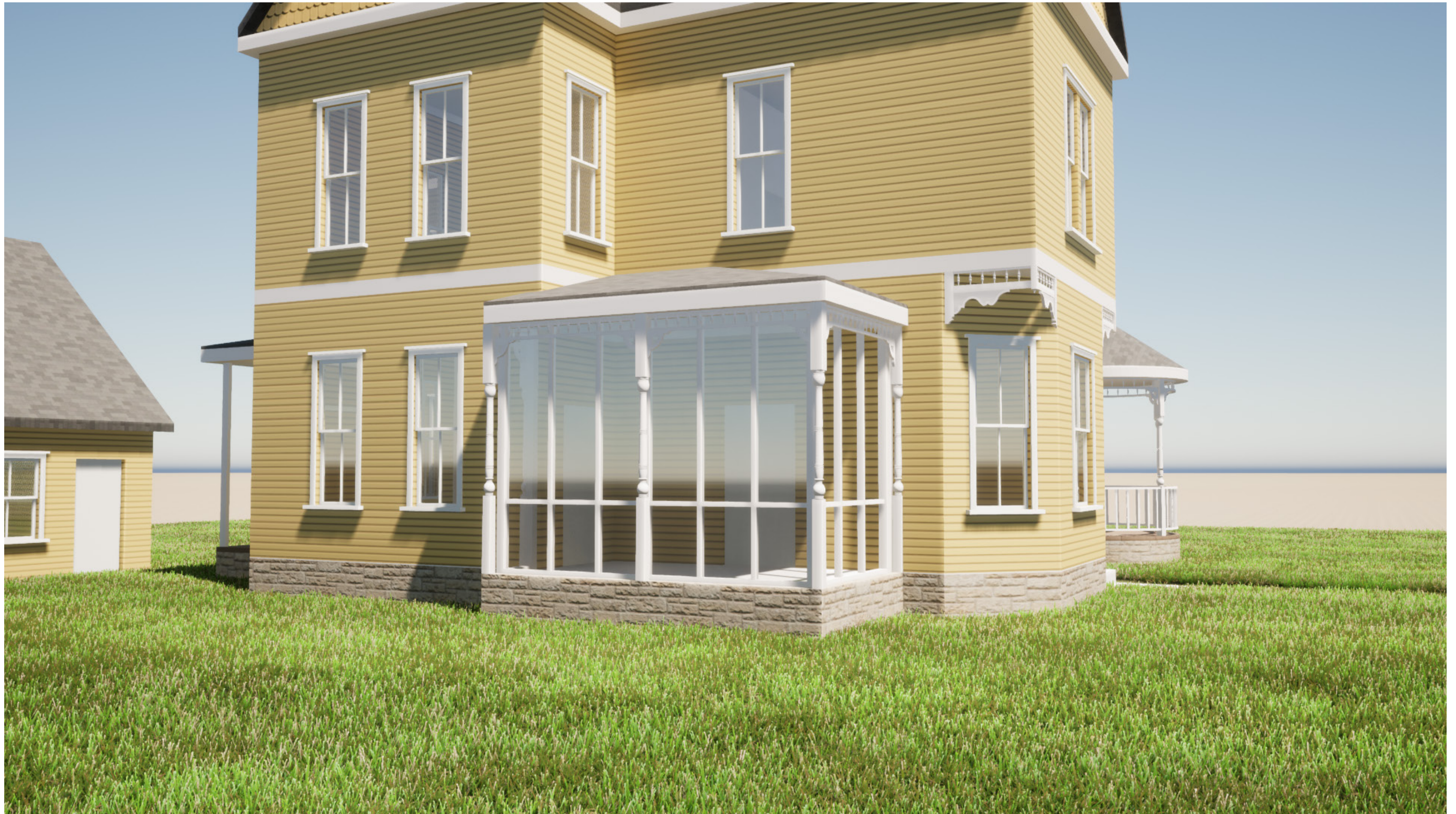
















STOREFRONT WINDOWS - HISTORIC STEEL



ARCHITECTURAL DETAILS WITH STEEL WINDOWS BEHIND - "STOREFRONT"





EXAMPLE OF SHINGLE SIDING



TEXAS HISTORIC SITES INVENTORY FORM – TEXAS HISTORICAL COMMISSION (rev. 8-82)

1. County Williamson WM 5. USGS Quad No. 3097-313 Site No. 600  
 City/Rural Georgetown GE UTM Sector 627-3380  
 2. Name McDougle House 6. Date: Factual 1895 Est. \_\_\_\_\_  
 Address 1312 Elm 7. Architect/Builder \_\_\_\_\_ Contractor Belford Lumber Co.  
 3. Owner Richard W. Gutts, Jr. 8. Style/Type Queen Anne  
 Address 1312 Elm, 78626 9. Original Use residential  
 4. Block/Lot Hughes 2nd/Blk. B/S.E. corner Present Use residential  
 10. Description Two-story wood frame dwelling asymmetrical; exterior walls with weatherboard siding and shingle imbrication; hip roof with gables with composition shingles; box eaves; front elevation faces east; interior brick chimney with corbeled cap; wood sash double-hung windows with 2/2 lights; single-door entrance with transom; one-story six-bay porch with  
 11. Present Condition good  
 12. Significance Primary area of significance: architecture. An outstanding example of Queen Anne style residential architecture in Georgetown. Similar to Penn House (Site 599) at 1304 Elm. For more info, see THC marker file and N.R. application.  
 13. Relationship to Site: Moved Date \_\_\_\_\_ or Original Site ☒ (describe) \_\_\_\_\_  
 14. Bibliography Tax rolls, GHS files 15. Informant \_\_\_\_\_  
 16. Recorder D. Hardy/HHM Date July 1984

DESIGNATIONS

PHOTO DATA

TNRIS No. \_\_\_\_\_ Old THC Code \_\_\_\_\_ B&W 4x5s \_\_\_\_\_ Slides \_\_\_\_\_  
☐ RTHL ☐ HABS (no.) TEX- \_\_\_\_\_ 35mm Negs. \_\_\_\_\_  
 NR: ☐ Individual ☒ Historic District  
☐ Thematic ☐ Multiple-Resource  
 NR File Name Univ.-Elm St. H.D.  
 Other \_\_\_\_\_

YEAR	DRWR	ROLL	FRME		ROLL	FRME
		12	26	to		
		34	25	to	34	32
				to		

CONTINUATION PAGE

No. 2 of 2

TEXAS HISTORIC SITES INVENTORY FORM – TEXAS HISTORICAL COMMISSION (rev. 8-82)

1. County Williamson WM 5. USGS Quad No. 3097-313 Site No. 600  
 City/Rural Georgetown GE  
 2. Name McDougle House  
 #10. Description (cont'd): hip roof, conical roof on northeast corner, within north and east elevations; turned wood posts; turned wood balustrade and spindle frieze. Victorian elements include shingle imbrication, bargboard & art glass in gable ends; turned and jig-sawn brackets above angled corners on first story of east bay; one-story porches have spindle friezes, jig-sawn brackets, turned posts; turned and stick balustrade and corner turret at the northeast with spire topping the conical roof; elaborate door has carved panel and art glass order around light; shutters on windows; gutters incorporated into roof.

**TEXAS HISTORICAL COMMISSION**

**Properties Documented with the THC Form in 2007 and/or 1984 That Have Not Changed Preservation Priority**

Address: 1312 S Elm St 2016 Survey ID: 125864  
 City: Georgetown 2016 Preservation Priority: High  
 County: Williamson Local District: Old Town District

**SECTION 1**

**Basic Inventory Information**

**Property Type:** ☒ Building ☐ Structure ☐ Object ☐ Site ☐ District WCAD ID: R042842

Construction Date: 1895 ☒ Actual ☐ Estimated Source: WCAD

Latitude: 30.631824 Longitude -97.67442

Current/Historic Name McDougale House

**Stylistic Influence(s)\*** ☐ None Selected

<input type="checkbox"/> Log traditional	<input type="checkbox"/> Shingle	<input type="checkbox"/> Gothic Revival	<input type="checkbox"/> Pueblo Revival	<input type="checkbox"/> International
<input type="checkbox"/> Greek Revival	<input type="checkbox"/> Romanesque Revival	<input type="checkbox"/> Tudor Revival	<input type="checkbox"/> Spanish Colonial	<input type="checkbox"/> Post-war Modern
<input type="checkbox"/> Italianate	<input type="checkbox"/> Folk Victorian	<input type="checkbox"/> Neo-Classical	<input type="checkbox"/> Prairie	<input type="checkbox"/> Ranch
<input type="checkbox"/> Second Empire	<input type="checkbox"/> Colonial Revival	<input type="checkbox"/> Beaux Arts	<input type="checkbox"/> Craftsman	<input type="checkbox"/> Commercial Style
<input type="checkbox"/> Eastlake	<input type="checkbox"/> Renaissance Revival	<input type="checkbox"/> Mission	<input type="checkbox"/> Art Deco	<input type="checkbox"/> No Style
<input checked="" type="checkbox"/> Queen Anne	<input type="checkbox"/> Exotic Revival	<input type="checkbox"/> Monterey	<input type="checkbox"/> Moderne	<input type="checkbox"/> Other:

**Plan\***

☒ L-plan ☐ T-plan ☐ Modified L-plan ☐ 2-room ☐ Open ☐ Center Passage ☐ Bungalow ☐ Shotgun  
☐ Irregular ☐ Four Square ☐ Rectangular ☐ None Selected ☐ Other:

**Priority:** 2016 Survey ID: 125864 ☒ High ☐ Medium ☐ Low

**Explain:** Excellent and/or rare example of its type or style, and/or has significant associations; retains sufficient integrity

2007 Survey ID: 905 ☒ High ☐ Medium ☐ Low

1984 Survey ID: 600 ☒ High ☐ Medium ☐ Low

**General Notes:** Builder: Belford Lumber Co. (Notes from 2007 Survey: None)

Recorded by: CMEC

Date Recorded 3/4/2016

\*Photographs and Preservation Priority have been updated in 2016, and the year built date has also been reviewed. However, the plan and style data are sourced directly from the 2007 survey.



Photo direction: Southwest

Note: See additional photo(s) on following page(s)

## TEXAS HISTORICAL COMMISSION

### Properties Documented with the THC Form in 2007 and/or 1984 That Have Not Changed Preservation Priority

Address: 1312 S Elm St

2016 Survey ID: 125864

City: Georgetown

2016 Preservation Priority: High

County: Williamson

Local District: Old Town District

## Additional Photos

Photo Direction West



June 22, 2021

Gary Wang  
**Wang Architects**  
608 East University Avenue  
Georgetown, TX 78626

Re: *Recorded Texas Historic Landmark project review, A.J. McDougle Home, 1312 Elm Street, Georgetown, Williamson County, Texas (RTHL)*

Dear Mr. Wang,

Thank you for sending information regarding the proposed alterations to the *A.J. McDougle Home*, which is a Recorded Texas Historic Landmark (RTHL). This letter represents the comments of the Executive Director of the Texas Historical Commission.

The review staff, led by Pam Opiela, has completed its review of the proposed changes send to us via email on 6/10/2021 and 6/18/2021. The plans are for rehabilitation of the historic house and an addition to the rear. Existing exterior materials are to be kept where possible and repaired, except one window upstairs and kitchen windows which will be new but compatible. The new addition as planned will be compatible with the historic structure. The Texas Historical Commission has determined that the scope of work proposed meets *The Secretary of the Interior's Standards for Rehabilitation*. Therefore, we waive the remainder of the waiting period and work can begin on this project.

Thank you for your interest in the cultural heritage of Texas, and for the opportunity to comment on this proposed project. **If you have any questions concerning our review or if we can be of further assistance, please contact Pam Opiela at [pamela.opiela@thc.texas.gov](mailto:pamela.opiela@thc.texas.gov) or 512/463-8952.**

Sincerely,



Pam Opiela, AIA, Statewide Military Projects Reviewer and Central and West Texas Project Reviewer  
For: Mark Wolfe, Executive Director

MW/po





CITY OF GEORGETOWN  
NOTICE OF PUBLIC HEARING



**Comments from Neighboring Property Owners**

You are being notified as a requirement of the City of Georgetown Code of Ordinances. You are invited to express your views or concerns regarding the – described petition by returning this comment form and/or by attending the scheduled public hearings on the matter.

**Project Name/Address:** 1312 Elm Street

**Project Case Number:** 2021-21-COA **HARC Date:** July 22, 2021 **Case Manager:** Britin Bostick

**Name of Respondent:** Charles Raynor  
(Please print name)

**Signature of Respondent:** Charles Raynor  
(Signature required for protest)

**Address of Respondent:** 1403 Elm st. Georgetown TX  
(Address required for protest)

**I am in FAVOR:** ✓ **I OBJECT:** \_\_\_\_\_

**Additional Comments:**

We support any improvements/renovations  
That New owners would like to make  
to the property - GLADLY SO

Written comments may be sent to City of Georgetown Planning Department, P. O. Box 409 Georgetown, Texas 78627. Emailed comments may be sent to [planning@georgetown.org](mailto:planning@georgetown.org). Any such comments may be presented to the Commission.



## Britin Bostick

---

**From:** WEB\_Planning  
**Sent:** Monday, July 12, 2021 2:53 PM  
**To:** Britin Bostick  
**Subject:** FW: [EXTERNAL] Attn: Britin Bostic re:1312 Elm St.  
**Attachments:** COA comments.txt; DSCN1719.JPG; DSCN1718.JPG; DSCN1720.JPG; DSCN0224\_26 comp.jpg

From: Richard Cutts  
Sent: Monday, July 12, 2021 2:18 PM  
To: WEB\_Planning <planning@georgetown.org>  
Subject: [EXTERNAL] Attn: Britin Bostic re:1312 Elm St.

[EXTERNAL EMAIL]

Hi Britin,

Attached are my comments on the COA application for 1312 Elm St and a few photos. The Powerpoint slide show is too big to attach to an email.

The 1st pic shows the side porch posts and the spindle gallery for the Elm St end.

The 2nd shows the posts & spindle galleries for the front porch

The 3rd is the recreation of a railing section

I will work on adding some pictures showing the attention to detail and the end results of following the National Park Service guidelines for restoration.

Thank you very much for your prompt reply to my phone message.

Regards,

Richard Cutts

6.16

A number of 12 x 36" panes of old glass were included in the restoration materials included in the sale of the property.

6.25 and 6.26

The historic porches have deteriorated and most of the original decorative elements have been preserved and included in the sale of the property. Many of these elements have been restored and identified as to their original location. These parts include the posts for the side porch and the spindle gallery for the East side of the side porch.

I believe all of the original railings for the front and side porches were also included in the sale. The original railings were all in poor condition due in part to inadequate maintenance, use as seats and their original construction where all components were nailed together.

There is one example of a railing section which has been rebuilt using mortise and tenon joints, the original spindles and cypress milled with a router bit modified to match the original detail. That section and the router bit were included in the sale.

There is no doubt that the porch could be properly restored with the original components and if enclosure is required the glass could be inside the posts and spindle galleries. I don't think the railings are required by code but if so they could be restored and I believe all of the original spindles were also included in the sale along with most, if not all, of the cypress necessary to rebuild them.

Incidentally, the railings shown in the proposal for the front porch do not match the originals.

14.11

The proposed porch enclosure would damage historic features as the parts have been removed to repair and restore them and simply need to be installed.



















# 1312 Elm Street 2021-21-COA

**Historic & Architectural Review Commission**  
July 22, 2021



# Item Under Consideration

## 2021-21-COA – 1312 Elm Street

- Public Hearing and Possible Action on a request for a Certificate of Appropriateness for additions that create a new, or add to an existing street facing façade; replacing a historic architectural feature with a non-historic architectural feature; and a 10'-0" setback encroachment into the required 25'-0" street-facing garage setback for the construction of a garage addition 10'-0" from the side street (south) property line at the property located at 1312 Elm Street, bearing the legal description 0.3888 acres being a portion of the south half of Block B, Hughes Second Addition.

# Item Under Consideration

## HARC:

- ✓ New detached garage and attached living space additions
- ✓ 10'-0" garage setback modification
- ✓ Replacement of side porch with sunroom
- ✓ Window replacement

## HPO:

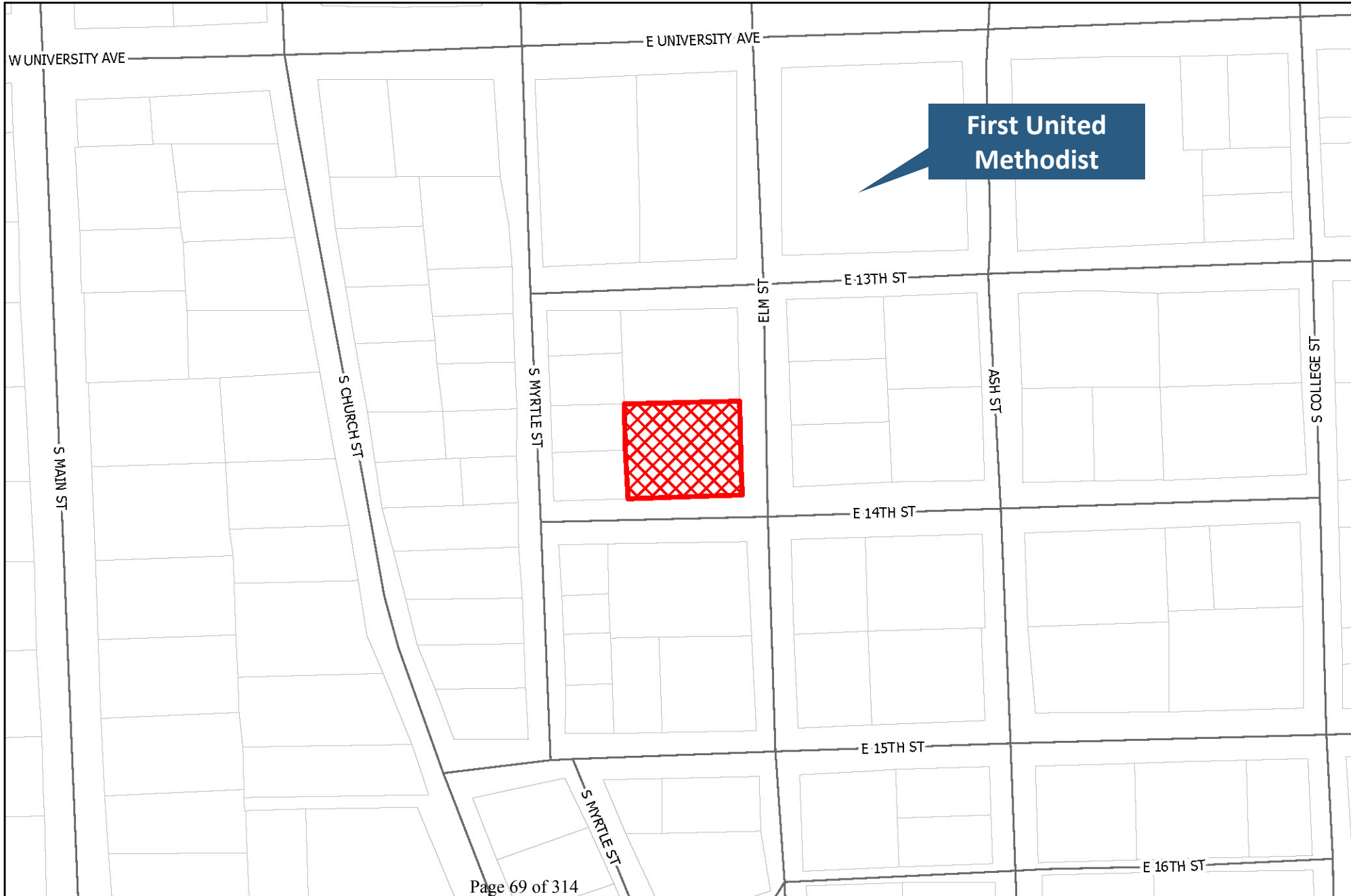
- ✓ Restoration of historic architectural features



# Item Under Consideration





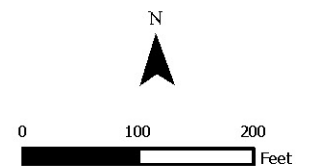


## LOCATION

2021-21-COA

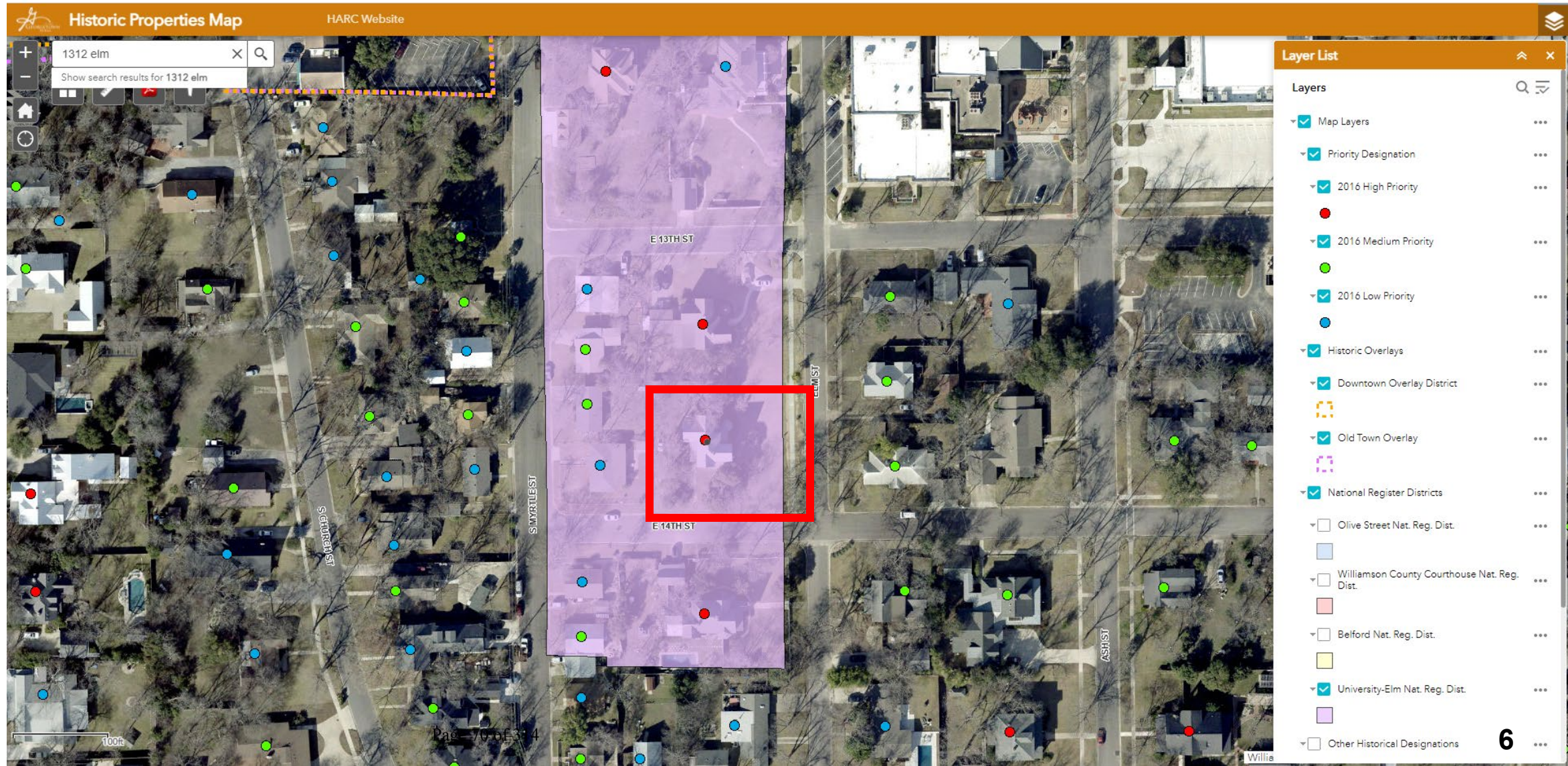
Exhibit #1

-  Site
-  Parcels



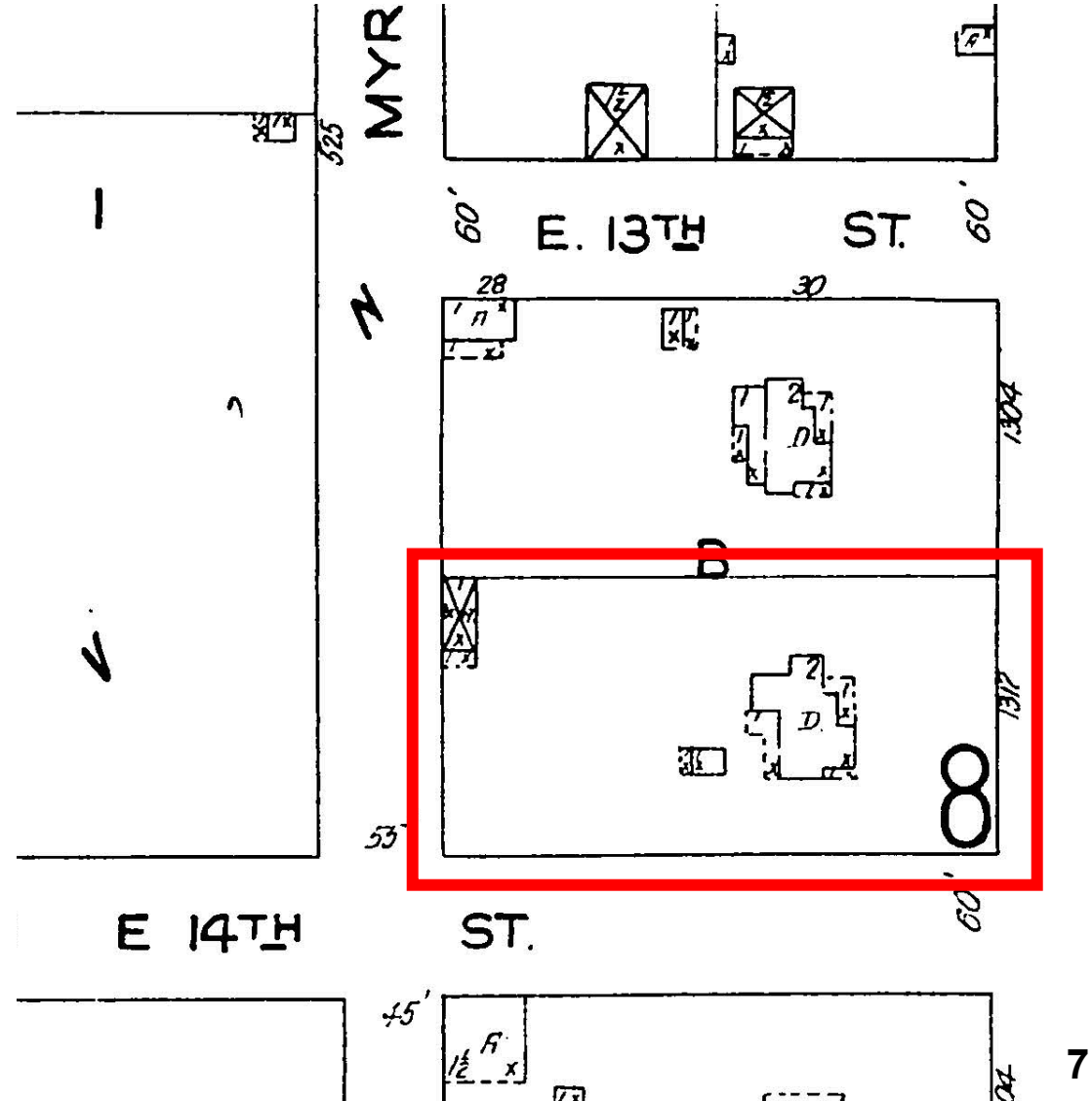
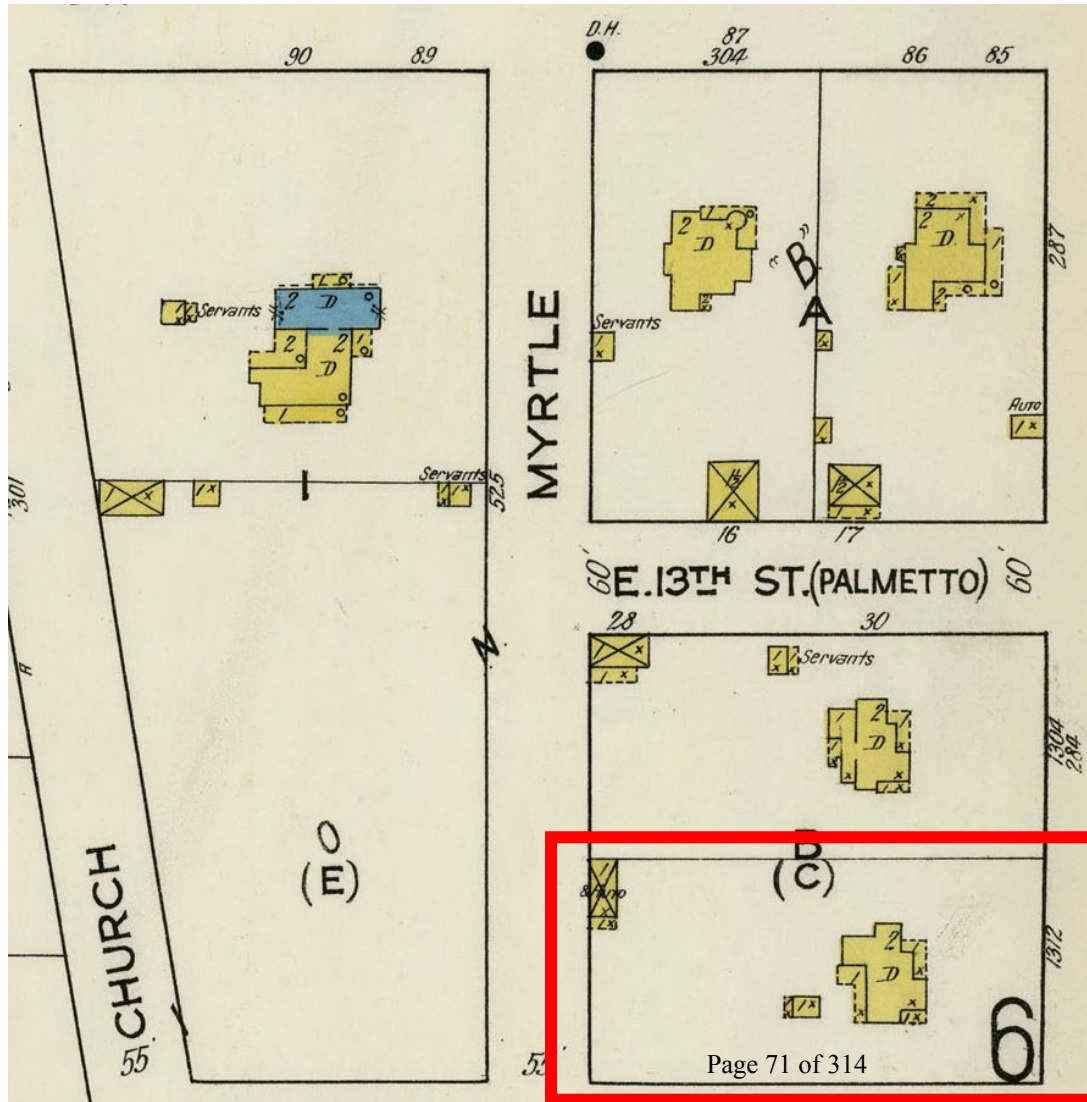


# Current Context





# 1916 & 1925 Sanborn Maps



# 1964 Aerial Photo





# 1974 Aerial Photo





# Date Unknown (pre-1975) & 1976 THC Photos





# 1975 RTHL & Photos

-2-

4355

1945.

The present owners, Neil M. and Joyce T. Adams, purchased the same south half of Block B, Hughes Addition, from Frances Nell Armstrong on Aug. 27, 1969.

The J. A. McDougale home was built soon after the sale of the land to the McDougales, July 25, 1895. The Williamson County Sun of Aug. 29, 1895, contains a story on the building program in Georgetown during the previous twelve months, which it said was mostly in the "Southern part of the town." Residences on the south side were listed, among them that of J. A. McDougale.

The builder, J. A. McDougale, came to Texas in 1869 from Alabama, with his mother and three other McDougale children, traveling by ox wagon with eight other families. The trip to Williamson County, where other McDougale relatives were already settled, took two months. Buffalo meat was very cheap, imported from nearby counties to the west where buffalo was still hunted. Williamson County still had abundant deer, wolves, prairie chickens, and many cattle, which were being driven up the trails. In his early twenties when he came to Georgetown, McDougale joined a trail drive in 1871, headed for Salina, Kansas. In 1873, he went on another drive, after which he established a <sup>wholesale</sup> grocery business in Georgetown, operating it twenty-five years. In 1902, McDougale moved his wholesale business to Dallas and helped establish it as McDougale, Cameron & Webster. He retired in 1923. J. A. McDougale's gravestone shows he was born in 1839, but several published newspaper stories and a letter in the possession of the author from his daughter-in-law, Mrs. Homer A. (Pearl) McDougale indicate that he claimed to be 90 the year he died, the the newspaper stories substantiate this claim. He was born either in 1839 or 1849, depending upon the source accepted, and died in 1939. He married Miss Clara Belsher (1861-1936). ~~and had three~~ <sup>were</sup> Their children, Homer A. McDougale, Clarence Penn McDougale, (Dr.) John B. McDougale, Etta Mae McDougale (Mrs. Crofford), and Nelle McDougale (Mrs. Marshall). J. A. McDougale is buried in Page Memorial Park, Dallas.



Above: The J. A. McDougale House  
 1312 Elm Street, Georgetown  
 faces east.



Above: South side view of the  
 McDougale house

4355

Below: West, or rear, view  
 of the McDougale house



Below: North view of the  
 McDougale house





# 1979 THC Photo





# Photos Provided by Mr. Richard Cutts c. 1980s





# Photos Provided by Mr. Richard Cutts c. 1980s





# Photos Provided by Mr. Richard Cutts c. 1980s





# 1984 HRS Photos



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16



# 1984 HRS & Date Unknown Photos





# Current Exterior Photos



Existing East front facade along Elm Street



Existing South facade at main house along E 14th Street



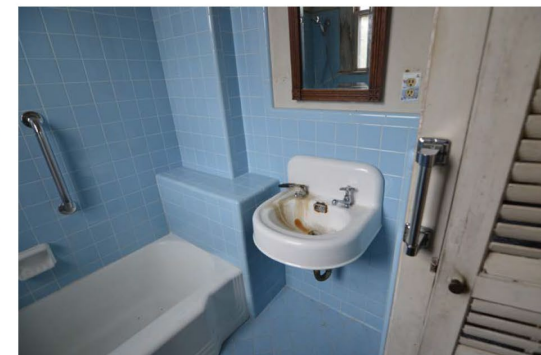
Existing West front facade along Elm Street



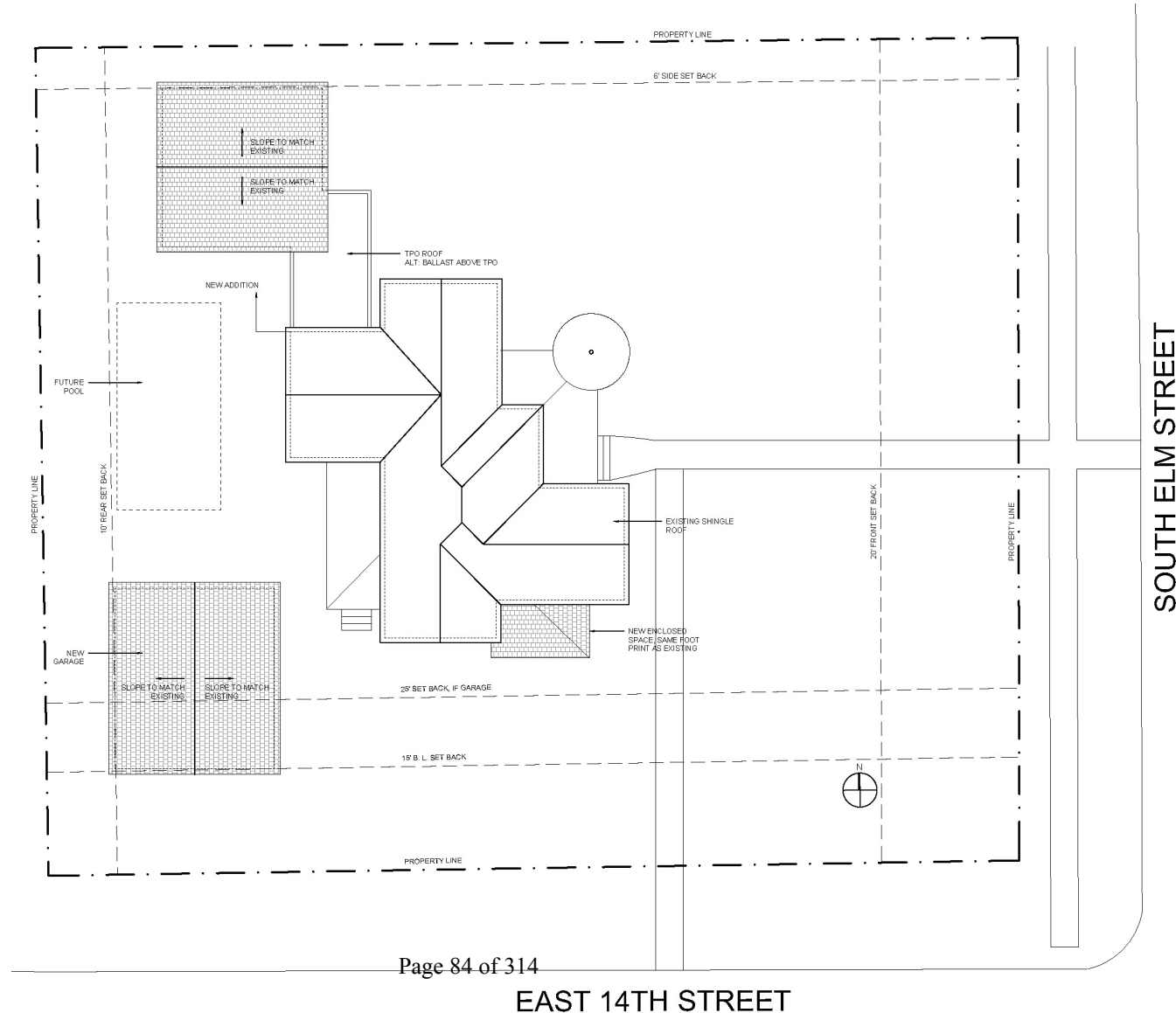
Existing South facade at main house along E 14th Street



# Current Interior Photos



# Proposed Site Plan



LOT AREA: 14,375 SF

ZONING DISTRICT: SINGLE-FAMILY RESIDENTIAL

EXISTING AND PROPOSED USE: SINGLE-FAMILY  
 RESIDENTIAL

EXISTING: 2,758 SF

NEW SUNROOM + ADDITION: 835 SF

NEW ENCLOSED: 3,593 SF

NEW GARAGE: 606 SF (ALLOWABLE 895 SF)

PROPOSED CONST AREA: 1,441 SF

FRONT SETBACK: 20'

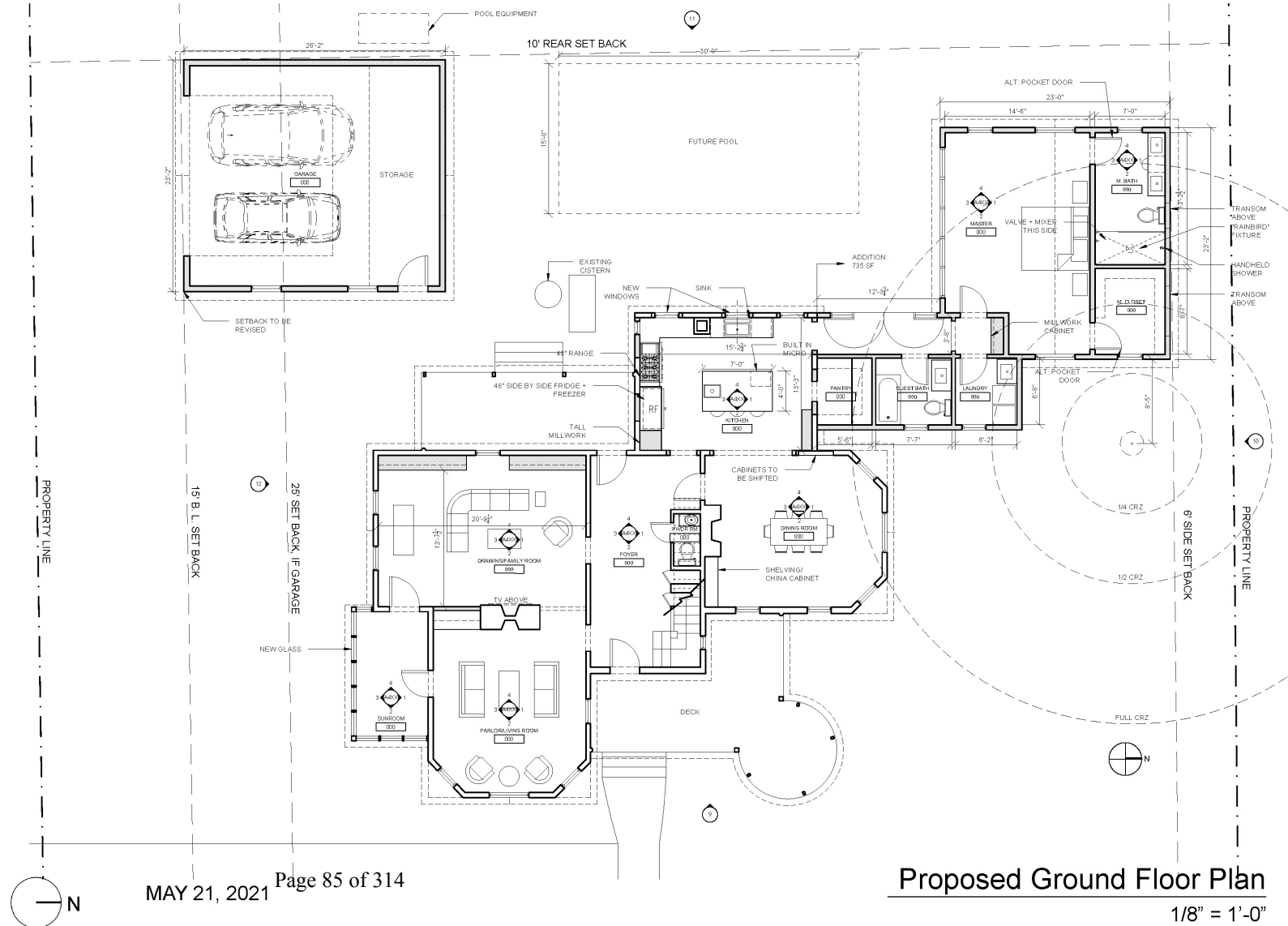
SIDE SETBACK: 6'

STREET FACING GARAGE SETBACK: 15'

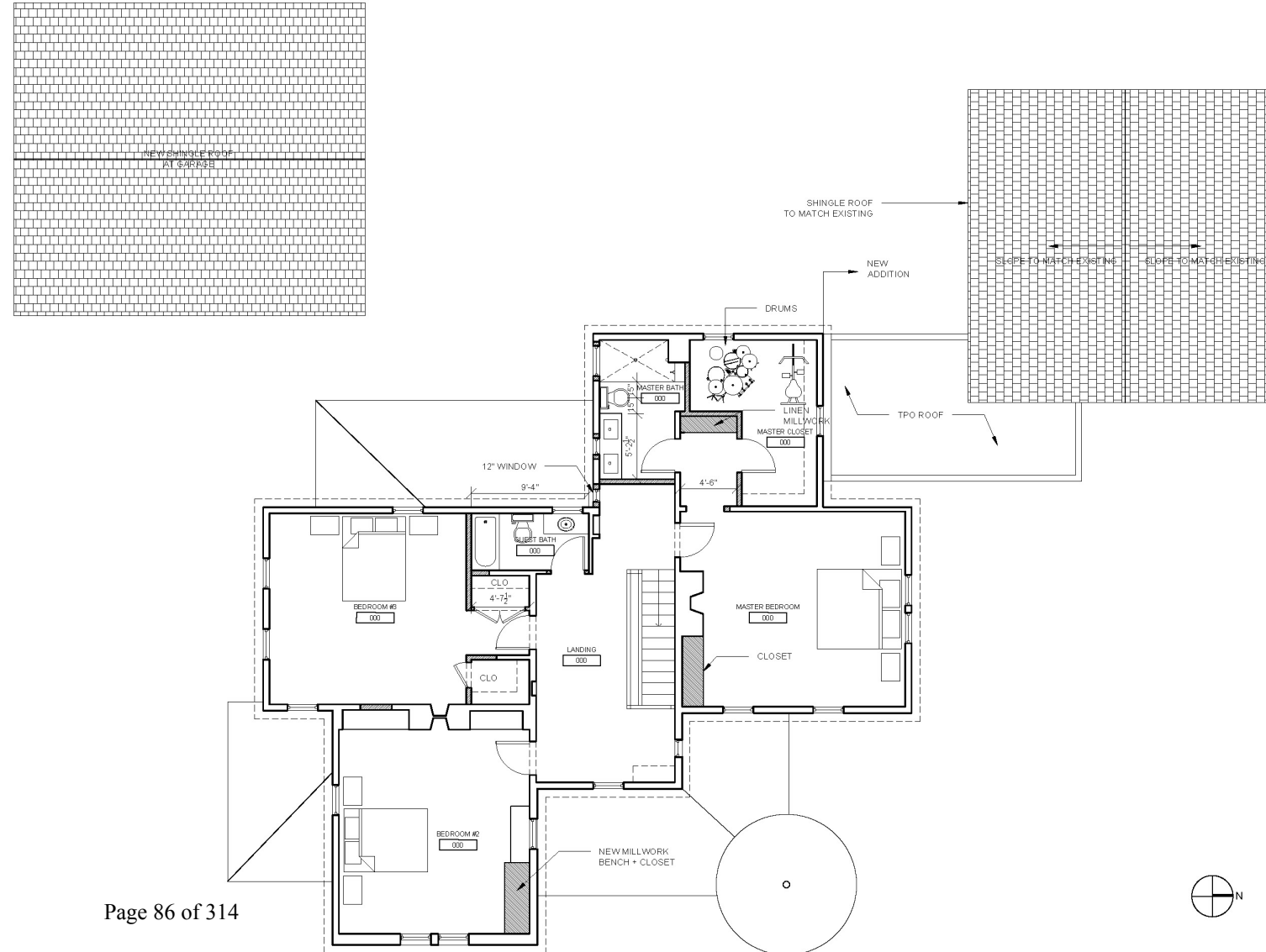
REAR SETBACK: 10'



# Proposed First Floor Plan



# Proposed Second Floor Plan





# Proposed East Elevation



# Proposed South Elevation





# Proposed West Elevation



# Proposed North Elevation





# Existing & Proposed Renderings



Existing



Proposed



Existing



Proposed

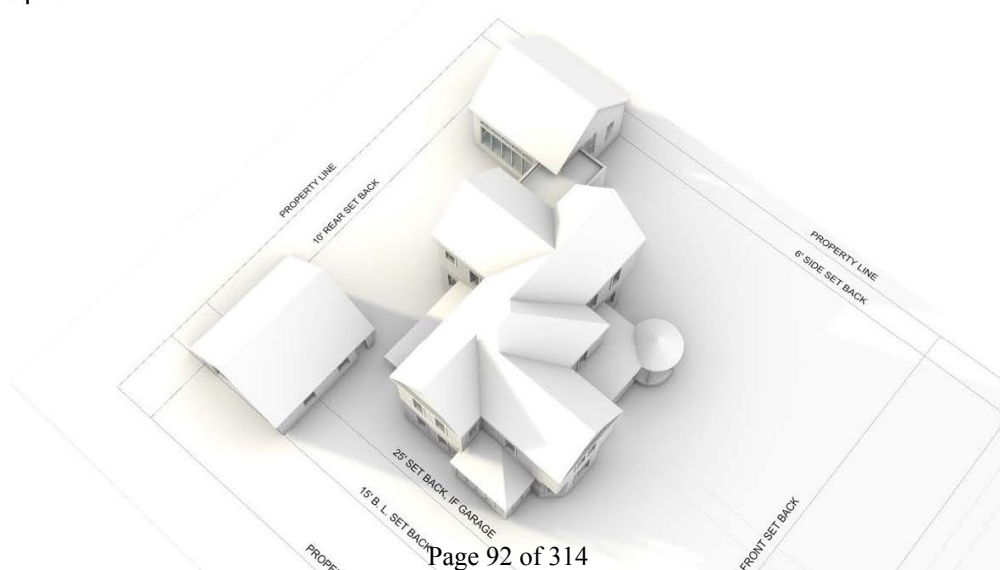
# Proposed Renderings



Proposed



Proposed



Proposed



Proposed



# Proposed Materials



Exterior color precedent

SIDING  
 Hawthorne Yellow HC-4

Benjamin Moore paint color

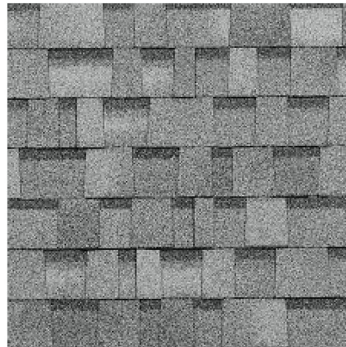


Existing stained glass windows to be refurbished



Marvin Ultimate Series:  
 Wood inside / Wood outside windows

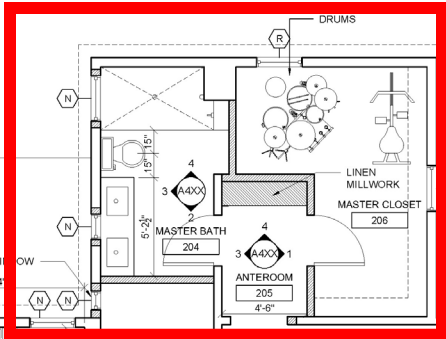
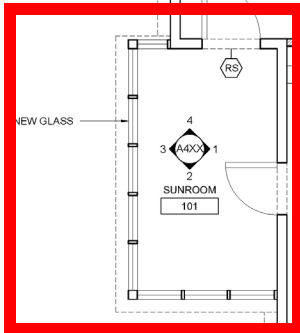
NEW WINDOWS WILL MATCH EXISTING



Grey shingle roof



# Proposed Window Repair & New Windows





# Project Rendering





# Project Rendering





# Project Rendering – Proposed Sunroom





# Project Rendering – Proposed Sunroom





# Sunroom Inspiration – Steel Windows



STOREFRONT WINDOWS - HISTORIC STEEL



Page 99 of 314

ARCHITECTURAL DETAILS WITH STEEL WINDOWS BEHIND - "STOREFRONT"



# Proposed Shingle Siding



EXAMPLE OF SHINGLE SIDING



# Current Context





# Current Context



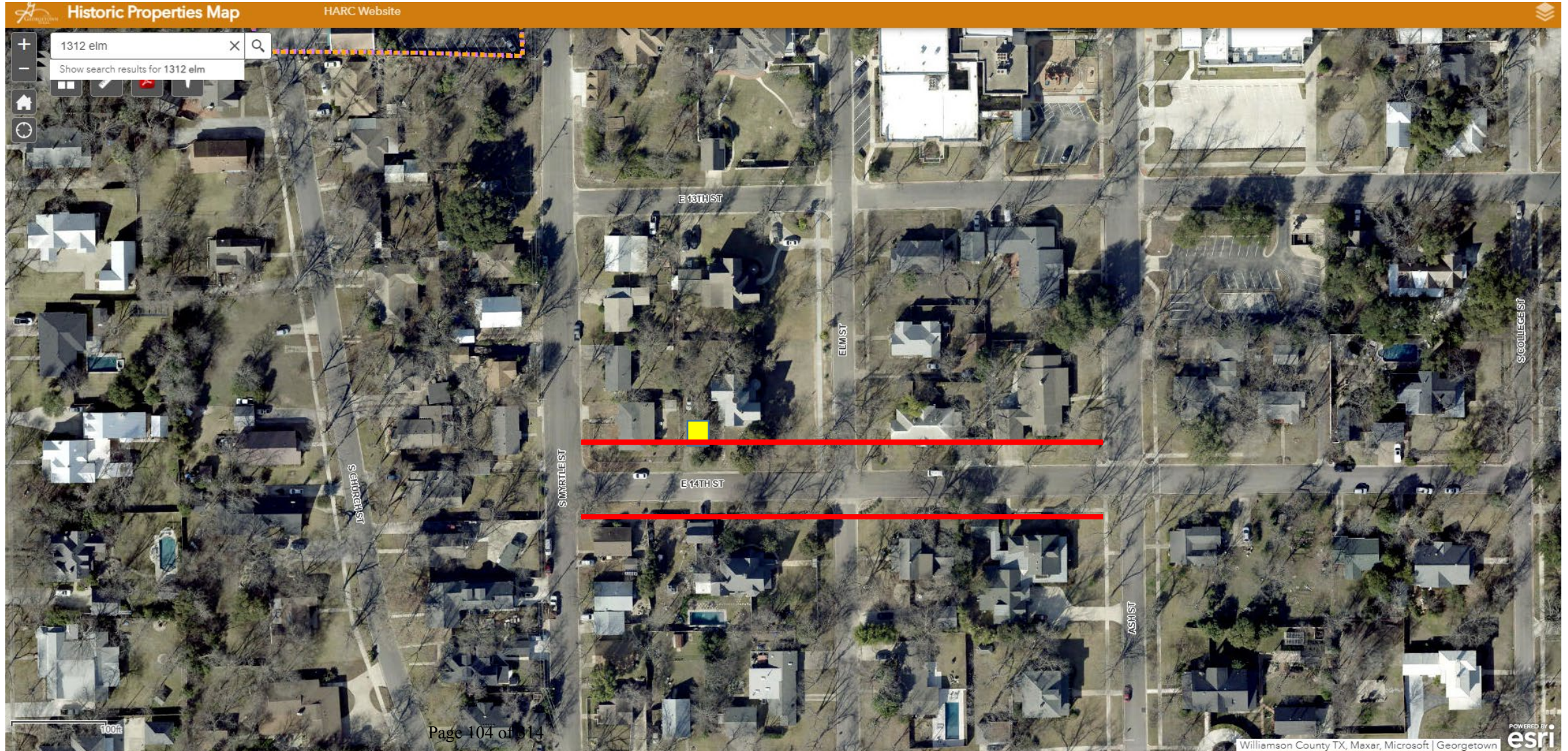


# Current Context





# Current Context





# Approval Criteria – UDC Section 3.13.030

Criteria	Staff's Finding
1. The application is complete and the information contained within the application is correct and sufficient enough to allow adequate review and final action;	<b>Complies</b>
2. Compliance with any design standards of this Code;	<b>Partially Complies</b>
3. Compliance with the Secretary of the Interior's Standards for the Treatment of Historic Properties to the most extent practicable;	<b>Complies</b>
4. Compliance with the adopted Downtown and Old Town Design Guidelines, as may be amended from time to time, specific to the applicable Historic Overlay District;	<b>Partially Complies</b>
5. The general historic, cultural, and architectural integrity of the building, structure or site is preserved;	<b>Complies</b>
6. New buildings or additions are designed to be compatible with surrounding properties in the applicable historic overlay district;	<b>Complies</b>
7. The overall character of the applicable historic overlay district is protected; and	<b>Complies</b>
8. The Master Sign Plan is in keeping with the adopted Downtown and Old Town Design Guidelines and character of the historic overlay district.	<b>N/A</b>

# Setback Approval Criteria – UDC Section 3.13.030

Criteria	Staff's Finding
a. Whether the proposed setback encroachment is solely a matter of convenience;	<b>Partially Complies</b>
b. Whether there is adequate room on the site to allow the proposed addition or new structure without encroaching into the setback;	<b>Partially Complies</b>
c. Whether the proposed setback is compatible and in context within the block in which the subject property is located;	<b>Complies</b>
d. Whether the proposed addition or new structure will be set closer to the street than other units within the block;	<b>Complies</b>
e. Whether the proposed structure is replacing a structure removed within the past year;	<b>N/A</b>
f. Whether the proposed structure will replace a structure that previously existed with relatively the same footprint and encroachment as proposed;	<b>N/A</b>



# Setback Approval Criteria – UDC Section 3.13.030.D.2

Criteria	Staff's Finding
g. If the proposed encroachment is for a structure that is replacing another structure, whether the proposed structure is significantly larger than the original;	N/A
h. If the proposed encroachment is for an addition, the scale of the addition compared to the original house;	Complies
i. The size of the proposed structure compared to similar structures within the same block;	Complies
j. Whether the proposed addition or new structure will negatively impact adjoining properties, including limiting their ability to maintain existing buildings;	Complies
k. Whether there is adequate space for maintenance of the proposed addition or new structure and/or any adjacent structures; and/or	Complies
l. Whether the encroachment would enable existing large trees or significant features of the lot to be preserved.	N/A

# Public Notification

- Two (2) signs posted
- Thirty-nine (39) letters mailed
- 1 comment in favor, 0 opposed, and 1 comment on the request



# Recommendation

Staff recommends ***approval*** of the request.

# HARC Motion – 2021-21-COA

- Approve (as presented by the applicant)
- Deny (as presented by the applicant)
- Approve with conditions
- Postpone



City of Georgetown, Texas  
Historic and Architectural Review  
July 22, 2021

**SUBJECT:**

**Conceptual review** of a request for a **Certificate of Appropriateness (COA)** for an addition that creates a new, or adds to an existing street facing façade and the replacement of a historic architectural feature with a non-historic architectural feature at the property located at 1808 Knight Street, bearing the legal description Lots 3 & 4, Block 5, Eubank Addition. – Britin Bostick, Downtown & Historic Planner

**ITEM SUMMARY:**

The applicant is requesting HARC approval of three additions to the house, the first a dormer addition to the non-historic garage roof, which would allow for the space above the garage to be utilized as living space. The second addition is the enclosure of the existing breezeway between the main house and the attached garage, which is set back from the primary street façade. The enclosed portion would have fiber cement siding and skirting to match the existing house and a fiber composite window in the same 1/1 pattern as the existing windows. The third addition is for a single-story living space addition to the north of the existing main house, which would be part of the Knight Street facade. The addition would include a second brick chimney, gable roof with the same slope as the existing gabled roof, fiber composite windows with a taller and more narrow proportion than the windows in the existing house, and a small, square window detail in the gabled street-facing portion of the addition to reflect the original feature in the main structure. The addition would have a similar stone skirting or underpinning and fiber cement siding as the existing. A new rear deck would not be part of the street façade and does not require a COA.

The applicant is also requesting HARC approval to replace the original wood siding with fiber cement siding in the same lapped profile.

Additionally, the applicant is requesting HPO approval of a change of roof materials from the existing asphalt shingle roof to a standing seam metal roof. The change of roof materials would retain the decorative roof ridge elements that are characteristic of Belford Houses of this style and time period in Georgetown, of which there are at least four with slight variations and history of additions and modifications to each.

**FINANCIAL IMPACT:**

N/A

**SUBMITTED BY:**

Britin Bostick, Downtown & Historic Planner

**ATTACHMENTS:**

Description	Type
☐ Staff Report	Cover Memo
☐ Exhibit 1 - Location Map	Exhibit
☐ Exhibit 2 - Letter of Intent	Exhibit
☐ Exhibit 3 - Plans & Specifications	Exhibit
☐ Exhibit 4 - Historic Resource Surveys	Exhibit





# Planning Department Staff Report

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## Historic and Architectural Review Commission

Report Date: *July 16, 2021*

File Number: *2021-22-COA*

### AGENDA ITEM DESCRIPTION

---

Conceptual review of a request for a Certificate of Appropriateness (COA) for an addition that creates a new, or adds to an existing street facing façade and the replacement of a historic architectural feature with a non-historic architectural feature at the property located at 1808 Knight Street, bearing the legal description Lots 3 & 4, Block 5, Eubank Addition.

### AGENDA ITEM DETAILS

---

Project Name: *1808 Knight Street*  
Applicant: *Katia Barrios (Wang Architects)*  
Property Owner: *Richard Meier*  
Property Address: *1808 Knight Street*  
Legal Description: *Lots 3 & 4, Block 5, Eubank Addition*  
Historic Overlay: *Old Town Overlay District*  
Case History: *N/A*

### HISTORIC CONTEXT

---

Date of construction: *1915 (HRS) – Public records indicate 1916*  
Historic Resources Survey Level of Priority: *High*  
National Register Designation: *N/A*  
Texas Historical Commission Designation: *N/A*

### APPLICANT'S REQUEST

---

HARC:

- New living space and dormer additions
- Replacing wood siding with fiber cement siding

HPO:

- Replacing roof materials with different roof materials

**Feedback staff is seeking:**

- Are the proposed additions compatible with the style, materials and character of the main structure?
- Are the window proportions of the north addition compatible with the historic window proportions?
- Does the proposed siding replacement meet the criteria for approval?

# Planning Department Staff Report

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## Historic and Architectural Review Commission

### STAFF ANALYSIS

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The applicant is requesting HARC approval of three additions to the house, the first a dormer addition to the non-historic garage roof, which would allow for the space above the garage to be utilized as living space. The second addition is the enclosure of the existing breezeway between the main house and the attached garage, which is set back from the primary street façade. The enclosed portion would have fiber cement siding and skirting to match the existing house and a fiber composite window in the same 1/1 pattern as the existing windows. The third addition is for a single-story living space addition to the north of the existing main house, which would be part of the Knight Street façade. The addition would include a second brick chimney, gable roof with the same slope as the existing gabled roof, fiber composite windows with a taller and more narrow proportion than the windows in the existing house, and a small, square window detail in the gabled street-facing portion of the addition to reflect the original feature in the main structure. The addition would have a similar stone skirting or underpinning and fiber cement siding as the existing. The applicant is also requesting approval of the replacement of the historic wood siding with fiber cement siding. A new rear deck would not be part of the street façade and does not require a COA.

The applicant is also requesting HARC approval to replace the original wood siding with fiber cement siding in the same lapped profile.

Additionally, the applicant is requesting HPO approval of a change of roof materials from the existing asphalt shingle roof to a standing seam metal roof. The change of roof materials would retain the decorative roof ridge elements that are characteristic of Belford Houses of this style and time period in Georgetown, of which there are at least four with slight variations and history of additions and modifications to each.

According to public records W. R. Lewis bought Lot 4 of Block 5, Eubank Addition from Frank Cates in 1902 for \$750. In 1906 he bought Lot 3 from Cyrus and Caroline Eubank, and in 1908 he bought Lots 5 & 6 from the Eubanks for \$150. In 1915 he paid \$5 to Cyrus and Caroline for Lot 4, the same lot he had purchased from Frank Cates more than a decade prior. A lien in favor of the Belford Lumber Company was filed on December 1, 1915 for \$1,900, which was presumably to build the house now on the property, and which is visible in the May 1916 Sanborn map. Loan documents from 1916 describe "Said note having been described in part payment for the reconstruction of a residence on the following described lot or parcel of land...", followed by the lot description. The extent to which the house may have been built or rebuilt is currently unknown, but the style of house now on the property is known to have been constructed by the Belford Lumber Company in Georgetown as early as 1910. Lewis and his wife Idella divorced and partitioned their assets in 1920, and that same year Lewis sold the property, including the house and all four lots, to J. H. Dismukes for \$1,150 and the assumption of \$3,000 in debt. Dismukes and his wife Lula Mae sold the property to J. C. Parsley in 1921 for \$4,150, and the Parsley family owned the property until 1991.



# Planning Department Staff Report

## Historic and Architectural Review Commission

### APPLICABLE DESIGN GUIDELINES

The following guidelines are applicable to the proposed scope of work in accordance with the adopted Downtown and Old Town Design Guidelines:

GUIDELINES	FINDINGS
<b>CHAPTER 14 – DESIGN GUIDELINES FOR INFILL CONSTRUCTION AND ADDITIONS IN THE OLD TOWN OVERLAY DISTRICT</b>	
<b>14.10 Non-traditional siding materials are discouraged.</b> <ul style="list-style-type: none"><li>✓ Typically, artificial stone and brick veneer are not appropriate.</li><li>✓ Asphalt shingles are not appropriate.</li><li>✓ Aluminum and vinyl are not appropriate.</li></ul>	<b>Complies</b> The proposed new siding is a lapped siding to match the existing.
<b>14.11 Avoid alterations that would damage historic features.</b> <ul style="list-style-type: none"><li>✓ Avoid alterations that would hinder the ability to interpret the design character of the original building or period of significance.</li><li>✓ Alterations that seek to imply an earlier period than that of the building are inappropriate.</li></ul>	<b>Partially Complies</b> The proposed alterations have minimal impact on the existing historic features and the roof details are proposed to be retained with the roof replacement, with the exception of the replacement of the wood siding with a fiber cement siding.
<b>14.13 Design a new addition such that the original character can be clearly seen.</b> <ul style="list-style-type: none"><li>✓ In this way, a viewer can understand the history of changes that have occurred to the building.</li><li>✓ An addition should be distinguishable from the original building, even in subtle ways, such that the character of the original can be interpreted.</li><li>✓ Creating a jog in the foundation between the original and new structures may help to define an addition.</li><li>✓ Even applying new trim board at the connection point between the addition and the original structure can help define the addition.</li></ul> <p>See also Preservation Briefs #14: New Exterior Additions to Historic Buildings, published by the National Park Service.</p>	<b>Complies</b> The most prominent addition, the north addition, is set back from the front façade by a deep jog in the foundation so that the addition can be understood as a later portion of the house, and while the addition uses similar materials and architectural characteristics, the change in window proportion differentiates the addition from the original house. The proposed dormer and porch enclosure additions are minimal in their impact to the character.

# Planning Department Staff Report

## Historic and Architectural Review Commission

GUIDELINES	FINDINGS
<b>CHAPTER 14 – DESIGN GUIDELINES FOR INFILL CONSTRUCTION AND ADDITIONS IN THE OLD TOWN OVERLAY DISTRICT</b>	
<p><b>14.14 Place an addition at the rear of a building or set it back from the front to minimize the visual impacts.</b></p> <ul style="list-style-type: none"> <li>✓ This will allow the original proportions and character to remain prominent.</li> <li>✓ Locating an addition at the front of a structure is usually inappropriate.</li> </ul>	<p><b>Complies</b></p> <p>All of the proposed additions are set back from the front building plane, allowing the historic façade to remain prominent.</p>
<p><b>14.16 An addition shall be compatible in scale, materials, character, and architectural style with the main building.</b></p> <ul style="list-style-type: none"> <li>✓ An addition shall relate to the historic building in mass, scale, and form. It should be designed to remain subordinate to the main structure.</li> <li>✓ While a smaller addition is visually preferable, if a residential addition would be significantly larger than the original building, one option is to separate it from the primary building, when feasible, and then link it with a smaller connecting structure.</li> <li>✓ An addition should be simple in design to prevent it from competing with the primary façade.</li> <li>✓ Consider adding dormers to create second story spaces before changing the scale of the building by adding a full second floor.</li> </ul>	<p><b>Complies</b></p> <p>The proposed dormer and porch additions leave the existing roofs and roof slopes intact while making use of the existing footprint. The proposed living space addition on the north side of the house is 475 sq. ft. in size, 28% of the size of the existing house and 12% of the size of the house once the proposed porch enclosure and garage attic finish-out are completed. All three additions are proposed to be of a style and materials that are compatible with the main building and are set back from the primary facades.</p>
<p><b>14.18 The roof of a new addition shall be in character with that of the primary building.</b></p> <ul style="list-style-type: none"> <li>✓ Typically, gable, hip, and shed roofs are appropriate for residential additions. Flat roofs may be more appropriate for commercial buildings.</li> <li>✓ Repeat existing roof slopes and materials.</li> <li>✓ If the roof of the primary building is symmetrically proportioned, the roof of the addition should be similar.</li> </ul>	<p><b>Complies</b></p> <p>The roof of the proposed living space addition is the same style and slope as the roof of the primary building and is proposed to have the same materials.</p>



# Planning Department Staff Report

## Historic and Architectural Review Commission

### CRITERIA FOR APPROVAL

In accordance with Section 3.13.030 of the Unified Development Code, the HARC must consider the following criteria:

SECTION 3.13.030 CRITERIA	FINDINGS
1. The application is complete and the information contained within the application is correct and sufficient enough to allow adequate review and final action;	<b>Complies</b> Staff reviewed the application and deemed it complete.
2. Compliance with any design standards of this Code;	<b>Complies</b> Proposed project complies with applicable UDC requirements.
3. Compliance with the Secretary of the Interior's Standards for the Treatment of Historic Properties to the most extent practicable;	<b>Partially Complies</b> SOI Standard #9: "New additions, exterior alterations or related new construction will not destroy historic materials, features and spatial relationships that characterize the property. The new work will be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment."  The proposed additions have minimal impact to historic materials and features and are differentiated from the main structure by the use of different proportions while compatibility is designed to be through the repetition of roof slopes, siding materials and special architectural details. The SOI standards prefer the repair and replacement of original siding, or replacing with wood when replacement is needed, rather than replacing with a different material such as fiber cement.
4. Compliance with the adopted Downtown and Old Town Design Guidelines, as may be amended from time to time, specific to the applicable Historic Overlay District;	<b>Partially Complies</b> Proposed project complies or partially complies with applicable Design Guidelines.

## Planning Department Staff Report

### Historic and Architectural Review Commission

SECTION 3.13.030 CRITERIA	FINDINGS
5. The general historic, cultural, and architectural integrity of the building, structure or site is preserved;	<b>Complies</b> Two of the proposed additions are to non-historic additions to the house and have minimal impact to the existing historic structure. The third addition is proposed to be a single story with materials, character and architectural features that are compatible with the historic main structure while having differences that convey that the addition is new, such as a difference in the window proportions. Although the siding is proposed to be replaced, the proposed replacement would have a similar appearance to the original, maintaining the overall character.
6. New buildings or additions are designed to be compatible with surrounding properties in the applicable historic overlay district;	<b>Complies</b> The proposed additions are compatible with surrounding properties in the Old Town Overlay District.
7. The overall character of the applicable historic overlay district is protected; and	<b>Complies</b> The proposed additions and alterations are compatible with the Old Town Overlay District.
8. The Master Sign Plan is in keeping with the adopted Downtown and Old Town Design Guidelines and character of the historic overlay district.	<b>Not Applicable</b> No signs are proposed.

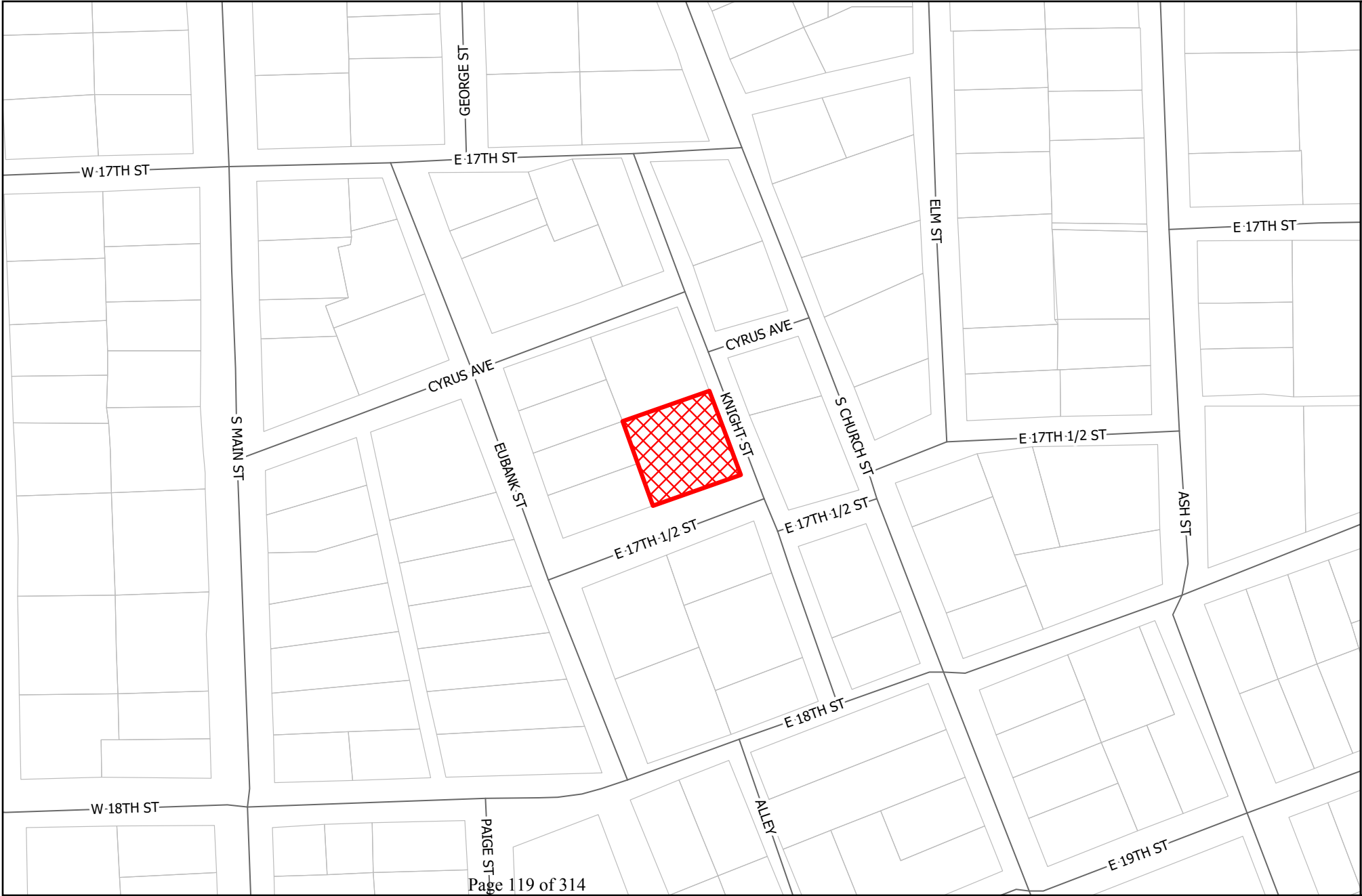
#### ATTACHMENTS

Exhibit 1 – Location Map  
Exhibit 2 – Letter of Intent  
Exhibit 3 – Plans and Specifications  
Exhibit 4 – Historic Resource Surveys

#### SUBMITTED BY

*Britin Bostick, Downtown & Historic Planner*



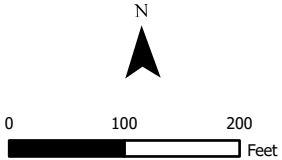


# LOCATION

2021-22-COA

Exhibit #1

-  Site
-  Parcels



May 14, 2021

**Historical and Architecture Review Commission**  
City of Georgetown

Re: 1808 Knight Street Residence

Dear Members of the Historical and Architectural Review Commission:

We are pleased to submit this project on behalf of our client, Richard Maier. The proposal adds a master suite the North and encloses an existing deck to create a full-size kitchen and living space at the West. Also proposed is the finishing of an upstairs space for an ADU at the second floor of the existing garage. (This ADU falls under the allowable square footage per UDC guidelines.) There is also a covered porch addition the is not visible from the street.

Included here are pages to further describe the rationale for the proposed project's design:

Page 1, Site Map  
Page 2-3, Existing Conditions  
Page 4, Site Design Plan with project information  
Page 5, Existing Floor Plans  
Page 6, Proposed Ground Floor Plan  
Page 7, Proposed Second Floor Plan  
Page 8, Street Facing Elevation West (Knight Street)  
Page 9, Street Facing Elevation South (17 ½ Street)  
Page 10, Rear Elevation Facing East  
Page 11, Side Elevation Facing North  
Page 12, Conceptual Rendering  
Page 13, Materials/Color  
Page 14, Model Views

We look forward to presenting this project to you at an upcoming meeting. We will have additional information at this meeting for your review.

If you have any questions or need any supplemental information in advance, please feel free to contact me at 512.819.6012. Thank you for your time.

Yours truly,

A handwritten signature in black ink, appearing to read 'G. Wang'.

Gary Wang, AIA  
*Wang Architects*

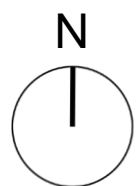
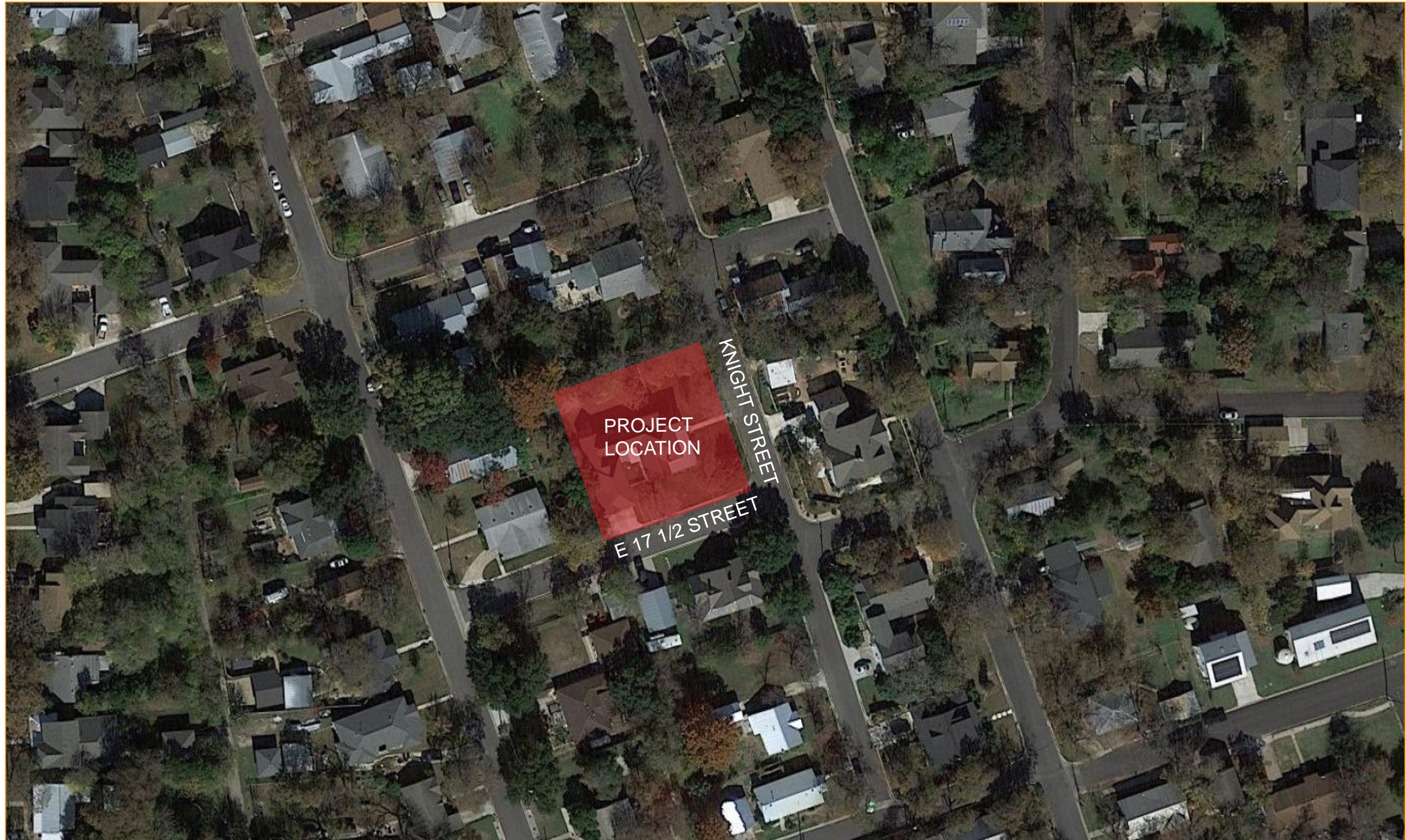




*Design Concepts for Review by HARC: 1808 Knight Street*  
**Maier Residence**  
June 2, 2021

*Wang Architects*  
ARCHITECTURE | URBAN DESIGN | MASTERPLANNING





June 2, 2021

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Site Map 1





Existing West front facade along Knight Street





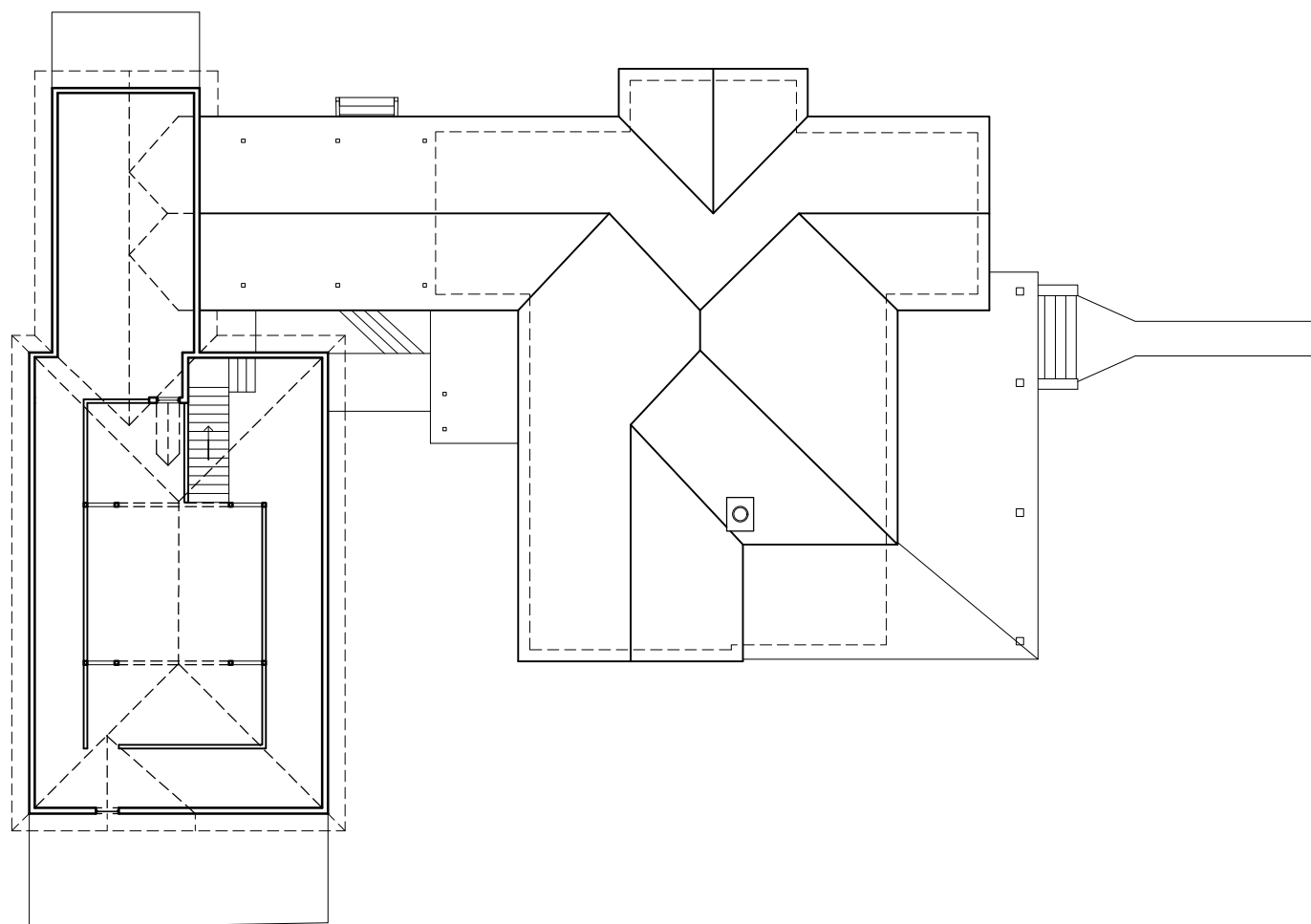
Existing South facade at garage along E 17 1/2 Street



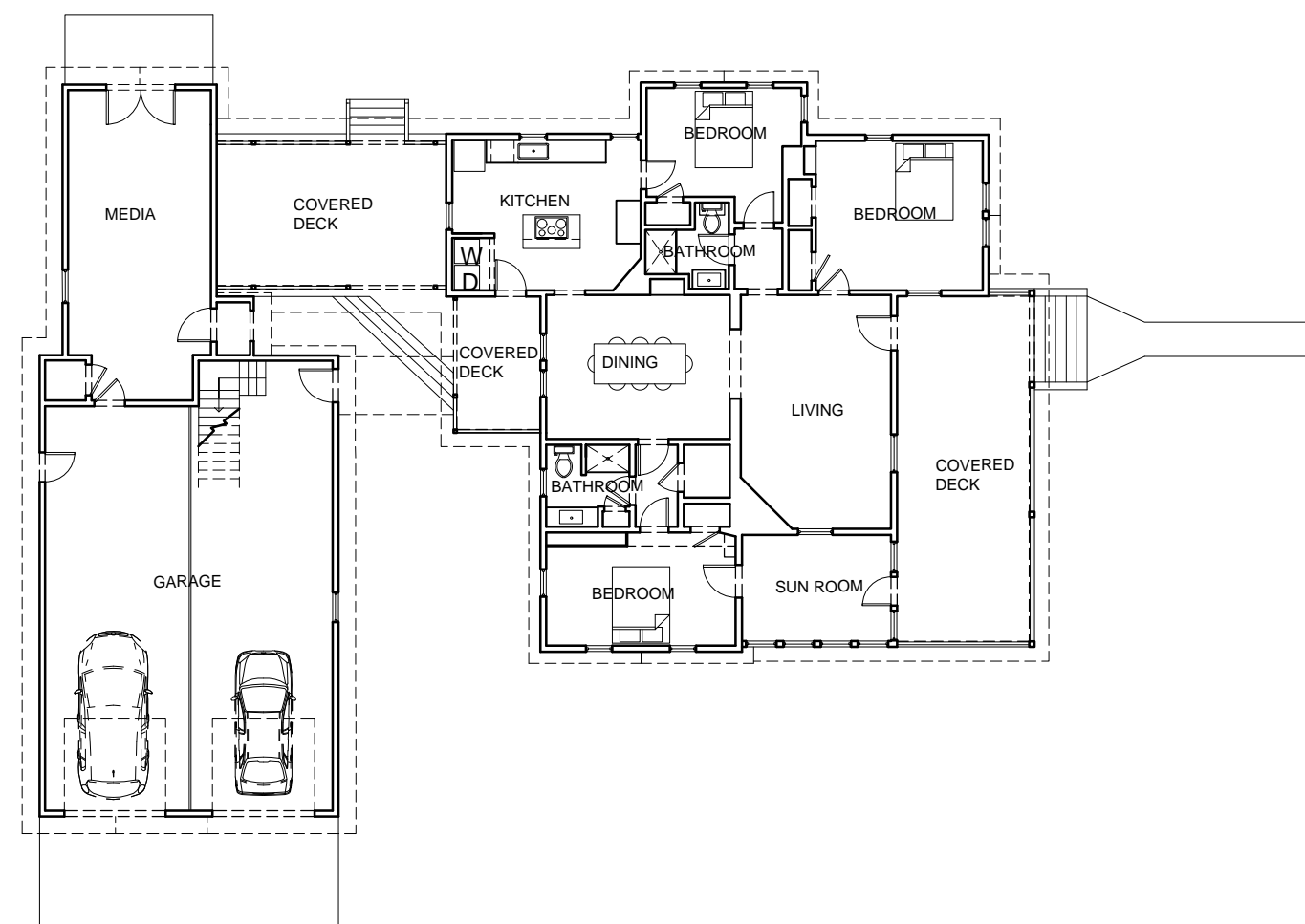
Existing South facade at main house along E 17 1/2 Street







EXISTING SECOND FLOOR



EXISTING GROUND FLOOR



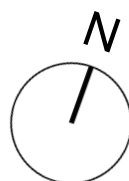
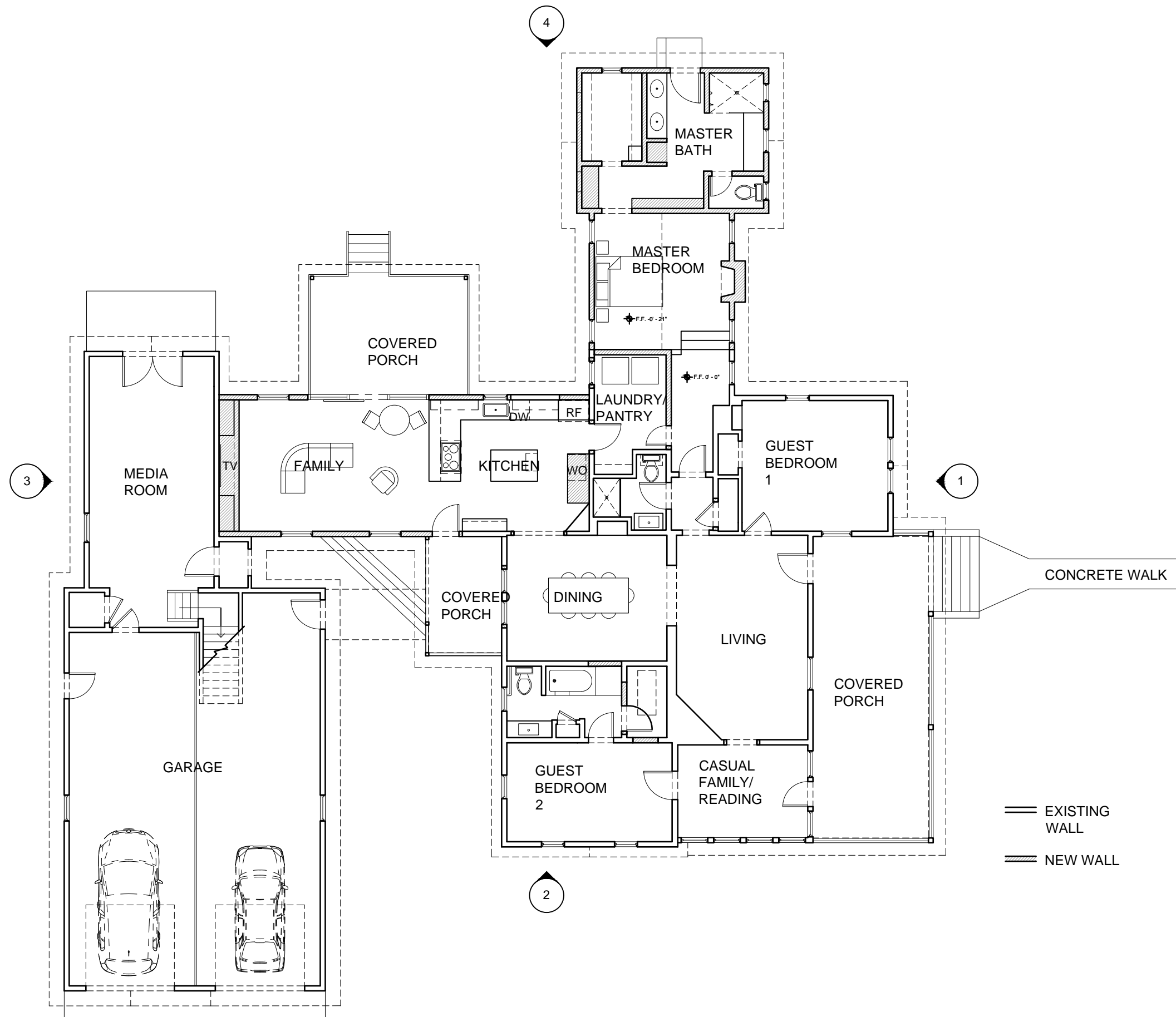
June 2, 2021

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Existing Plans **5**

1/16" = 1'-0"

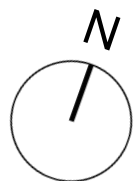
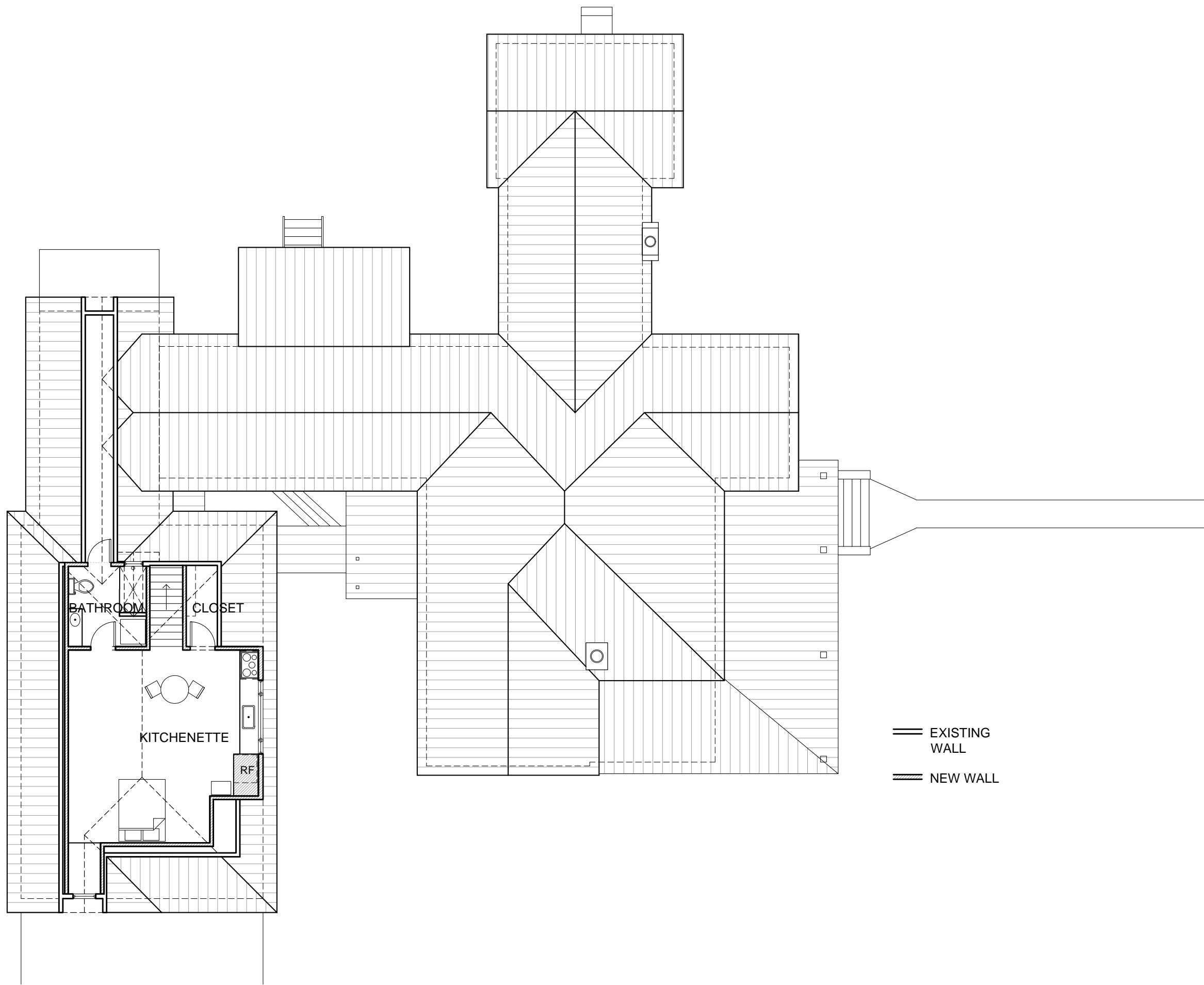




June 2, 2021

# Proposed Ground Floor Plan 6

3/32" = 1'-0"



June 2, 2021

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Second Floor Plan

3/32" = 1'-0"

7



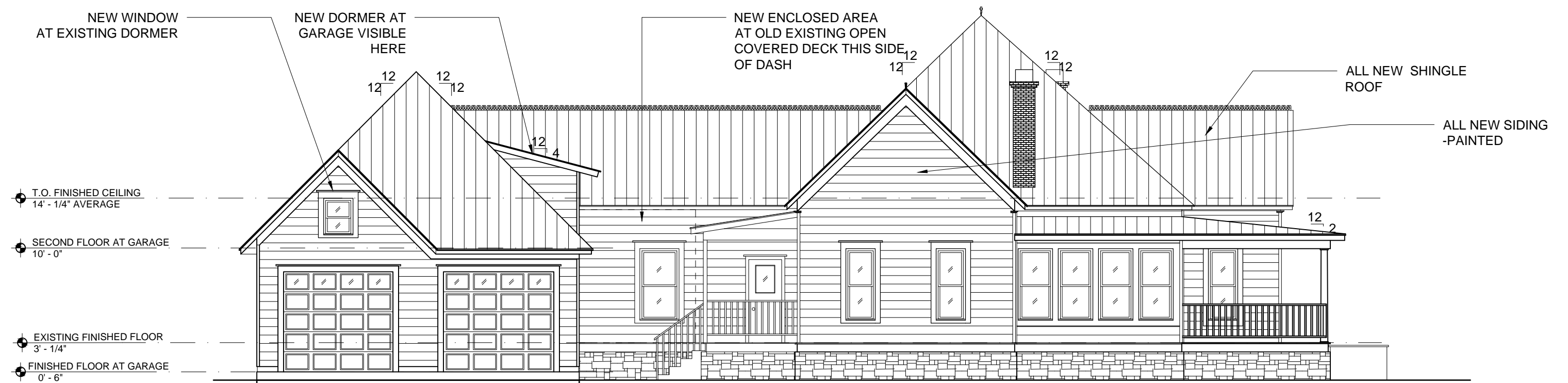


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Street Front Facing (West) Elevation 8

1/8" = 1'-0"

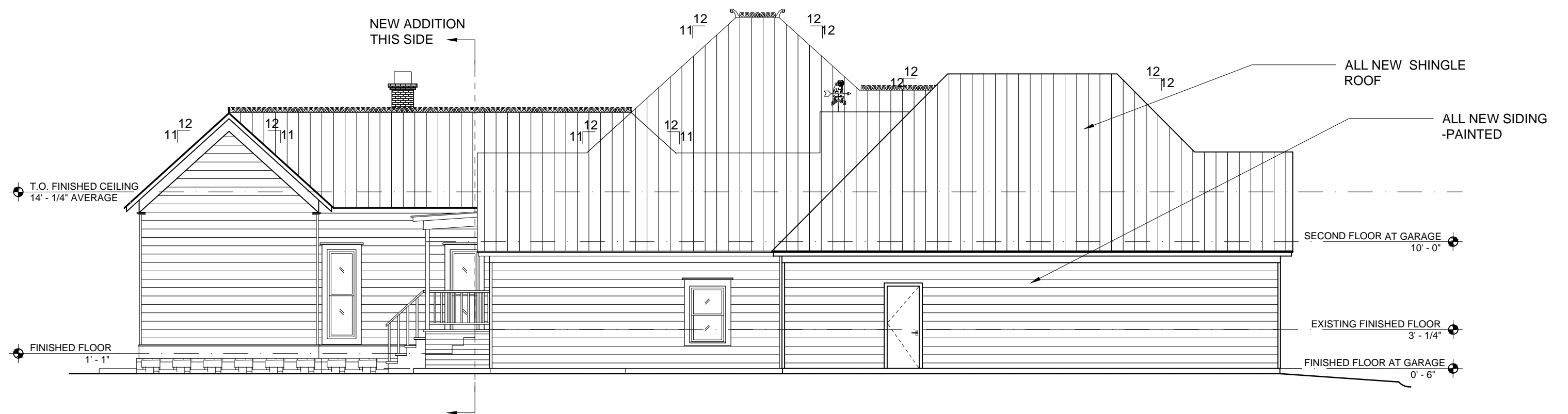


June 2, 2021

Street Facing (South) Elevation 9

1/8" = 1'-0"





June 2, 2021

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Rear (East) Elevation 10

1/8" = 1'-0"



June 2, 2021

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Side (North) Elevation **11**

1/8" = 1'-0"





June 2, 2021

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Conceptual Rendering **12**  
N.T.S.

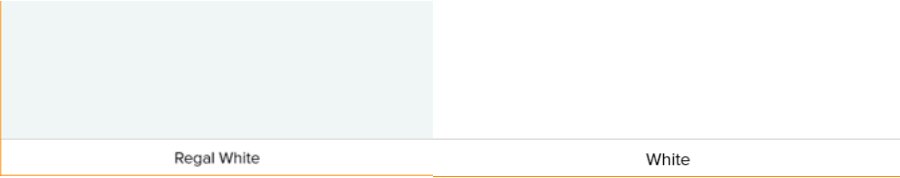




Metal roof precedent



Proposed standing seam profile



Proposed roof color options



Precedent for exterior color palette



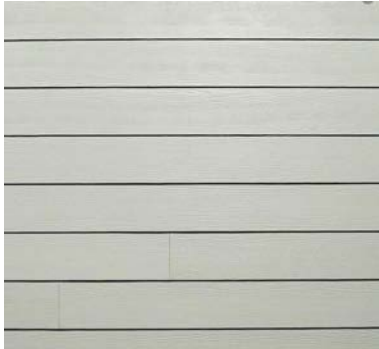
Trim paint:  
Benjamin Moore  
Chantilly Lace



Siding paint:  
Benjamin Moore  
Taffeta Green



Composite single  
hung windows by  
Andersen



HardiePlank Fiber  
Cement Siding

Current conditions of wood siding



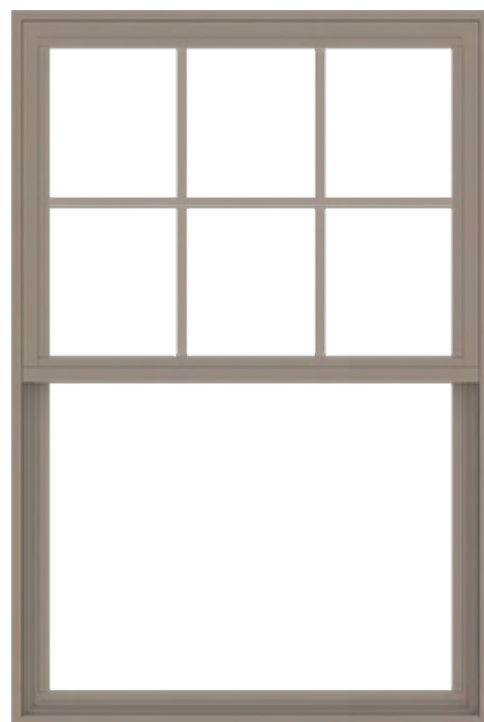




Proposed facing Knight Street



Proposed facing 17 1/2 Street



Andersen 100 detail view exterior



Andersen 100 detail view interior

PROPOSED NEW WINDOWS  
ARE 1/1 PANES



Andersen 100 Series window precedent



TEXAS HISTORIC SITES INVENTORY FORM – TEXAS HISTORICAL COMMISSION (rev. 8-82)

1. County Williamson WM  
GE 5. USGS Quad No. 3097-313 Site No. 494  
City/Rural Georgetown UTM Sector 627-3388  
2. Name W.R. & N.F. Lewis House 6. Date: Factual \_\_\_\_\_ Est. 1915  
Address 1808 Knight 7. Architect/Builder \_\_\_\_\_  
Contractor Belford Lumber Co.  
3. Owner Mabel J. Parsley 8. Style/Type vernacular  
Address Same, 78626 9. Original Use residential  
4. Block/Lot Eubank/Blk. S/Lot 3,4 Present Use residential  
10. Description One-story wood frame dwelling w/ asymmetrical plan; exterior walls w/ weather-  
board siding; steeply pitched hip roof w/ gables w/ composition shingles; front elev.  
faces E.; two interior brick chimneys; wood sash double-hung windows w/ 1/1 lights &  
2/2 lights; single-door entrance; three-bay porch w/ shed roof within front projecting  
11. Present Condition good; altered--porch changed  
12. Significance Primary area of significance: architecture. A good example of an early  
twentieth century vernacular dwelling  
13. Relationship to Site: Moved Date \_\_\_\_\_ or Original Site ☒ (describe) \_\_\_\_\_  
14. Bibliography Tax rolls, Mechanic's Liens 15. Informant \_\_\_\_\_  
Sanborn Maps 16. Recorder A. Taylor/HHM Date July 1984

DESIGNATIONS

PHOTO DATA

TNRIS No. \_\_\_\_\_ Old THC Code \_\_\_\_\_ B&W 4x5s \_\_\_\_\_ Slides \_\_\_\_\_  
☐ RTHL ☐ HABS (no.) TEX- \_\_\_\_\_ 35mm Negs. \_\_\_\_\_  
NR: ☐ Individual ☐ Historic District  
☐ Thematic ☐ Multiple-Resource  
NR File Name \_\_\_\_\_  
Other \_\_\_\_\_

YEAR	DRWR	ROLL	FRME		ROLL	FRME
		18	18	to		
		49	16	to	49	20
				to		

CONTINUATION PAGE

No. 2 of 2

TEXAS HISTORIC SITES INVENTORY FORM – TEXAS HISTORICAL COMMISSION (rev. 8-82)

1. County Williamson WM  
GE 5. USGS Quad No. 3097-313 Site No. 494  
City/Rural Georgetown  
2. Name W.R. & N.F. Lewis House  
#10. Description (cont'd): ell; Doric columns & slat wood balustrade. Other noteworthy  
features include crown molding on window facings; wood shingle foundation skirt  
w/ outward cant; cutout sheet metal ridge ornament; artglass border in top light  
of E. window; cast-iron hand-operated water pump in rear yard; pebble-textured  
light in E. gable window. Outbuildings include wood frame double garage.

**TEXAS HISTORICAL COMMISSION**

**Properties Documented with the THC Form in 2007 and/or 1984 That Have Not Changed Preservation Priority**

Address: 1808 Knight St 2016 Survey ID: 125671  
 City: Georgetown 2016 Preservation Priority: High  
 County: Williamson Local District: Old Town District

**SECTION 1**

**Basic Inventory Information**

**Property Type:** ☒ Building ☐ Structure ☐ Object ☐ Site ☐ District WCAD ID: R042241

Construction Date: 1915 ☐ Actual ☒ Estimated Source: 2007 survey

Latitude: 30.628108 Longitude -97.675073

Current/Historic Name W. R. and N. F. Lewis House

**Stylistic Influence(s)\*** ☐ None Selected

<input type="checkbox"/> Log traditional	<input type="checkbox"/> Shingle	<input type="checkbox"/> Gothic Revival	<input type="checkbox"/> Pueblo Revival	<input type="checkbox"/> International
<input type="checkbox"/> Greek Revival	<input type="checkbox"/> Romanesque Revival	<input type="checkbox"/> Tudor Revival	<input type="checkbox"/> Spanish Colonial	<input type="checkbox"/> Post-war Modern
<input type="checkbox"/> Italianate	<input checked="" type="checkbox"/> Folk Victorian	<input type="checkbox"/> Neo-Classical	<input type="checkbox"/> Prairie	<input type="checkbox"/> Ranch
<input type="checkbox"/> Second Empire	<input type="checkbox"/> Colonial Revival	<input type="checkbox"/> Beaux Arts	<input type="checkbox"/> Craftsman	<input type="checkbox"/> Commercial Style
<input type="checkbox"/> Eastlake	<input type="checkbox"/> Renaissance Revival	<input type="checkbox"/> Mission	<input type="checkbox"/> Art Deco	<input type="checkbox"/> No Style
<input type="checkbox"/> Queen Anne	<input type="checkbox"/> Exotic Revival	<input type="checkbox"/> Monterey	<input type="checkbox"/> Moderne	<input type="checkbox"/> Other:

**Plan\***

☐ L-plan ☐ T-plan ☒ Modified L-plan ☐ 2-room ☐ Open ☐ Center Passage ☐ Bungalow ☐ Shotgun  
☐ Irregular ☐ Four Square ☐ Rectangular ☐ None Selected ☐ Other:

**Priority:** 2016 Survey ID: 125671 ☒ High ☐ Medium ☐ Low

**Explain:** Excellent and/or rare example of its type or style, and/or has significant associations; retains sufficient integrity

2007 Survey ID: 743 ☒ High ☐ Medium ☐ Low

1984 Survey ID: 494 ☒ High ☐ Medium ☐ Low

**General Notes:** Builder: Belford Lumber Co. (Notes from 2007 Survey: None)

Recorded by: CMEC

Date Recorded 3/14/2016

\*Photographs and Preservation Priority have been updated in 2016, and the year built date has also been reviewed. However, the plan and style data are sourced directly from the 2007 survey.



Photo direction: Southwest

Note: See additional photo(s) on following page(s)



**Properties Documented with the THC Form in 2007 and/or 1984 That Have Not Changed Preservation Priority**

Address: 1808 Knight St

2016 Survey ID: 125671

City: Georgetown

2016 Preservation Priority: High

County: Williamson

Local District: Old Town District

## Additional Photos

Photo Direction West



Photo Direction Northwest

Anc



# 1808 Knight Street 2021-22-COA

**Historic & Architectural Review Commission**  
August 12, 2021



# Item Under Consideration

## **2021-22-COA – 1808 Knight Street**

- Conceptual review of a request for a Certificate of Appropriateness (COA) for an addition that creates a new, or adds to an existing street facing façade and the replacement of a historic architectural feature with a non-historic architectural feature at the property located at 1808 Knight Street, bearing the legal description Lots 3 & 4, Block 5, Eubank Addition.

# Item Under Consideration

## HARC:

- New living space and dormer additions
- Replacing wood siding with fiber cement siding

## HPO:

- Replacing roof materials with different roof materials



# Item Under Consideration



*Design Concepts for Review by HARC: 1808 Knight Street*

**Maier Residence**

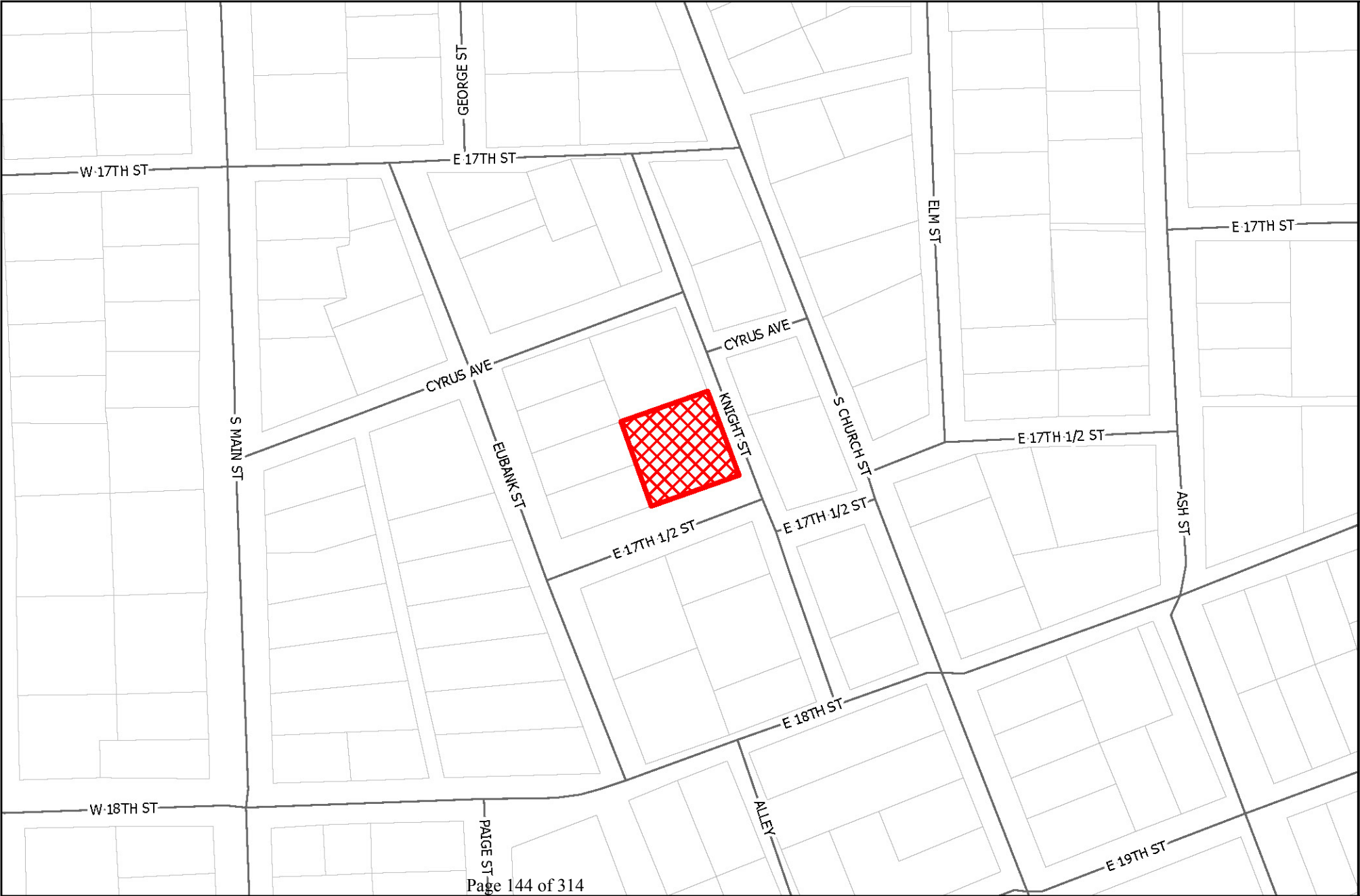
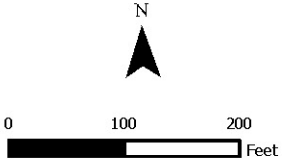
June 2, 2021



LOCATION

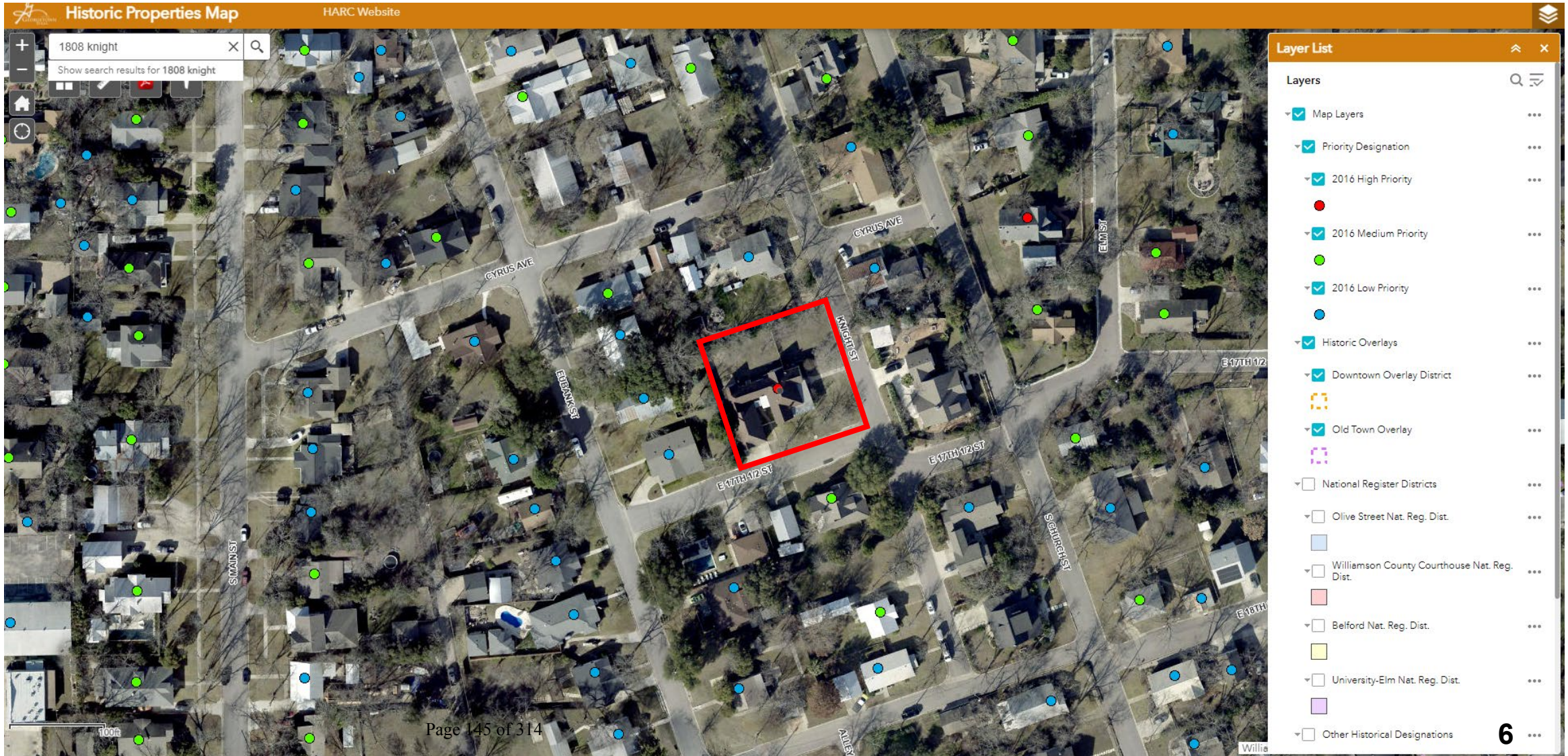
2021-22-COA  
Exhibit #1

-  Site
-  Parcels



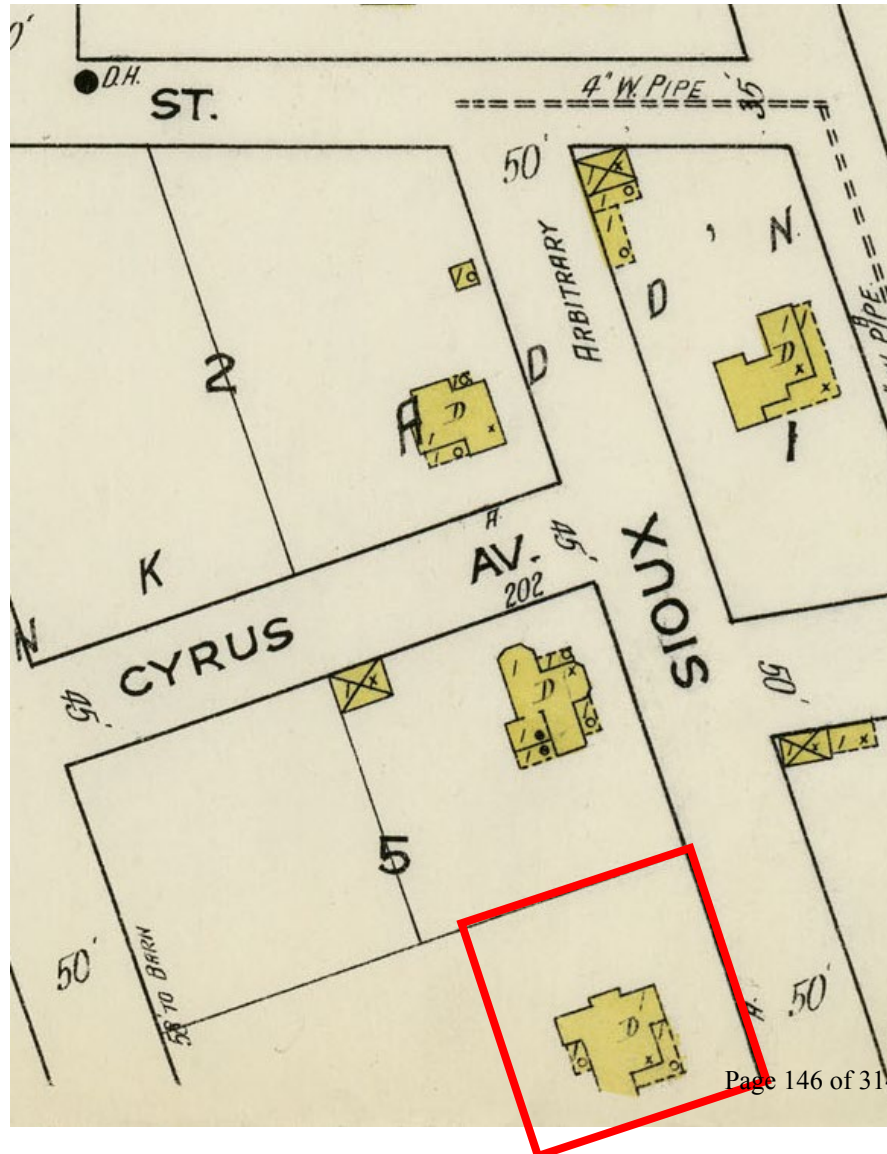


# Current Context

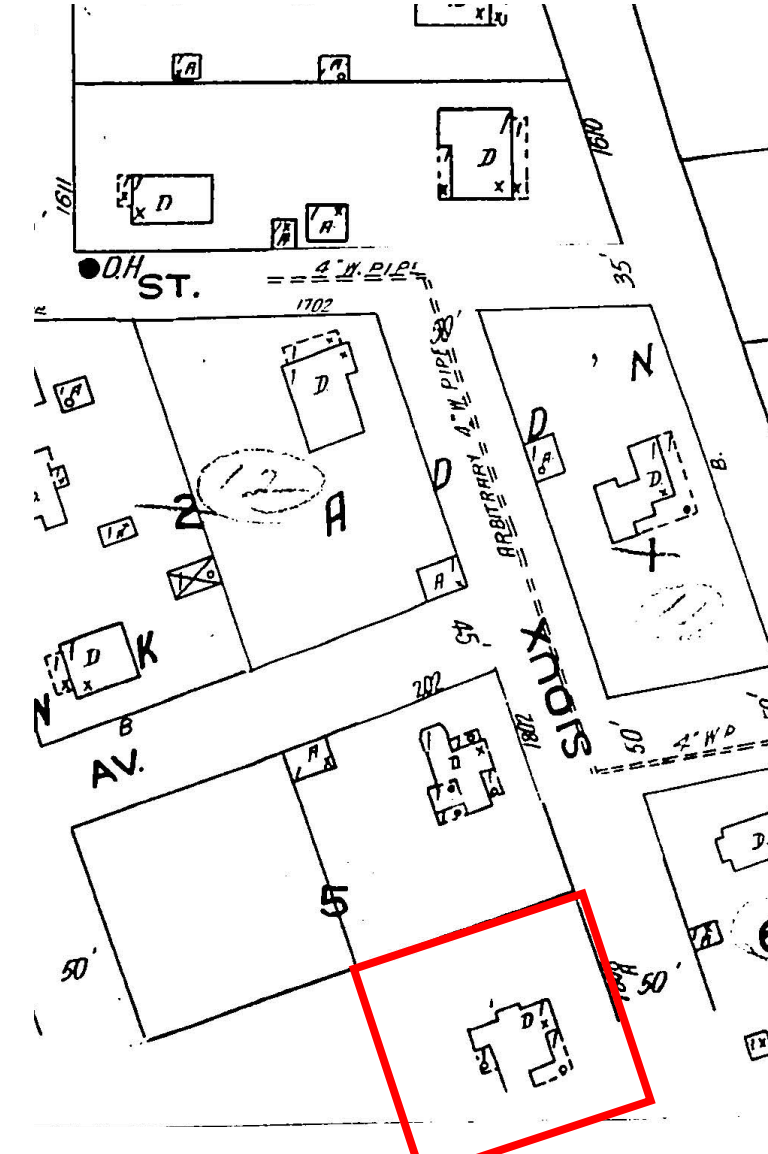
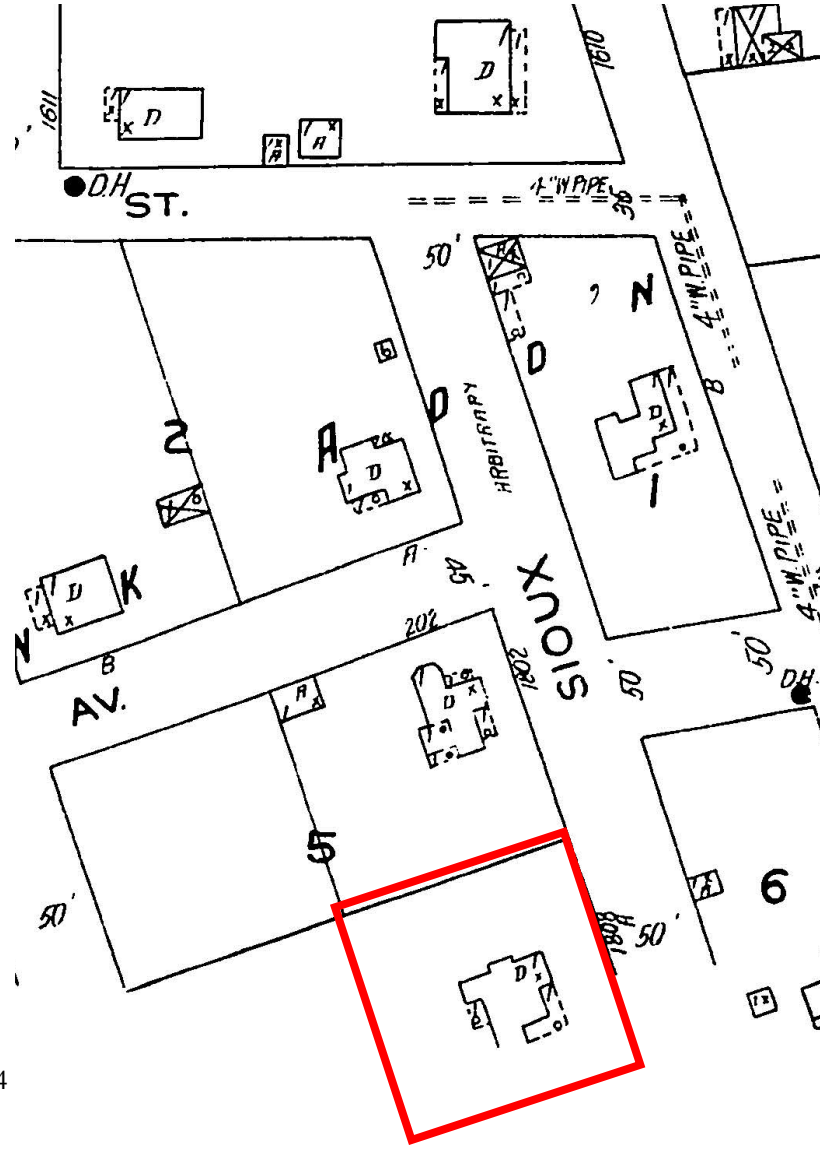




# 1916, 1925 & 1940 Sanborn Maps



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# 1964 Aerial Photo



# 1974 Aerial Photo





# 1984 HRS Photo





# Current Photos





# Current Photos

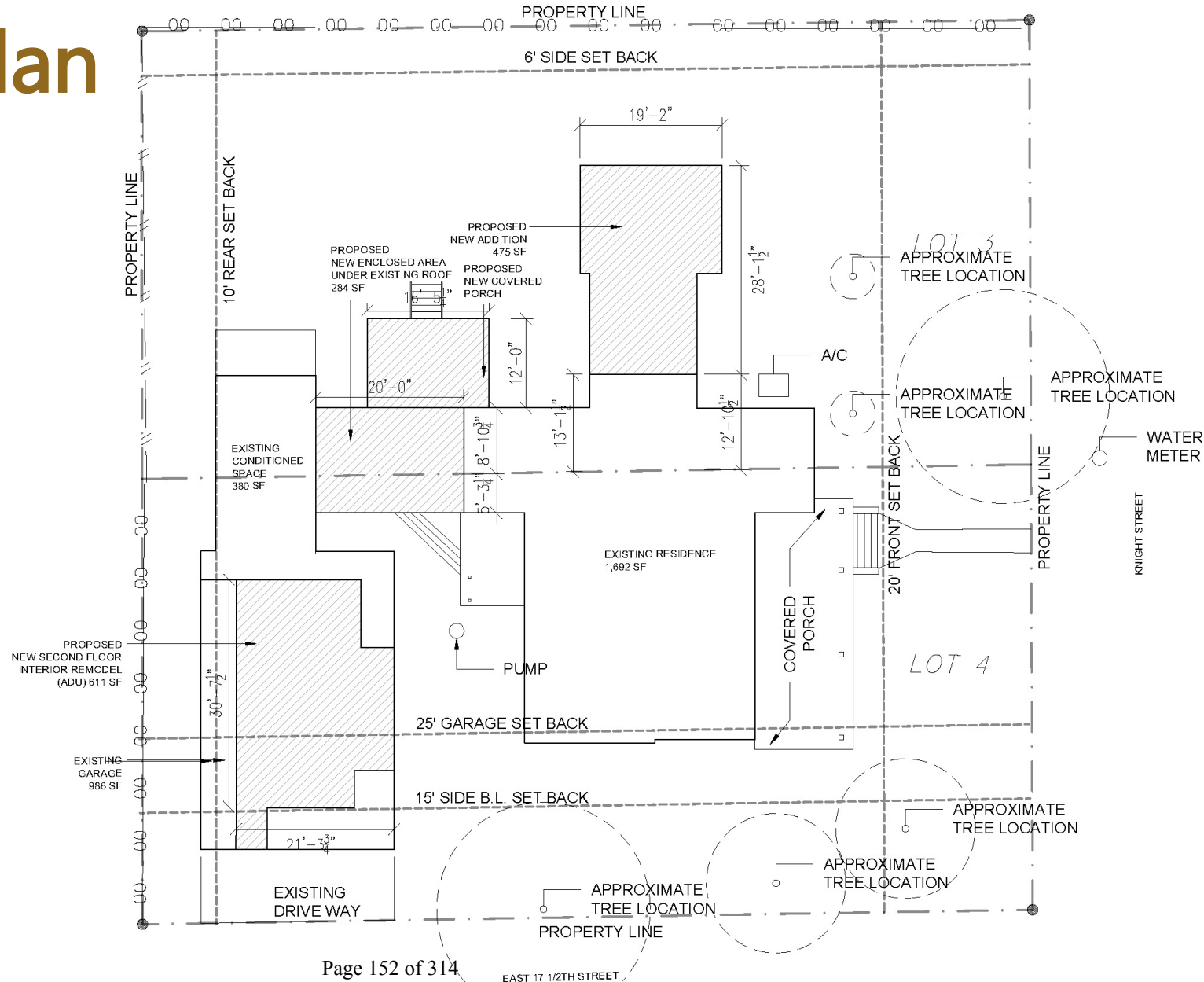


Existing South facade at garage along E 17 1/2 Street



Existing South facade at main house along E 17 1/2 Street

# Site Plan



## PROJECT INFORMATION

LOT AREA: 14,410 SF

ZONING DISTRICT: RESIDENTIAL SINGLE-FAMILY (RS)  
 OLD TOWN OVERLAY DISTRICT

EXISTING AND PROPOSED USE: SINGLE-FAMILY  
 RESIDENTIAL

EXISTING RESIDENCE AREA: 1,692 SF

EXISTING GARAGE: 986 SF

PROPOSED CONST. AREA: 1,394 SF

**NEW BUILDING AREA: 3817 SF**

ADU: 611 SF  
 (613 SF ALLOWABLE AT 25% OF 2,451 SF)

FRONT SET BACK: 20'

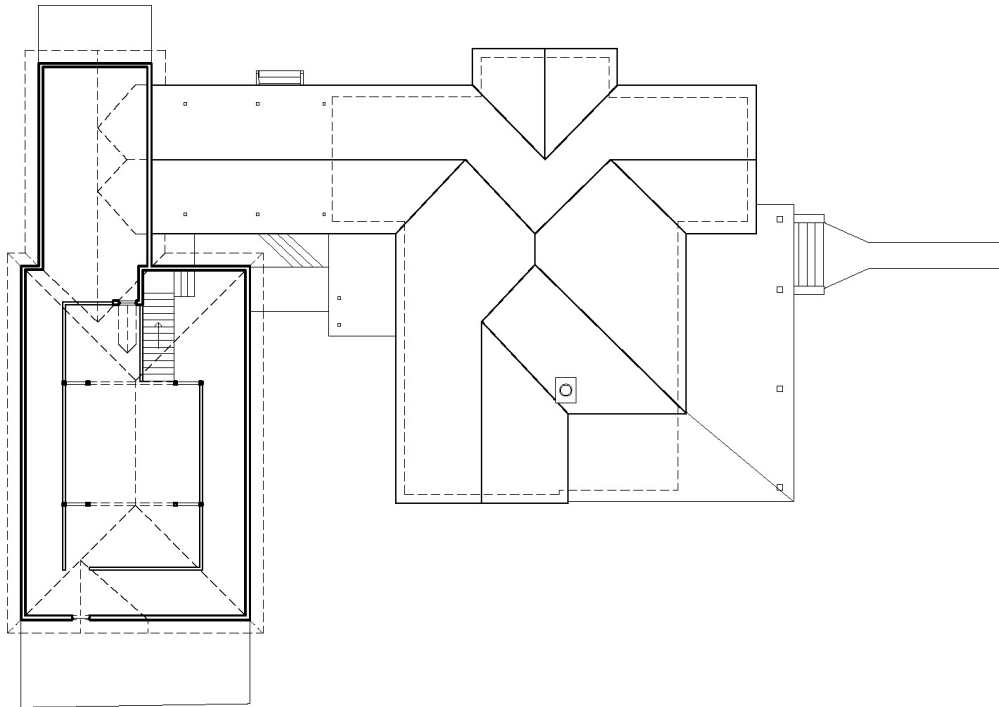
E 17TH 1/2 ST SIDE SET BACK: 15'

KNIGHT ST SIDE SET BACK: 6'

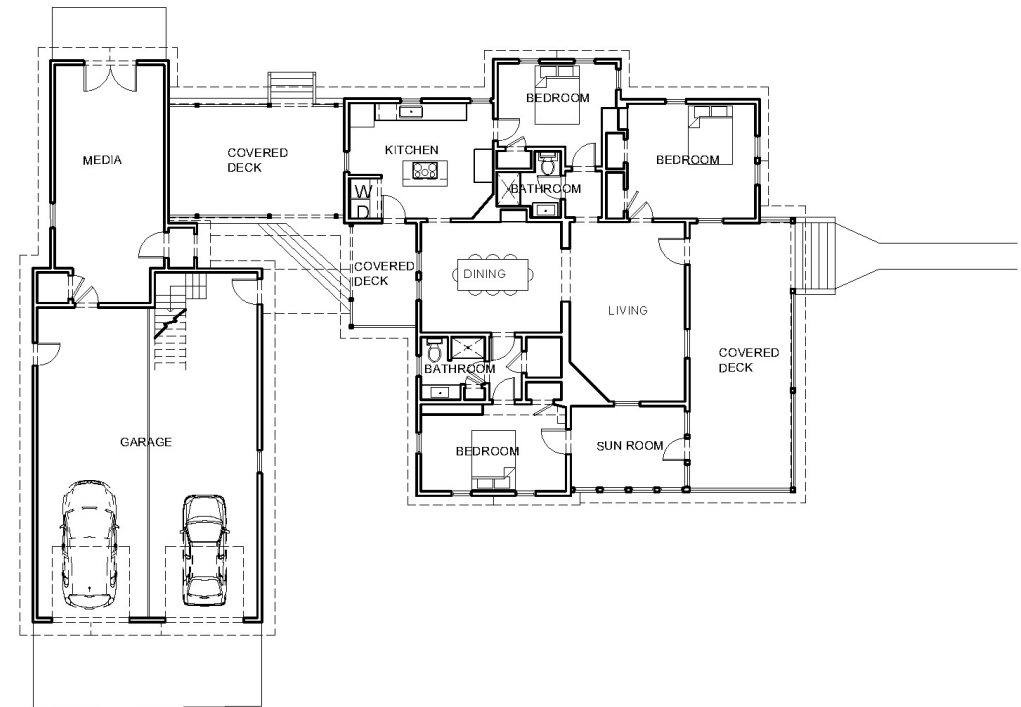
REAR SET BACK: 10'



# Existing Floor Plans

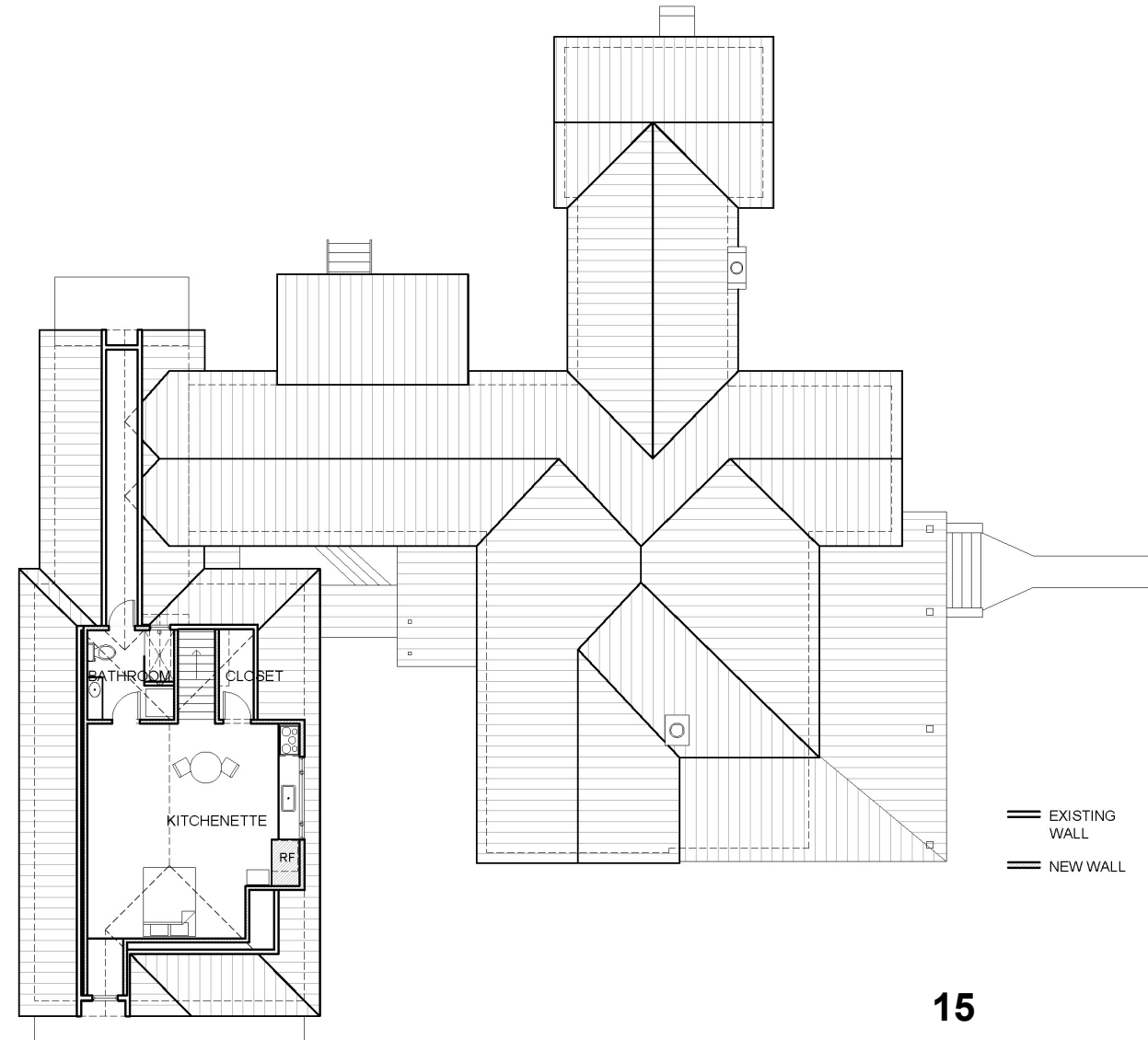
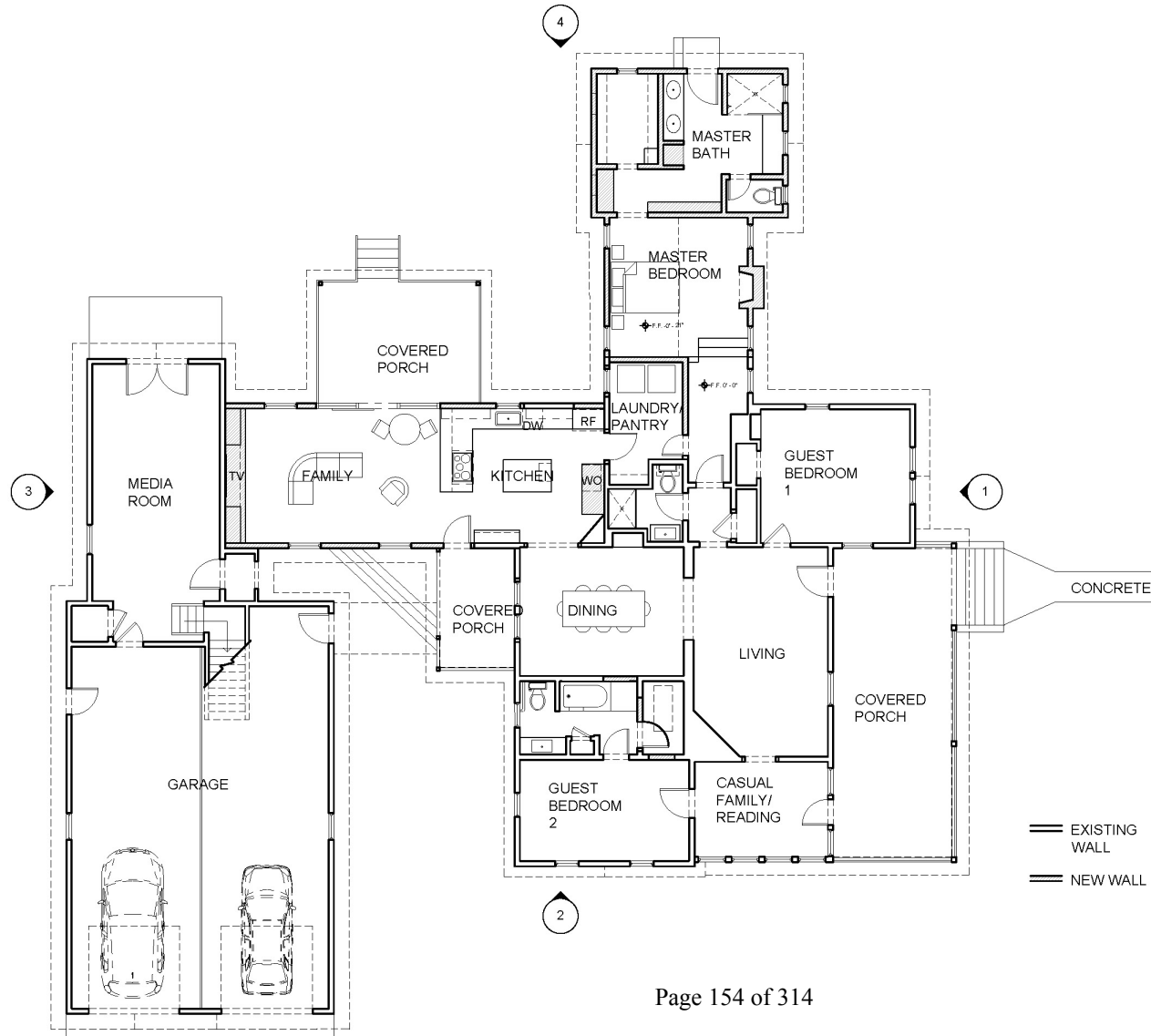


EXISTING SECOND FLOOR



EXISTING GROUND FLOOR

# New Floor Plans

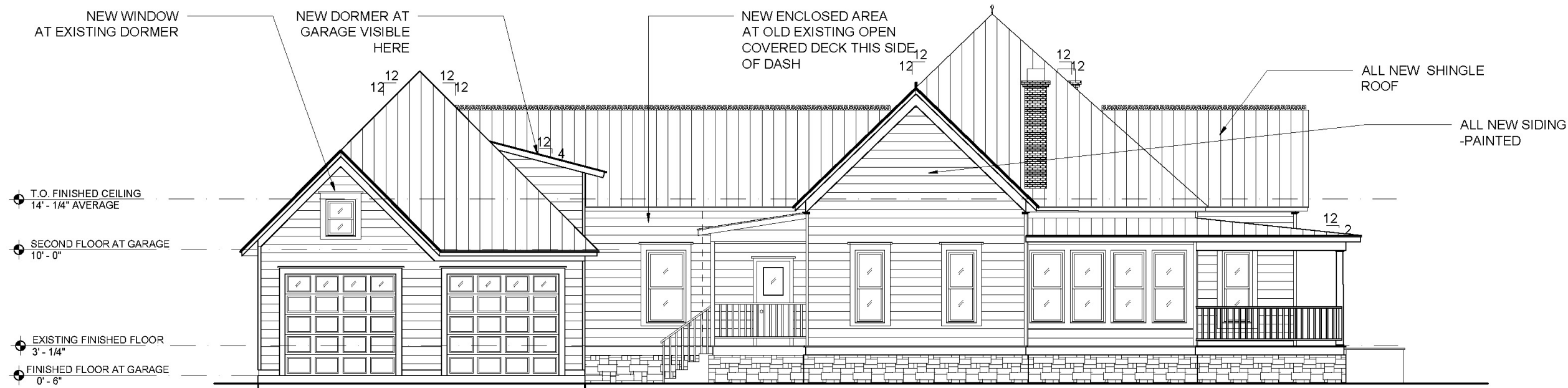




# New Front Elevation

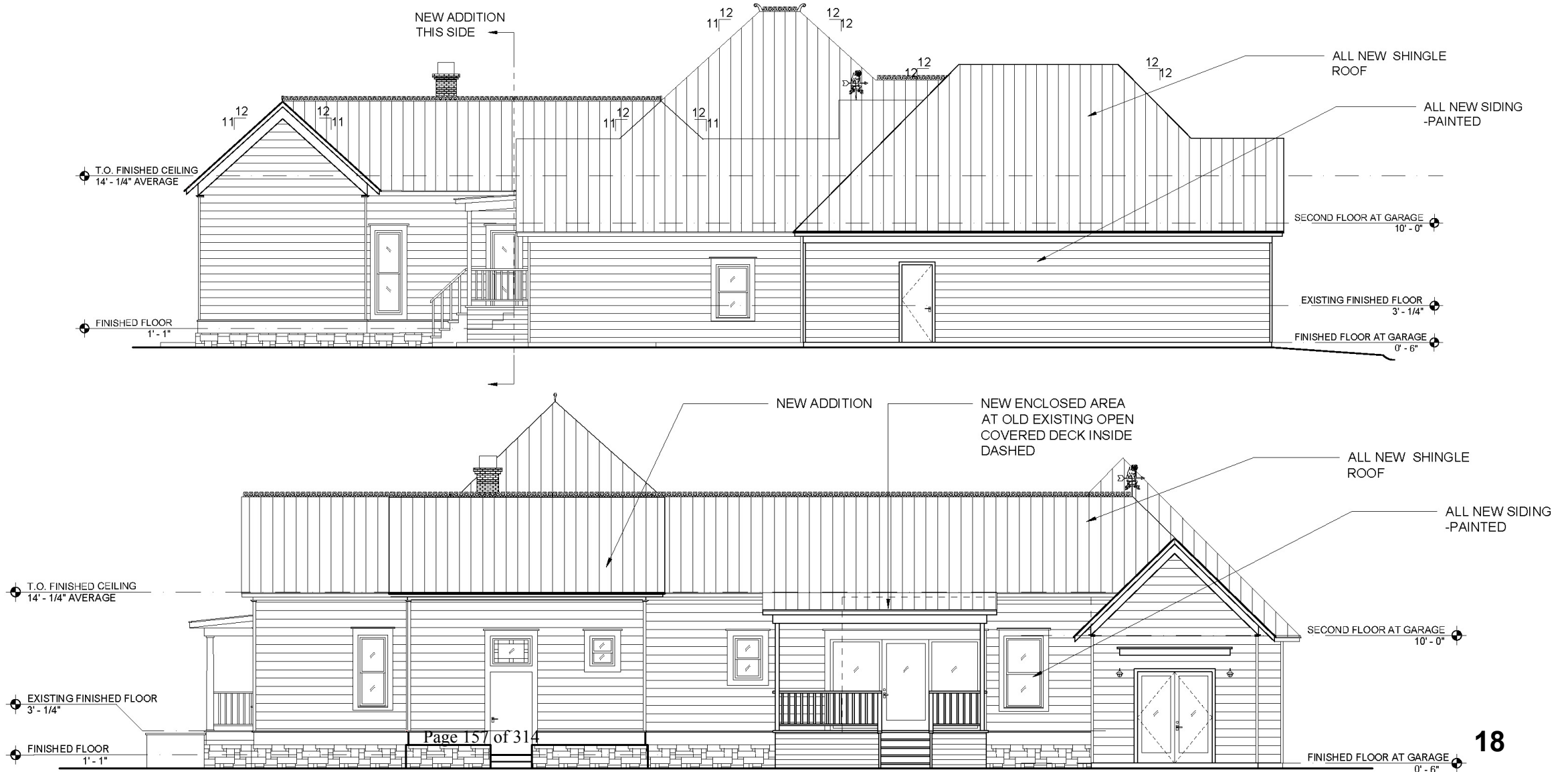


# New Side Street Elevation





# New Side & Rear Elevations



# Project Rendering





# Proposed Siding Replacement

Current conditions of wood siding



HardiePlank Fiber  
Cement Siding



# Proposed Materials



Metal roof precedent



Proposed standing seam profile



Proposed roof color options



Precedent for exterior  
color palette

Page 160 of 314

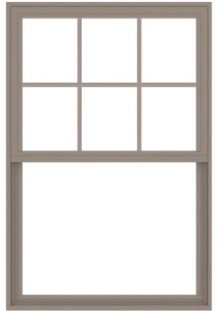
Chantilly Lace  
2121-70

Taffeta Green  
843

Siding paint:  
Benjamin Moore  
Taffeta Green



Andersen 100 Series window precedent



Andersen 100 detail view exterior



Composite single  
hung windows by  
Andersen

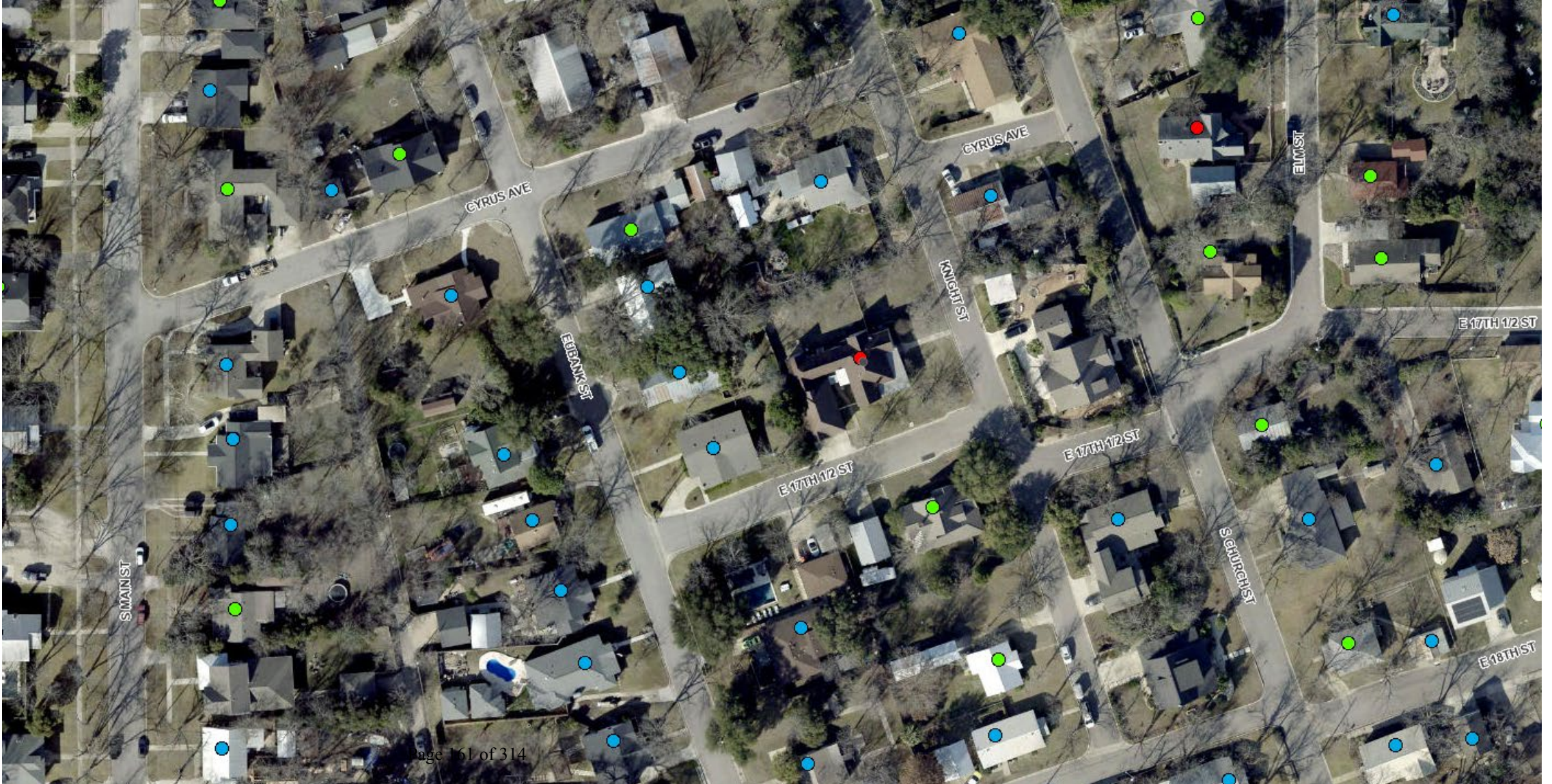


Andersen 100 detail view interior

PROPOSED NEW WINDOWS  
ARE 1/1 PANES



# Current Context





# Approval Criteria – UDC Section 3.13.030

Criteria	Staff's Finding
1. The application is complete and the information contained within the application is correct and sufficient enough to allow adequate review and final action;	<b>Complies</b>
2. Compliance with any design standards of this Code;	<b>Complies</b>
3. Compliance with the Secretary of the Interior's Standards for the Treatment of Historic Properties to the most extent practicable;	<b>Partially Complies</b>
4. Compliance with the adopted Downtown and Old Town Design Guidelines, as may be amended from time to time, specific to the applicable Historic Overlay District;	<b>Partially Complies</b>
5. The general historic, cultural, and architectural integrity of the building, structure or site is preserved;	<b>Complies</b>
6. New buildings or additions are designed to be compatible with surrounding properties in the applicable historic overlay district;	<b>Complies</b>
7. The overall character of the applicable historic overlay district is protected; and	<b>Complies</b>
8. The Master Sign Plan is in keeping with the adopted Downtown and Old Town Design Guidelines and character of the historic overlay district.	<b>N/A</b>



# Requested Feedback

- Are the proposed additions compatible with the style, materials and character of the main structure?
- Are the window proportions of the north addition compatible with the historic window proportions?
- Does the proposed siding replacement meet the criteria for approval?

City of Georgetown, Texas  
Historic and Architectural Review  
July 22, 2021

**SUBJECT:**

**Public Hearing** and **Possible Action** on a request for a **Certificate of Appropriateness** (COA) for additions that create a new, or add to an existing street facing façade and replacing a historic architectural feature with a non-historic architectural feature at the property located at 1505 Olive Street, bearing the legal description 0.345 acres in Block 40, Snyder Addition. - Britin Bostick, Downtown & Historic Planner

**ITEM SUMMARY:**

The applicant is requesting HARC approval of additions to the historic main structure, which are two dormers and a rear screened porch, both with siding and hipped roofs to match the proposed new siding and the existing roof style and slope. The applicant is also requesting HARC approval of the replacement of the stucco skirting around the foundation with brick skirting, and the replacement of the windows with new fiberglass 1/1 windows. In the letter of intent, the applicant reports that the style and possibly the age of the existing windows varies, and the applicant would like to have a consistent window appearance. The applicant is also requesting HPO approval to change the asphalt shingle roofs to a standing seam metal roof so that the structures on the property have a consistent roof material. The replacement of the existing asbestos siding with a lapped fiber cement siding, which is consistent with the age and style of the structure, does not require approval of a COA.

**FINANCIAL IMPACT:**

None. The applicant has paid the required application fees.

**SUBMITTED BY:**

Britin Bostick, Downtown & Historic Planner

**ATTACHMENTS:**

Description		Type
<input type="checkbox"/>	Staff Report	Cover Memo
<input type="checkbox"/>	Exhibit 1 - Location Map	Exhibit
<input type="checkbox"/>	Exhibit 2 - Letter of Intent	Exhibit
<input type="checkbox"/>	Exhibit 3 - Plans & Specifications	Exhibit
<input type="checkbox"/>	Exhibit 4 - Historic Resource Surveys	Exhibit
<input type="checkbox"/>	Staff Presentation	Presentation



# Planning Department Staff Report

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## Historic and Architectural Review Commission

Report Date: *July 16, 2021*

File Number: *2021-25-COA*

### AGENDA ITEM DESCRIPTION

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Public Hearing and Possible Action on a request for a Certificate of Appropriateness for additions that create a new, or add to an existing street facing façade and replacing a historic architectural feature with a non-historic architectural feature at the property located at 1505 Olive Street, bearing the legal description 0.345 acres in Block 40, Snyder Addition.

### AGENDA ITEM DETAILS

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Project Name: *The Maxwell Residence Addition & Remodel*  
Applicant: *J. Bryant Boyd (J. Bryant Boyd, Design Build)*  
Property Owner: *Mary Sexton Maxwell*  
Property Address: *1505 Olive Street*  
Legal Description: *0.345 acres, being part of Block 40, Snyder Addition*  
Historic Overlay: *Old Town Overlay District*  
Case History: *Carport addition approved via 2020-49-COA*

### HISTORIC CONTEXT

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Date of construction: *1915 (Main House) and 1945 (Detached Garage) – HRS*  
Historic Resources Survey Level of Priority: *Medium (Main House) and Low (Detached Garage)*  
National Register Designation: *Within the Olive Street National Register Historic District*  
Texas Historical Commission Designation: *N/A*

### APPLICANT'S REQUEST

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HARC:

- ✓ Dormer additions
- ✓ Screened porch addition
- ✓ Window & skirting replacement

HPO:

- ✓ Change of roof materials

### STAFF ANALYSIS

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The applicant is requesting HARC approval of additions to the historic main structure, which are two dormers and a rear screened porch, both with siding and hipped roofs to match the proposed new siding and the existing roof style and slope. The applicant is also requesting HARC approval of the replacement of the stucco skirting around the foundation with brick skirting, and the replacement of the windows with new fiberglass 1/1 windows. In the letter of intent, the applicant reports that the style and possibly

# Planning Department Staff Report

## Historic and Architectural Review Commission

the age of the existing windows varies, and the applicant would like to have a consistent window appearance. The applicant is also requesting HPO approval to change the asphalt shingle roofs to a standing seam metal roof so that the structures on the property have a consistent roof material. The replacement of the existing asbestos siding with a lapped fiber cement siding, which is consistent with the age and style of the structure, does not require approval of a COA.

The property is not visible on any of the Sanborn Fire Insurance Maps, and the house does not appear in c. 1934 aerial photos from Southwestern University's Special Collections that show Olive Street from two angles. In 1934, the property and surrounding blocks were farmland. Public records indicate that Sam and Clellia Harris purchased the property from A. A. and Bonnye Allen on January 28, 1946. The garage was likely to have been constructed that same year, but per information provided by the current owner, the house was moved from the J. M. Page property on the west side of what is now Interstate 35, which is why the house is estimated to have a 1915 construction date but the property was not developed until 1946. The Harrises owned the property until 1955. The house has had a mix of architectural styles, and the exposed rafter ends, tapered front porch columns and divided lite upper windowpanes visible today are Craftsman in style, which was popular at the time the house the is estimated to have been constructed. The 1984 Historic Resource Survey form notes that in 1984 the front porch had fluted Doric columns in pairs, which would have been more commonly found in buildings with a Classical Revival style. At the time the house also did not have a front porch railing.

### APPLICABLE DESIGN GUIDELINES

The following guidelines are applicable to the proposed scope of work in accordance with the adopted Downtown and Old Town Design Guidelines:

GUIDELINES	FINDINGS
<b>CHAPTER 14 – DESIGN GUIDELINES FOR INFILL CONSTRUCTION AND ADDITIONS IN THE OLD TOWN OVERLAY DISTRICT</b>	
<b>14.10 Non-traditional siding materials are discouraged.</b> <ul style="list-style-type: none"><li>✓ Typically, artificial stone and brick veneer are not appropriate.</li><li>✓ Asphalt shingles are not appropriate.</li><li>✓ Aluminum and vinyl are not appropriate.</li></ul>	<b>Complies</b> <p>The applicant is proposing to remove the asbestos siding and replace it with a lapped fiber cement siding, similar to the wood siding that would have been original to this style of house.</p>
<b>14.11 Avoid alterations that would damage historic features.</b> <ul style="list-style-type: none"><li>✓ Avoid alterations that would hinder the ability to interpret the design character of the original building or period of significance.</li><li>✓ Alterations that seek to imply an earlier period than that of the building are inappropriate.</li></ul>	<b>Partially Complies</b> <p>The current stucco skirting is not original; however, it is consistent with skirting material from the time period the house was moved and is historic. The proposed brick skirting would also be compatible with the age and style of the house. Although the windows are of varying periods and styles, the proposed 1/1 fiberglass windows are</p>



# Planning Department Staff Report

## Historic and Architectural Review Commission

GUIDELINES	FINDINGS
<b>CHAPTER 14 – DESIGN GUIDELINES FOR INFILL CONSTRUCTION AND ADDITIONS IN THE OLD TOWN OVERLAY DISTRICT</b>	
	consistent with the time period and style of the house and most of the existing windows.
<b>14.12 An addition shall be compatible in scale, materials, and character with the main building.</b> <ul style="list-style-type: none"> <li>✓ An addition shall relate to the building in mass, scale, and form. It should be designed to remain subordinate to the main structure.</li> <li>✓ An addition to the front of a building is usually inappropriate.</li> </ul>	<p><b>Complies</b></p> <p>The proposed porch addition to the rear and dormer additions to make use of the attic space as living space are of a scale, materials and character that is compatible with the character of the main structure. Dormer additions are common for Craftsman style structures in Old Town with higher roof pitches, and are usually placed in either the front and rear of side roof slopes.</p>
<b>14.13 Design a new addition such that the original character can be clearly seen.</b> <ul style="list-style-type: none"> <li>✓ In this way, a viewer can understand the history of changes that have occurred to the building.</li> <li>✓ An addition should be distinguishable from the original building, even in subtle ways, such that the character of the original can be interpreted.</li> <li>✓ Creating a jog in the foundation between the original and new structures may help to define an addition.</li> <li>✓ Even applying new trim board at the connection point between the addition and the original structure can help define the addition.</li> </ul>	<p><b>Complies</b></p> <p>The proposed additions are distinguishable from the original character, which has already been altered by the changes to the front porch.</p>
<b>14.14 Place an addition at the rear of a building or set it back from the front to minimize the visual impacts.</b> <ul style="list-style-type: none"> <li>✓ This will allow the original proportions and character to remain prominent.</li> <li>✓ Locating an addition at the front of a structure is usually inappropriate.</li> </ul>	<p><b>Complies</b></p> <p>Proposed screened porch is set to the rear of the building and the proposed dormers are set back from the primary façade, leaving the front façade prominent.</p>
<b>14.17 An addition shall be set back from any primary, character-defining façade.</b>	<p><b>Complies</b></p> <p>Proposed additions are set back from the primary façade.</p>

## Planning Department Staff Report

### Historic and Architectural Review Commission

✓ An addition should be to the rear of the building, when feasible.	
<b>14.18 The roof of a new addition shall be in character with that of the primary building.</b> ✓ Typically, gable, hip, and shed roofs are appropriate for residential additions. Flat roofs may be more appropriate for commercial buildings. ✓ Repeat existing roof slopes and materials. ✓ If the roof of the primary building is symmetrically proportioned, the roof of the addition should be similar.	<b>Complies</b> Proposed roofs are hip roofs with slopes similar to that of the primary building.

### CRITERIA FOR APPROVAL

In accordance with Section 3.13.030 of the Unified Development Code, the HARC must consider the following criteria:

SECTION 3.13.030 CRITERIA	FINDINGS
1. The application is complete and the information contained within the application is correct and sufficient enough to allow adequate review and final action;	<b>Complies</b> Staff reviewed the application and deemed it complete.
2. Compliance with any design standards of this Code;	<b>Complies</b> Proposed project complies with applicable UDC requirements.
3. Compliance with the Secretary of the Interior's Standards for the Treatment of Historic Properties to the most extent practicable;	<b>Partially Complies</b> Proposed project complies with SOI standards in general, however the SOI standards regarding windows are to repair historic windows rather than replace:  9. New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.



## Planning Department Staff Report

### Historic and Architectural Review Commission

SECTION 3.13.030 CRITERIA	FINDINGS
	10. New additions and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.
4. Compliance with the adopted Downtown and Old Town Design Guidelines, as may be amended from time to time, specific to the applicable Historic Overlay District;	<b>Partially Complies</b> Proposed project complies or partially complies with applicable Design Guidelines.
5. The general historic, cultural, and architectural integrity of the building, structure or site is preserved;	<b>Complies</b> The proposed additions are consistent with additions to structures of a similar architectural style in the Old Town Overlay District and the addition of dormers and rear screened porches is typical for this early 20 <sup>th</sup> century style. The removal of the asbestos siding and replacement with a lapped siding is an improvement to the character and integrity of the structure and the proposed brick skirting is consistent with houses of that period, which may have been built on brick foundations.
6. New buildings or additions are designed to be compatible with surrounding properties in the applicable historic overlay district;	<b>Complies</b> Proposed additions are compatible with surrounding properties. Although the subject structure is older than the immediately surrounding properties due to it having been relocated from its original site, the additions are compatible with architectural styles and additions in the surrounding area, including the Olive Street National Register Historic District.
7. The overall character of the applicable historic overlay district is protected; and	<b>Complies</b> Proposed additions and alterations are consistent with the character of the Old Town Overlay District.
8. The Master Sign Plan is in keeping with the adopted Downtown and Old Town Design Guidelines and character of the historic overlay district.	<b>Not Applicable</b> No signs are proposed.

# Planning Department Staff Report

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## Historic and Architectural Review Commission

### STAFF RECOMMENDATION

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Based on the findings listed above, staff recommends *APPROVAL* of the request.

### PUBLIC COMMENTS

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As of the date of this report, staff has received *0* written comments in favor and *0* opposed.

### ATTACHMENTS

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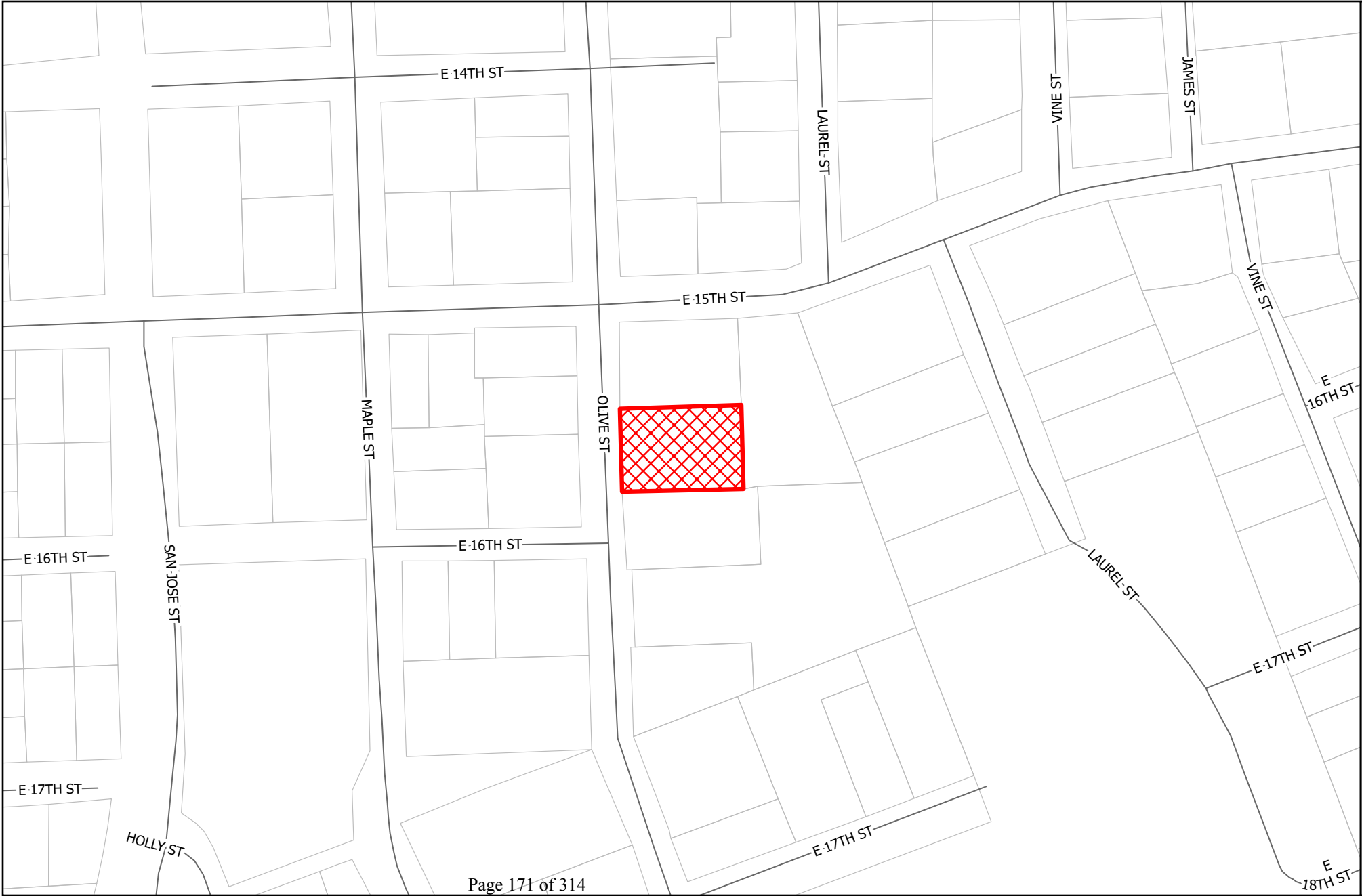
Exhibit 1 – Location Map  
Exhibit 2 – Letter of Intent  
Exhibit 3 – Plans and Specifications  
Exhibit 4 – Historic Resource Surveys

### SUBMITTED BY

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*Britin Bostick, Downtown & Historic Planner*





# LOCATION

2021-25-COA

Exhibit #1

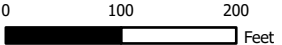


Site



Parcels

N





City of Georgetown  
Planning and Development Services/HARC  
Georgetown, TX 78626

**HARC Submission for CoA  
The Maxwell Residence Addition and Remodel  
1505 Olive Street  
Georgetown, TX 78626  
May 27th, 2021**

**The Project Scope Summary:**

This application is for a CoA relating to the remodeling and addition to the existing structure at 1505 Olive Street. The home was originally built in 1915, however it was moved from it's original location on the west side of Interstate 35 to it's current location in 1946. The style of the original home is a mix of architectural styles which include traditional and craftsman elements. It is currently classified as Medium Priority in the 2016 survey.

The home is currently a single story structure, with substantial attic space that the homeowners hope to utilize by converting the attic space to livable space with the addition of a stairwell and 2 side-facing dormers. In order to stay in keeping with the original style of the home, the dormers will have hipped roofs, with 2 double hung windows looking out the north and south sides of the house as means of egress. The existing side patio at the rear of the house will be extended and covered (also with a hipped roof), with the porch being screened in with style-appropriate trim and details.

The existing composition shingle roof (which is not original to the house) will be replaced with a new metal roof to match that of the detached garage/apartment structure that currently exists on the property. The house will need foundation repair and leveling, during which the existing stucco skirting will be removed and replaced with brick skirting, as is commonly seen with houses of this time period. Both the style and materials will be picked to enhance the stylistic continuity of the home. The existing windows are of various styles making it difficult to confirm if they are original or truly historic in nature. New windows will be Andersen composite fiberglass (100 Series). The lite patterns and configuration will reflect the original architectural style of the home. The existing asbestos siding will be replaced with Hardie lap siding, and the main exterior color will be blue with white trim to match the current paint colors. These colors are reflected in the renderings in this package.

The overall intent of this project is to improve upon the appearance, usability and historic nature of the home, while extending both the indoor and outdoor living spaces of the home and lot. The overall style will remain the same and will be rounded out with the addition of architectural details appropriate with the overall style.

We appreciate the opportunity to present this project to HARC.

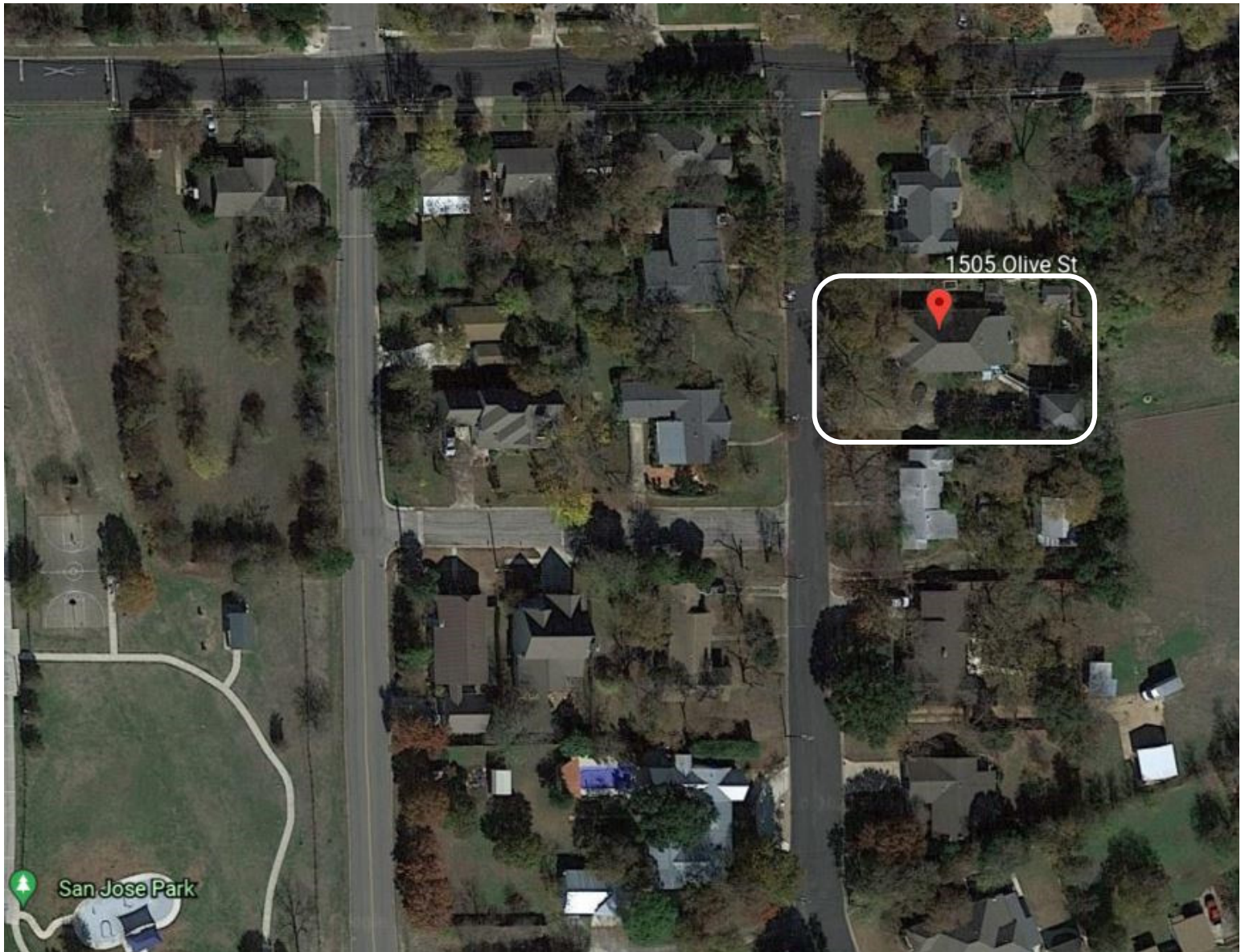
Sincerely,

J. Bryant Boyd, AIA



**The Maxwell Residence Addition and Remodel**  
**1505 Olive Street**  
**Georgetown, TX 78626**

**HARC submittal for CoA**  
**May 27th, 2021**



**AERIAL VIEW**



**The Maxwell Residence Addition and Remodel**  
**1505 Olive Street**  
**Georgetown, TX 78626**

**HARC submittal for CoA**  
**May 27th, 2021**



**VIEW OF FRONT WEST SIDE OF HOUSE FROM OLIVE STREET**



**VIEW OF NORTHWEST CORNER OF HOUSE**



**VIEW OF BACK OF HOUSE**



**VIEW OF SOUTH SIDE OF HOUSE**

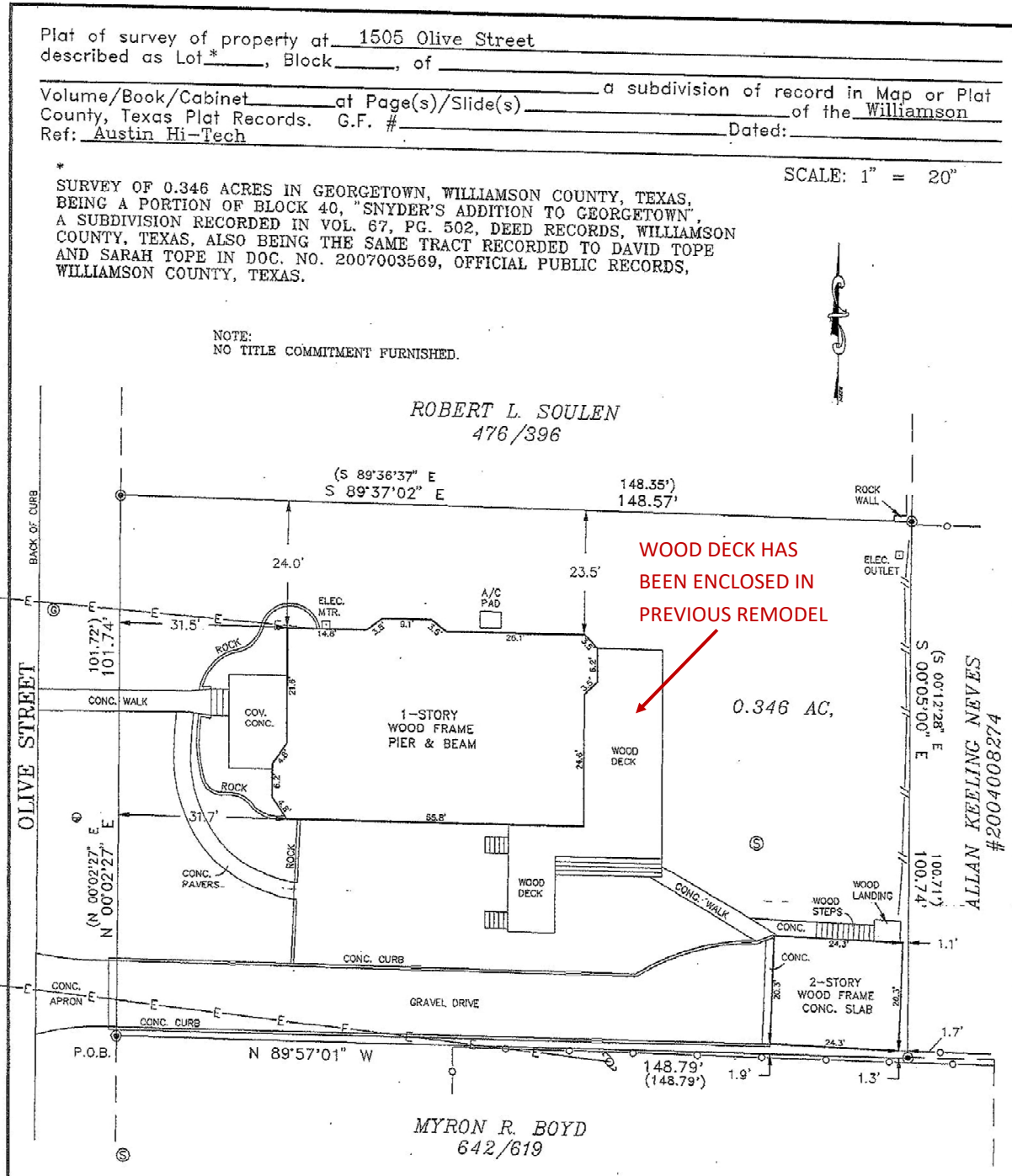


**VIEW OF CARPORT GARAGE**



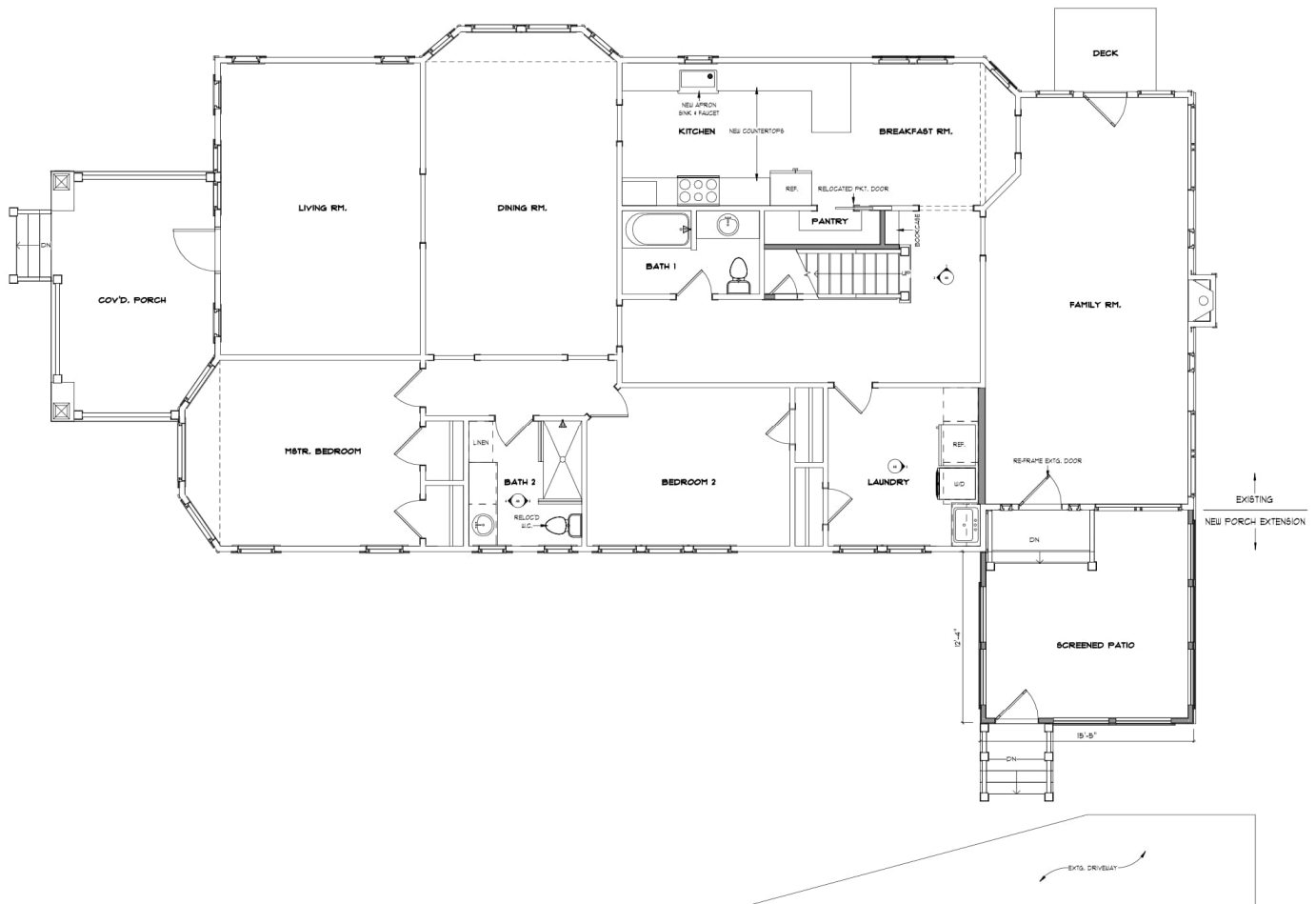
The Maxwell Residence Addition and Remodel  
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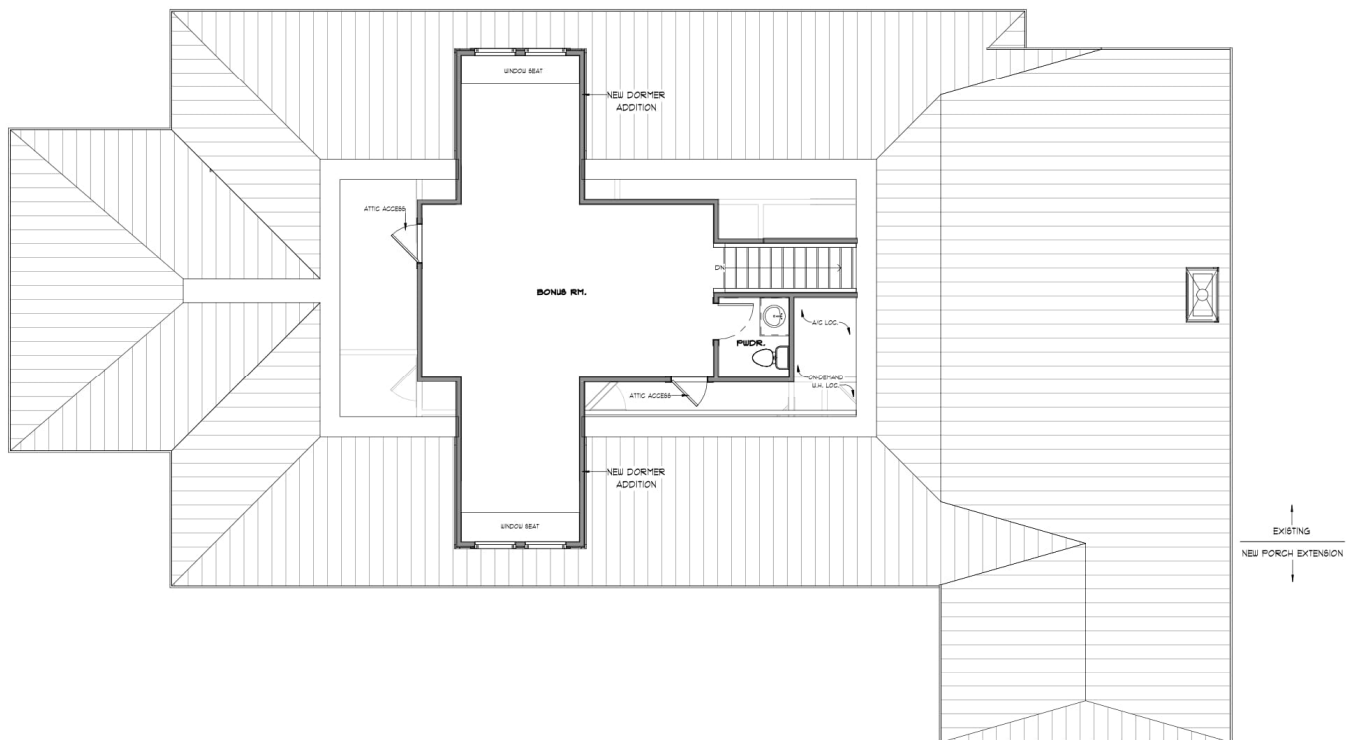
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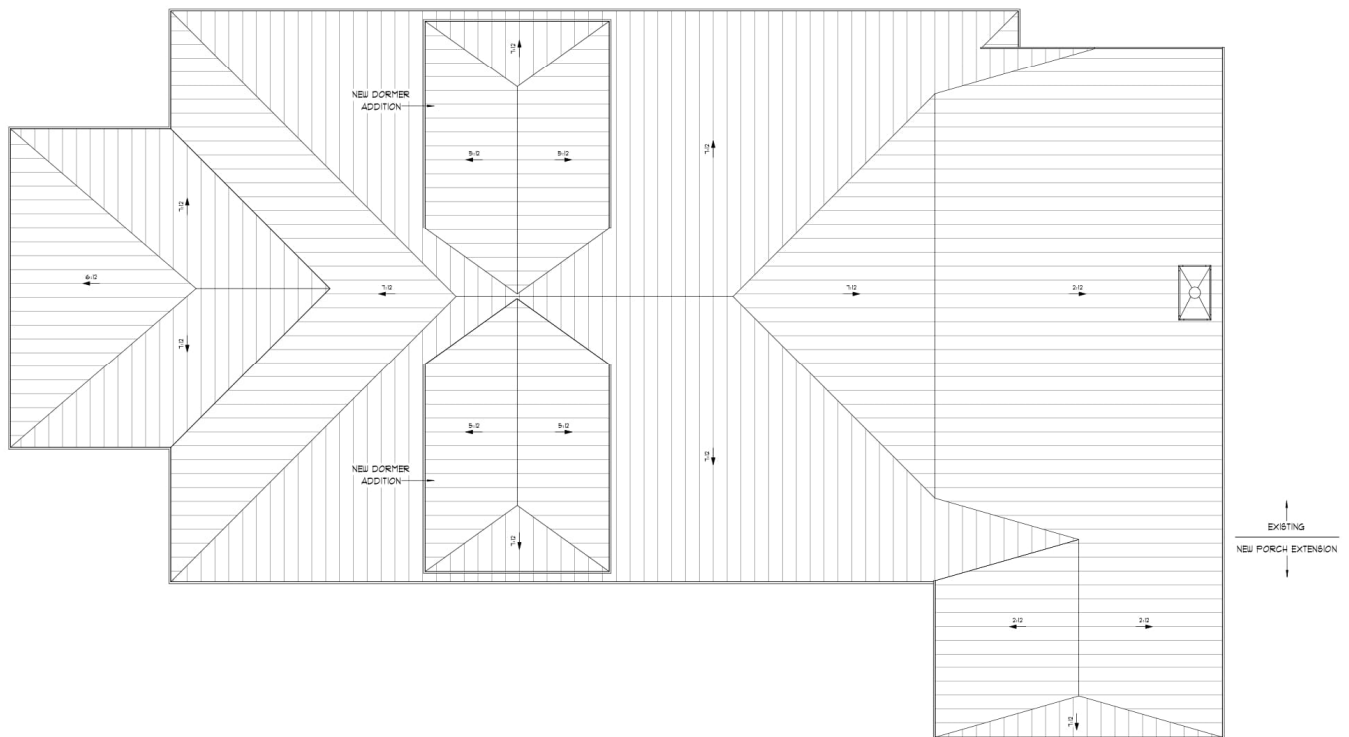
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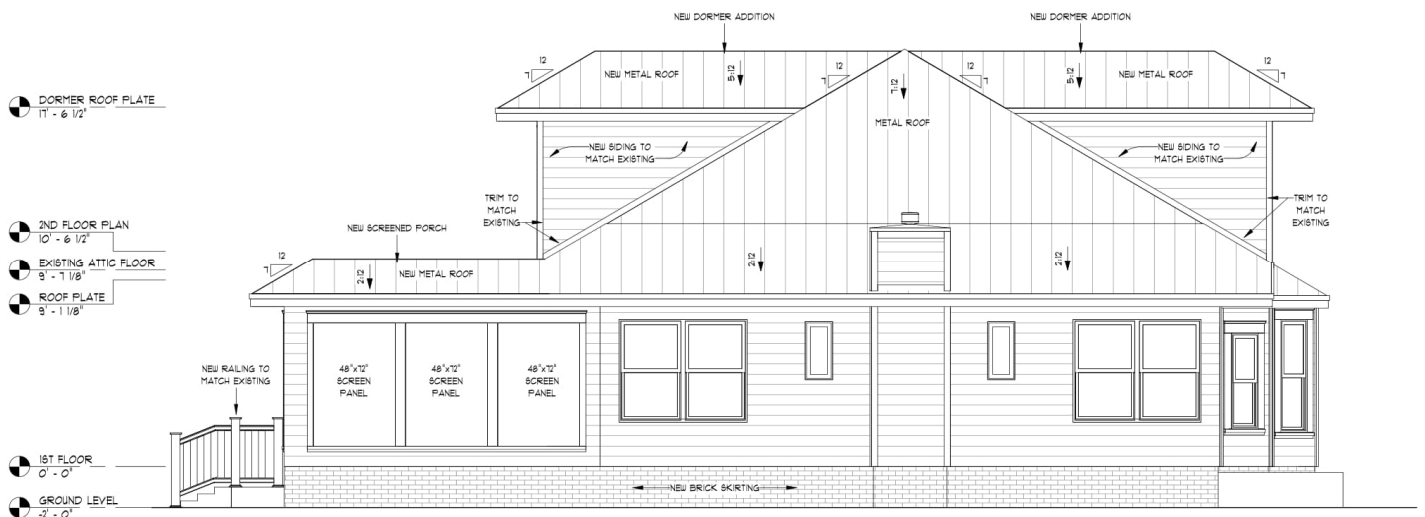
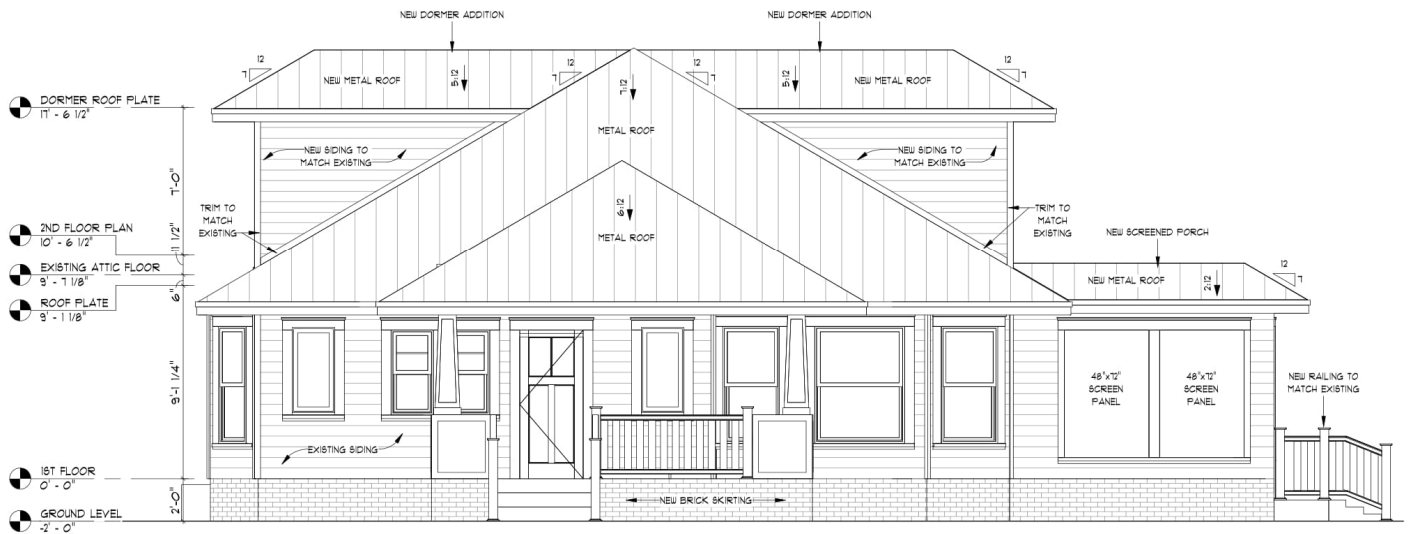
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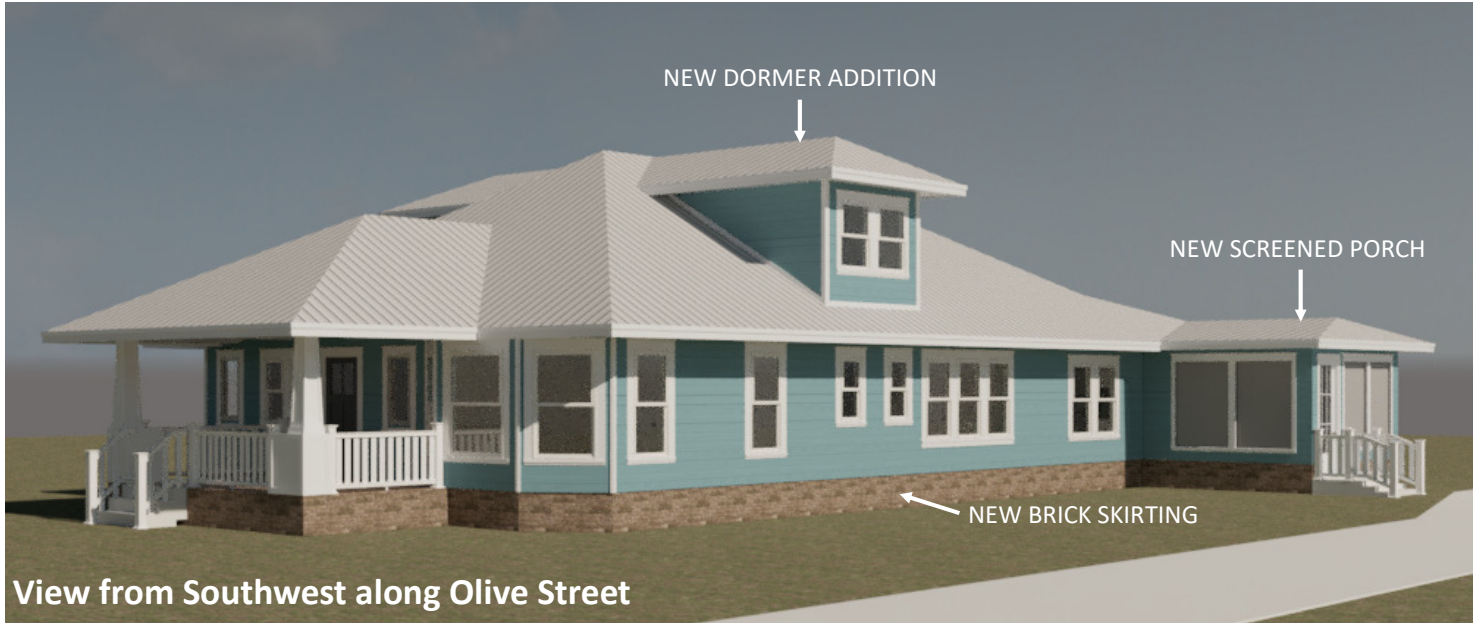
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**The Maxwell Residence Addition and Remodel**  
1505 Olive Street  
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**The Maxwell Residence Addition and Remodel**  
**1505 Olive Street**  
**Georgetown, TX 78626**

**HARC submittal for CoA**  
**May 27st, 2021**

**Morning Sky**  
P460-1



Main Exterior color —“Morning Sky”

**Ultra Pure White®**  
PR-W15



Trim Color—“Ultra Pure White”

## **Exterior Paint Selections**





## SINGLE-HUNG WINDOWS

Andersen® 100 Series single-hung windows allow ventilation through a single operable lower sash that slides up and down. Classic rectangular shapes are available, or use an arched top for added elegance. Made with our revolutionary Fibrex® composite material, 100 Series products are durable, environmentally smart and energy efficient. 100 Series products are available in deep, rich colors that complement virtually any architectural style. For added style, we offer a wide range of grille patterns and patterned glass options.

### DURABLE

- Virtually maintenance-free
- Rigorously tested to deliver years\* of smooth, reliable operation
- Fibrex material construction provides long-lasting\* performance
- Durable, low-maintenance finish won't fade, flake, blister or peel\*
- Fibrex material is twice as strong as vinyl

### ENERGY EFFICIENT

- Weather-resistant construction for greater comfort and energy efficiency
- Weatherstripping is designed to seal out drafts, wind and water
- Variety of Low-E glass options are available to help control heating and cooling costs in any climate
- Many 100 Series single-hung windows have options that make them ENERGY STAR® v. 6.0 certified throughout the U.S.



### BEAUTIFUL

- Clean, attractive corner seams
- Six exterior color options
- Attractive matte finish interiors available in four colors
- Add style with grilles or patterned glass

### EXTERIOR COLORS



\*Visit [andersenwindows.com/warranty](http://andersenwindows.com/warranty) for details.

"ENERGY STAR" is a registered trademark of the U.S. Environmental Protection Agency.

# HardiePlank®

Thickness 5/16 in  
Length 12 ft planks

## SELECT CEDARMILL® & SMOOTH

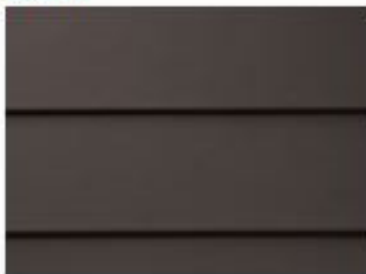
Width	5.25 in	6.25 in	7.25 in	8.25 in	9.25 in	12 in
Exposure	4 in	5 in	6 in	7 in	8 in	10.75 in
Prime Pcs/Pallet	360	308	252	230	190	152
ColorPlus Pcs/Pallet	324	280	252	210	—	—
Pcs/Sq	25.0	20.0	16.7	14.3	12.5	9.3

## SELECT CEDARMILL®



Width	5.25 in	6.25 in	7.25 in	8.25 in	9.25 in	12 in
STATEMENT COLLECTION™				✓		
DREAM COLLECTION™	✓	✓	✓	✓		
PRIME	✓	✓	✓	✓	✓	✓

## SMOOTH



Width	5.25 in	6.25 in	7.25 in	8.25 in	9.25 in	12 in
STATEMENT COLLECTION™						
DREAM COLLECTION™	✓	✓	✓	✓		
PRIME	✓	✓	✓	✓	✓	✓

## BEADED CEDARMILL®



## BEADED SMOOTH



## BEADED CEDARMILL® & BEADED SMOOTH

Width	8.25 in
Exposure	7 in
Prime Pcs/Pallet	240
ColorPlus Pcs/Pallet	210
Pcs/Sq	14.3
STATEMENT COLLECTION™	—
DREAM COLLECTION™	✓
PRIME	✓

## CUSTOM COLONIAL ROUGHSAWN®



## CUSTOM COLONIAL SMOOTH®



## CUSTOM COLONIAL ROUGHSAWN® & CUSTOM COLONIAL SMOOTH®

Width	8 in
Exposure	6.75 in
Prime Pcs/Pallet	240
ColorPlus Pcs/Pallet	216
Pcs/Sq	14.9
STATEMENT COLLECTION™	—
DREAM COLLECTION™	✓
PRIME	✓





\*\*Subject to premium pricing.

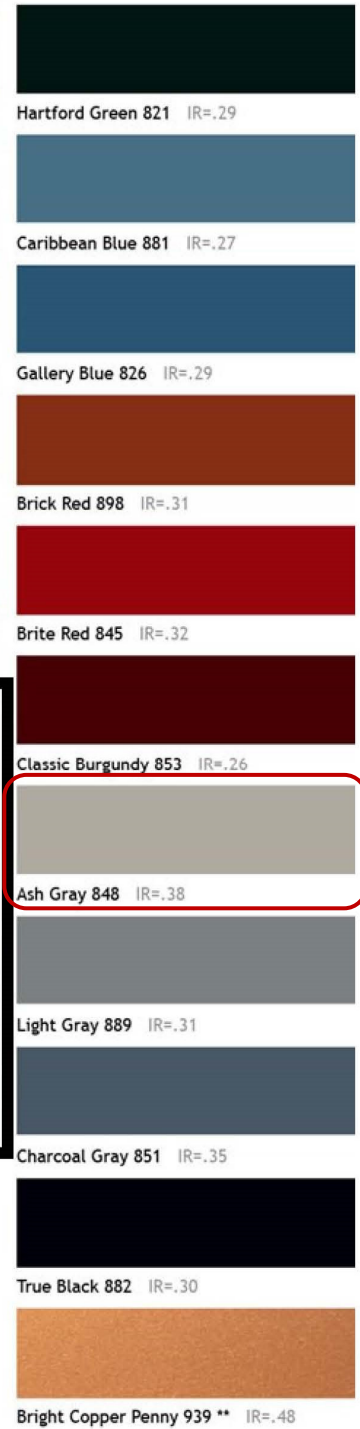
Colors shown are as close to actual colors as allowed by the printing process. Actual metal samples are available. Colors may appear different when viewed at different angles & under different lighting conditions.



\*All colors are ENERGY STAR® approved

Due to product improvements, changes & other factors, we reserve the right to change or delete information herein without prior notice.

IR = Initial Reflectivity



1. County Williamson WM  
GE 5. USGS Quad No. 3097-313 Site No. 750  
 City/Rural Georgetown UTM Sector 627-3389  
 2. Name \_\_\_\_\_ 6. Date: Factual \_\_\_\_\_ Est. 1915  
 Address 1505 Olive 7. Architect/Builder \_\_\_\_\_ Contractor Belford Lumber Co.  
 3. Owner Francis W. O'Brien 8. Style/Type \_\_\_\_\_  
 Address Same, 78626 9. Original Use residential  
 4. Block/Lot Snyder/Blk. 40/Lot 3 Present Use residential  
 10. Description One-story wood frame dwelling; exterior walls w/ asbestos shingle siding; hip roof w/ composition shingles; exposed rafter ends; front elev. faces W.; wood sash double-hung windows w/ 1/1, 4/1, and 3/1 lights; single-door entrance; one-bay porch w/ hip roof on W. elev.; fluted Dorick columns in pairs. Other noteworthy features include crown  
 11. Present Condition good  
 12. Significance Primary area of significance: architecture. Similar to dwelling at 403 Elm (Site No. 608).  
 13. Relationship to Site: Moved ☒ Date \_\_\_\_\_ or Original Site (describe) \_\_\_\_\_  
 14. Bibliography Tax rolls 15. Informant Rev Sansom  
 16. Recorder A. Taylor/HHM Date July 1984

## DESIGNATIONS

## PHOTO DATA

- TNRIS No. \_\_\_\_\_ Old THC Code \_\_\_\_\_ B&W 4x5s \_\_\_\_\_ Slides \_\_\_\_\_  
☐ RTHL ☐ HABS (no.) TEX- \_\_\_\_\_ 35mm Negs.  
 NR: ☐ Individual ☐ Historic District  
☐ Thematic ☐ Multiple-Resource  
 NR File Name \_\_\_\_\_  
 Other \_\_\_\_\_
- | YEAR | DRWR | ROLL | FRME |    | ROLL | FRME |
|------|------|------|------|----|------|------|
|      |      | 12   | 12   | to |      |      |
|      |      |      |      | to |      |      |
|      |      |      |      | to |      |      |

CONTINUATION PAGE

No. 2 of 2

## TEXAS HISTORIC SITES INVENTORY FORM - TEXAS HISTORICAL COMMISSION (rev. 8-82)

1. County Williamson WM  
GE 5. USGS Quad No. 3097-313 Site No. 750  
 City/Rural Georgetown  
 2. Name \_\_\_\_\_  
 #10. Description (cont'd): molding on window facings; octagonal-plan front projecting ell. Outbuildings include wood frame double garage.



**TEXAS HISTORICAL COMMISSION**

**Properties Documented with the THC Form in 2007 and/or 1984 That Have Not Changed Preservation Priority**

Address:	1505 Olive St	2016 Survey ID:	124608 A
City	Georgetown	2016 Preservation Priority:	Medium
County	Williamson	Local District:	Old Town District

**SECTION 1**

**Basic Inventory Information**

**Property Type:** ☒ Building ☐ Structure ☐ Object ☐ Site ☐ District WCAD ID: R047484

Construction Date: 1915 ☐ Actual ☒ Estimated Source: 2007 survey

Latitude: 30.630329

Longitude -97.666771

Current/Historic Name None/None

**Stylistic Influence(s)\*** ☐ None Selected

- |  |  |   |   |  |
|--|--|---|---|--|
| <input type="checkbox"/> Log traditional | <input type="checkbox"/> Shingle             | <input type="checkbox"/> Gothic Revival | <input type="checkbox"/> Pueblo Revival   | <input type="checkbox"/> International                       |
| <input type="checkbox"/> Greek Revival   | <input type="checkbox"/> Romanesque Revival  | <input type="checkbox"/> Tudor Revival  | <input type="checkbox"/> Spanish Colonial | <input type="checkbox"/> Post-war Modern                     |
| <input type="checkbox"/> Italianate      | <input type="checkbox"/> Folk Victorian      | <input type="checkbox"/> Neo-Classical  | <input type="checkbox"/> Prairie          | <input type="checkbox"/> Ranch                               |
| <input type="checkbox"/> Second Empire   | <input type="checkbox"/> Colonial Revival    | <input type="checkbox"/> Beaux Arts     | <input type="checkbox"/> Craftsman        | <input type="checkbox"/> Commercial Style                    |
| <input type="checkbox"/> Eastlake        | <input type="checkbox"/> Renaissance Revival | <input type="checkbox"/> Mission        | <input type="checkbox"/> Art Deco         | <input type="checkbox"/> No Style                            |
| <input type="checkbox"/> Queen Anne      | <input type="checkbox"/> Exotic Revival      | <input type="checkbox"/> Monterey       | <input type="checkbox"/> Moderne          | <input checked="" type="checkbox"/> Other: Classical Revival |

**Plan\***

- |                                    |                                      |  |  |                                 |   |  |                                  |
|------------------------------------|--------------------------------------|--|--|---------------------------------|---|--|----------------------------------|
| <input type="checkbox"/> L-plan    | <input type="checkbox"/> T-plan      | <input type="checkbox"/> Modified L-plan | <input type="checkbox"/> 2-room        | <input type="checkbox"/> Open   | <input type="checkbox"/> Center Passage | <input checked="" type="checkbox"/> Bungalow | <input type="checkbox"/> Shotgun |
| <input type="checkbox"/> Irregular | <input type="checkbox"/> Four Square | <input type="checkbox"/> Rectangular     | <input type="checkbox"/> None Selected | <input type="checkbox"/> Other: |   |  |                                  |

**Priority:** **2016 Survey** ID: 124608 A ☐ High ☒ Medium ☐ Low

**Explain:** Property retains a relatively high degree of integrity; property is significant and contributes to neighborhood character

**2007 Survey** ID: 1142a ☐ High ☒ Medium ☐ Low

**1984 Survey** ID: 750 ☐ High ☒ Medium ☐ Low

**General Notes:** (Notes from 2007 Survey: None)

Recorded by: CMEC

Date Recorded 4/21/2016

\*Photographs and Preservation Priority have been updated in 2016, and the year built date has also been reviewed. However, the plan and style data are sourced directly from the 2007 survey.



Primary (west) elevation; Photo direction: East  
Note: See additional photo(s) on following page(s)

**Properties Documented with the THC Form in 2007 and/or 1984 That Have Not Changed Preservation Priority**

Address: 1505 Olive St

2016 Survey ID: 124608 A

City: Georgetown

2016 Preservation Priority: Medium

County: Williamson

Local District: Old Town District

## Additional Photos

Photo Direction Northeast

Oblique of west and south elevations





TEXAS HISTORICAL COMMISSION

HISTORIC RESOURCES SURVEY FORM

Address: 1505 Olive St 2016 Survey ID: 124608 B  
 City: Georgetown 2016 Preservation Priority: Low  
 County: Williamson Local District: Old Town District

SECTION 1

Basic Inventory Information

Owner/Address PERKINS, DENNIS A & JANET G, 1505 OLIVE ST, , GEORGETOWN, TX 78626

Current/Historic Name: None/None

Latitude: 30.630203 Longitude -97.666537

Legal Description (Lot/Block): SNYDER ADDITION, BLOCK 40 PT OF, ACRES .345 WCAD ID: R047484

Addition/Subdivision: S4615 - Snyder Addition

**Property Type:** ☒ Building ☐ Structure ☐ Object ☐ Site ☐ District

**Current Designations:**

☒ NR District (Is property contributing? ☐ Yes ☐ No)

☐ NHL ☐ NR ☐ RTHL ☐ OTHM ☐ HTC ☐ SAL ☒ Local: Old Town District ☐ Other

Architect: Builder:

Construction Date: 1945 ☒ Actual ☐ Estimated Source: WCAD

**Function**

**Current Use:** ☐ Agriculture ☐ Commerce/trade ☐ Defense ☒ Domestic ☐ Educational ☐ Government

☐ Healthcare ☐ Industry/processing ☐ Recreation/culture ☐ Religious ☐ Social ☐ Vacant

☐ Other:

**Historic Use:** ☐ Agriculture ☐ Commerce/trade ☐ Defense ☒ Domestic ☐ Educational ☐ Government

☐ Healthcare ☐ Industry/processing ☐ Recreation/culture ☐ Religious ☐ Social ☐ Vacant

☐ Other:

Recorded by: CMEC Date Recorded 4/21/2016



Primary (west) elevation; Photo direction: East

Note: See additional photo(s) on page 4

**TEXAS HISTORICAL COMMISSION**

**HISTORIC RESOURCES SURVEY FORM**

Address:	1505 Olive St	2016 Survey ID:	124608 B
City:	Georgetown	2016 Preservation Priority:	Low
County:	Williamson	Local District:	Old Town District

**SECTION 2**

**Architectural Description**

General Architectural Description:

Two-story ancillary building with a lower level garage and upper level living space. It has a rectangular plan, hipped roof, and an exterior staircase leading to the upper level.

☒ Additions, modifications: Garage doors replaced, windows replaced

☐ Relocated

**Stylistic Influence(s)**

<input type="checkbox"/> Log traditional	<input type="checkbox"/> Shingle	<input type="checkbox"/> Gothic Revival	<input type="checkbox"/> Pueblo Revival	<input type="checkbox"/> International
<input type="checkbox"/> Greek Revival	<input type="checkbox"/> Romanesque Revival	<input type="checkbox"/> Tudor Revival	<input type="checkbox"/> Spanish Colonial	<input type="checkbox"/> Post-war Modern
<input type="checkbox"/> Italianate	<input type="checkbox"/> Folk Victorian	<input type="checkbox"/> Neo-Classical	<input type="checkbox"/> Prairie	<input type="checkbox"/> Ranch
<input type="checkbox"/> Second Empire	<input type="checkbox"/> Colonial Revival	<input type="checkbox"/> Beaux Arts	<input type="checkbox"/> Craftsman	<input type="checkbox"/> Commercial Style
<input type="checkbox"/> Eastlake	<input type="checkbox"/> Renaissance Revival	<input type="checkbox"/> Mission	<input type="checkbox"/> Art Deco	<input checked="" type="checkbox"/> No Style
<input type="checkbox"/> Queen Anne	<input type="checkbox"/> Exotic Revival	<input type="checkbox"/> Monterey	<input type="checkbox"/> Moderne	<input type="checkbox"/> Other:

**Structural Details**

**Roof Form**

☐ Gable ☒ Hipped ☐ Gambrel ☐ Shed ☐ Flat w/parapet ☐ Mansard ☐ Pyramid ☐ Other:

**Roof Materials**

☐ Wood shingles ☐ Tile ☒ Composition shingles ☐ Metal ☐ Asphalt ☐ Other:

**Wall Materials**

☐ Brick ☐ Stucco ☐ Stone ☐ Wood shingles ☐ Log ☐ Terra Cotta ☐ Concrete  
☐ Metal ☒ Wood Siding ☐ Siding: Other ☐ Glass ☐ Asbestos ☐ Vinyl ☐ Other:

**Windows**

☐ Fixed ☐ Wood sash ☒ Double hung ☐ Casement ☐ Metal sash ☐ Decorative Screenwork ☒ Other: Vinyl

**Doors (Primary Entrance)**

☒ Single door ☐ Double door ☐ With transom ☐ With sidelights ☐ Other:

**Plan**

☐ L-plan ☐ T-plan ☐ Modified L-plan ☐ 2-room ☐ Open ☐ Center Passage ☐ Bungalow ☐ Shotgun  
☐ Irregular ☐ Four Square ☒ Rectangular ☐ Other

**Chimneys**

Specify # 0 ☐ Interior ☐ Exterior ☒ None  
☐ Brick ☐ Stone ☐ Stucco ☐ Corbelled Caps ☐ Other

**PORCHES/CANOPIES**

**Form:** ☐ Shed Roof ☐ Flat Roof ☐ Hipped Roof ☐ Gabled Roof ☐ Inset ☐ None ☒ Other Not visible

**Support**

☐ Wood posts (plain) ☐ Wood posts (turned) ☐ Masonry pier ☐ Fabricated metal  
☐ Box columns ☐ Classical columns ☐ Tapered box supports ☐ Suspension cables ☐ None  
☐ Suspension rods ☐ Spindlework ☐ Jigsaw trim ☒ Other: Not visible

**Materials:**

☐ Metal ☐ Wood ☐ Fabric ☒ Other: Not visible

# of stories: 2 Basement: ☐ None ☐ Partial ☐ Full ☒ Unknown

**Ancillary Buildings**

Garage Barn Shed Other:

**Landscape/Site Features**

☐ Sidewalks ☐ Terracing ☐ Drives ☐ Well/cistern ☐ Gardens ☐ Other  
☐ Stone ☐ Wood ☐ Concrete ☐ Brick ☐ Other materials:

Landscape Notes:



**TEXAS HISTORICAL COMMISSION**

**HISTORIC RESOURCES SURVEY FORM**

Address:	1505 Olive St	2016 Survey ID:	124608 B
City	Georgetown	2016 Preservation Priority:	Low
County	Williamson	Local District:	Old Town District

**SECTION 3**

**Historical Information**

**Associated Historical Context:**

- |   |   |  |  |   |
|---|---|--|--|---|
| <input type="checkbox"/> Commerce               | <input type="checkbox"/> Communication      | <input type="checkbox"/> Agriculture     | <input type="checkbox"/> Architecture      | <input type="checkbox"/> Arts                 |
| <input type="checkbox"/> Immigration/Settlement | <input type="checkbox"/> Law/Government     | <input type="checkbox"/> Education       | <input type="checkbox"/> Exploration       | <input type="checkbox"/> Health               |
| <input type="checkbox"/> Religion/Spirituality  | <input type="checkbox"/> Science/Technology | <input type="checkbox"/> Military        | <input type="checkbox"/> Natural Resources | <input type="checkbox"/> Planning/Development |
|   |   | <input type="checkbox"/> Social/Cultural | <input type="checkbox"/> Transportation    | <input type="checkbox"/> Other                |

**Applicable National Register (NR) Criteria:**

- ☐ A Associated with events that have made a significant contribution to the broad pattern of our history
- ☐ B Associated with the lives of persons significant in our past
- ☐ C Embodies the distinctive characteristics of a type, period or method of construction or represents the work of a master, or possesses high artistic value, or represents a significant and distinguishable entity whose components lack individual distinctions
- ☐ D Has yielded, or is likely to yield, information important in prehistory or history

**Areas of Significance:**

**Periods of Significance:**

- |   |  |   |   |
|---|--|---|---|
| <b>Level of Significance:</b>               | <input type="checkbox"/> National            | <input type="checkbox"/> State                  | <input type="checkbox"/> Local                  |
| <b>Integrity:</b>                           | <input checked="" type="checkbox"/> Location | <input checked="" type="checkbox"/> Design      | <input type="checkbox"/> Materials              |
| <input checked="" type="checkbox"/> Setting | <input checked="" type="checkbox"/> Feeling  | <input checked="" type="checkbox"/> Association | <input checked="" type="checkbox"/> Workmanship |

**Integrity notes:** See Section 2

**Individually Eligible?** ☐ Yes ☒ No ☐ Undetermined

**Within Potential NR District?** ☐ Yes ☐ No ☐ Undetermined

**Is Property Contributing?** ☐ Yes ☐ No ☐ Undetermined

**Priority:** ☐ High ☐ Medium ☒ Low Explain: Property lacks significance

Other Info:

**Is prior documentation available for this resource?** ☒ Yes ☐ No ☐ Not known **Type:** ☐ HABS ☒ Survey ☐ Other

Documentation details	2007 ID: 1142b	1984 ID: Not Recorded
2007 survey	2007 Survey Priority: Medium	1984 Survey Priority: Not Recorded

**General Notes:** (Notes from 2007 Survey: doors clad in corrugated metal)

**Questions?**

Contact Survey Coordinator  
History Programs Division, Texas  
Historical Commission  
512/463-5853  
history@thc.state.tx.us



## HISTORIC RESOURCES SURVEY FORM

Address: 1505 Olive St  
City: Georgetown  
County: Williamson

2016 Survey ID: 124608 B  
2016 Preservation Priority: Low  
Local District: Old Town District

## Additional Photos

Photo Direction: South  
Primary (west) elevation





# 1505 Olive Street 2021-25-COA

**Historic & Architectural Review Commission**  
July 22, 2021

# Item Under Consideration

## **2021-25-COA – The Maxwell Residence Addition & Remodel**

- Public Hearing and Possible Action on a request for a Certificate of Appropriateness for additions that create a new, or add to an existing street facing façade and replacing a historic architectural feature with a non-historic architectural feature at the property located at 1505 Olive Street, bearing the legal description 0.345 acres in Block 40, Snyder Addition.



# Item Under Consideration

## HARC:

- Dormer additions
- Screened porch addition
- Window & skirting replacement

## HPO:

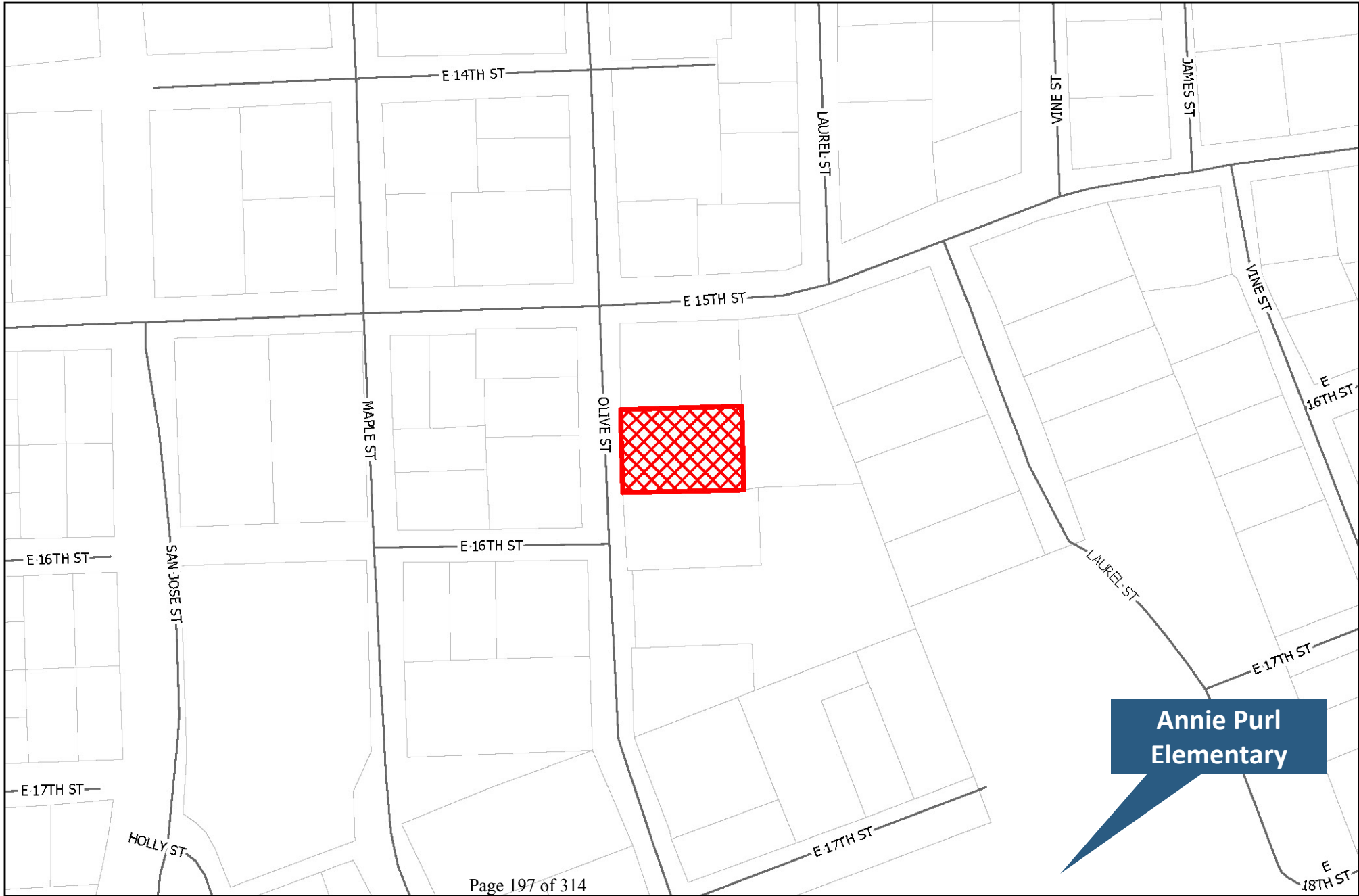
- Change of roof materials



# Item Under Consideration





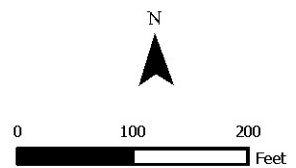


**LOCATION**

2021-25-COA

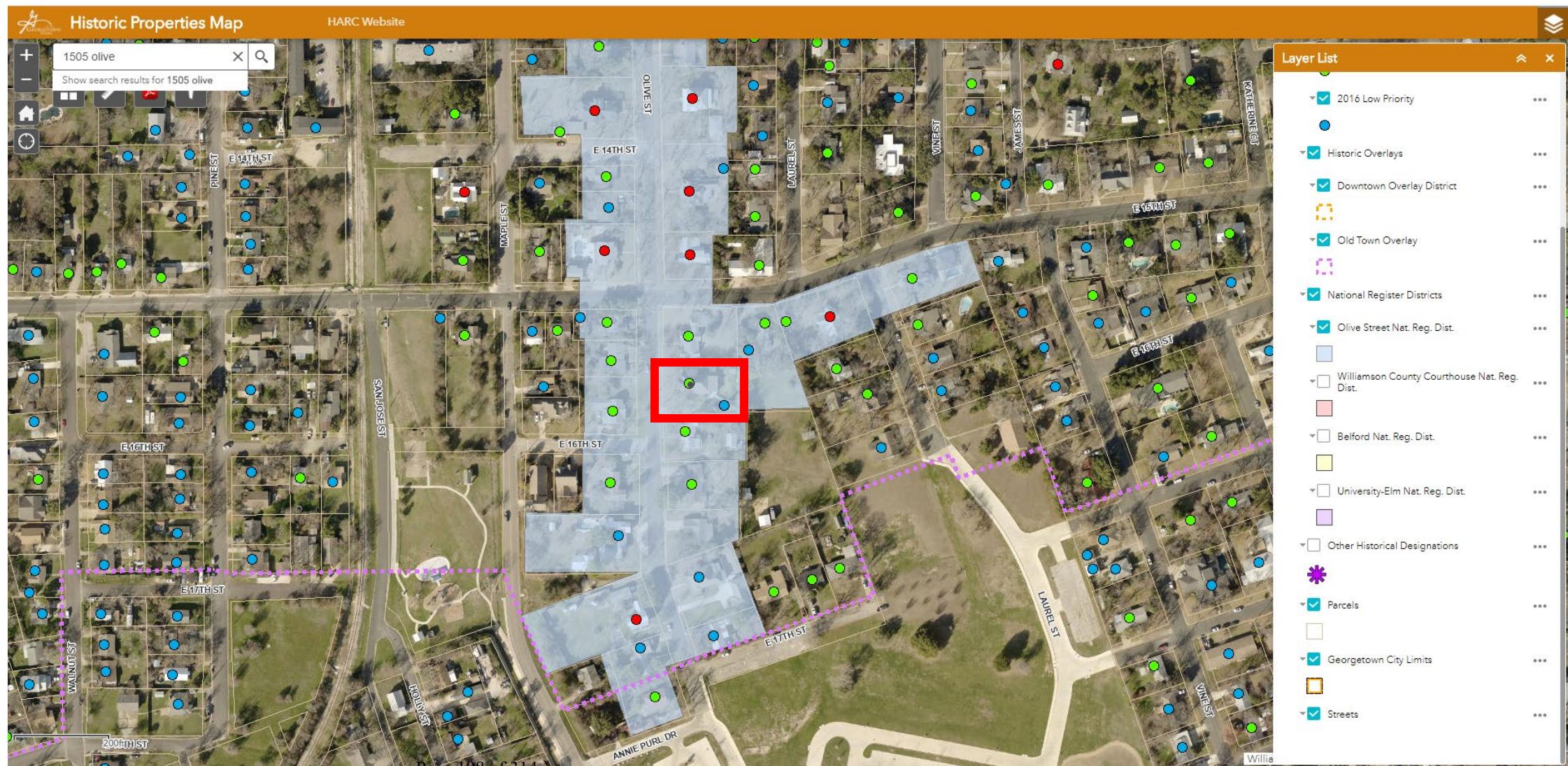
Exhibit #1

-  Site
-  Parcels



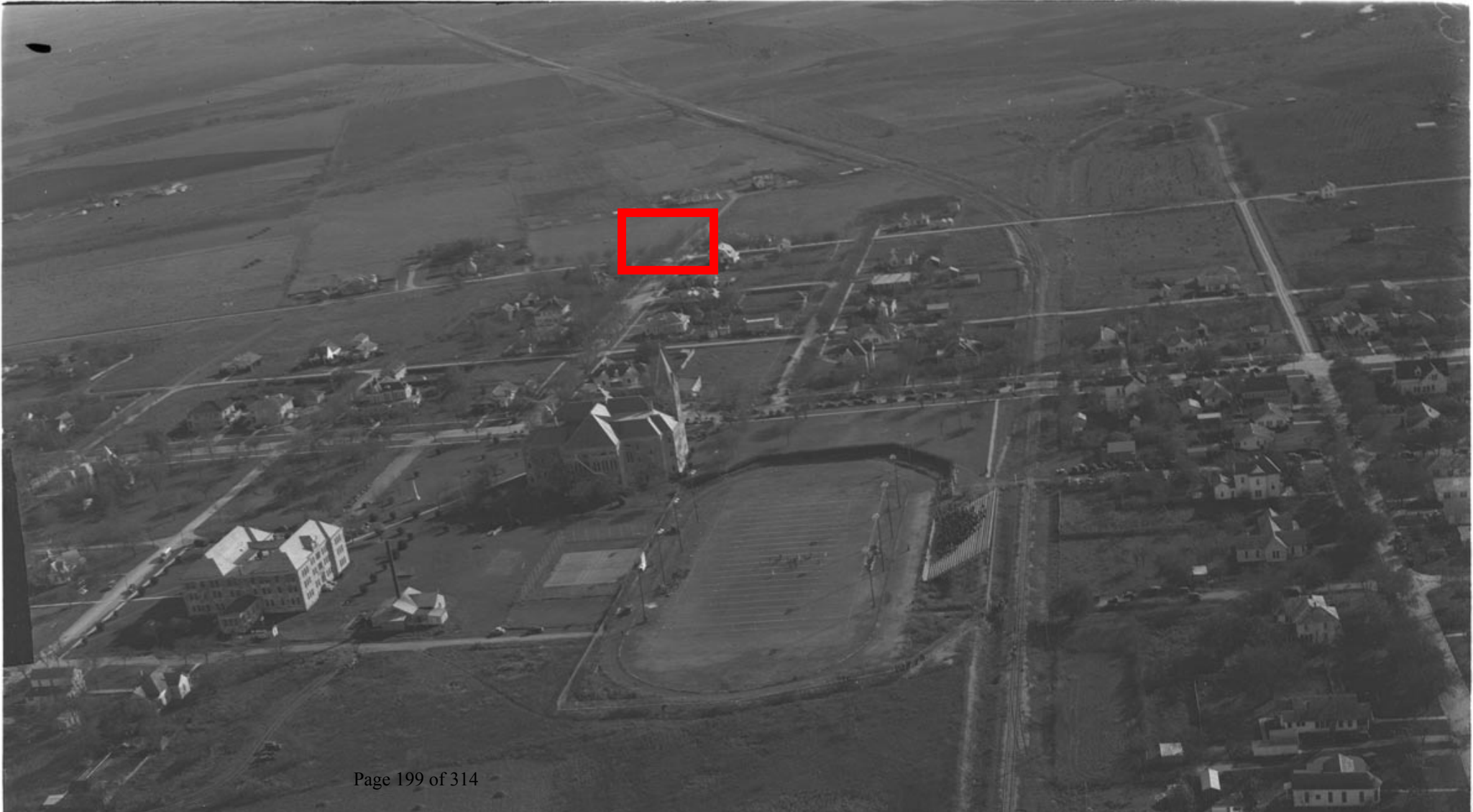


# Current Context





## c. 1934 Aerial Photo – SU Special Collections



## c. 1934 Aerial Photo – SU Special Collections





# 1964 Aerial Photo



# 1974 Aerial Photo

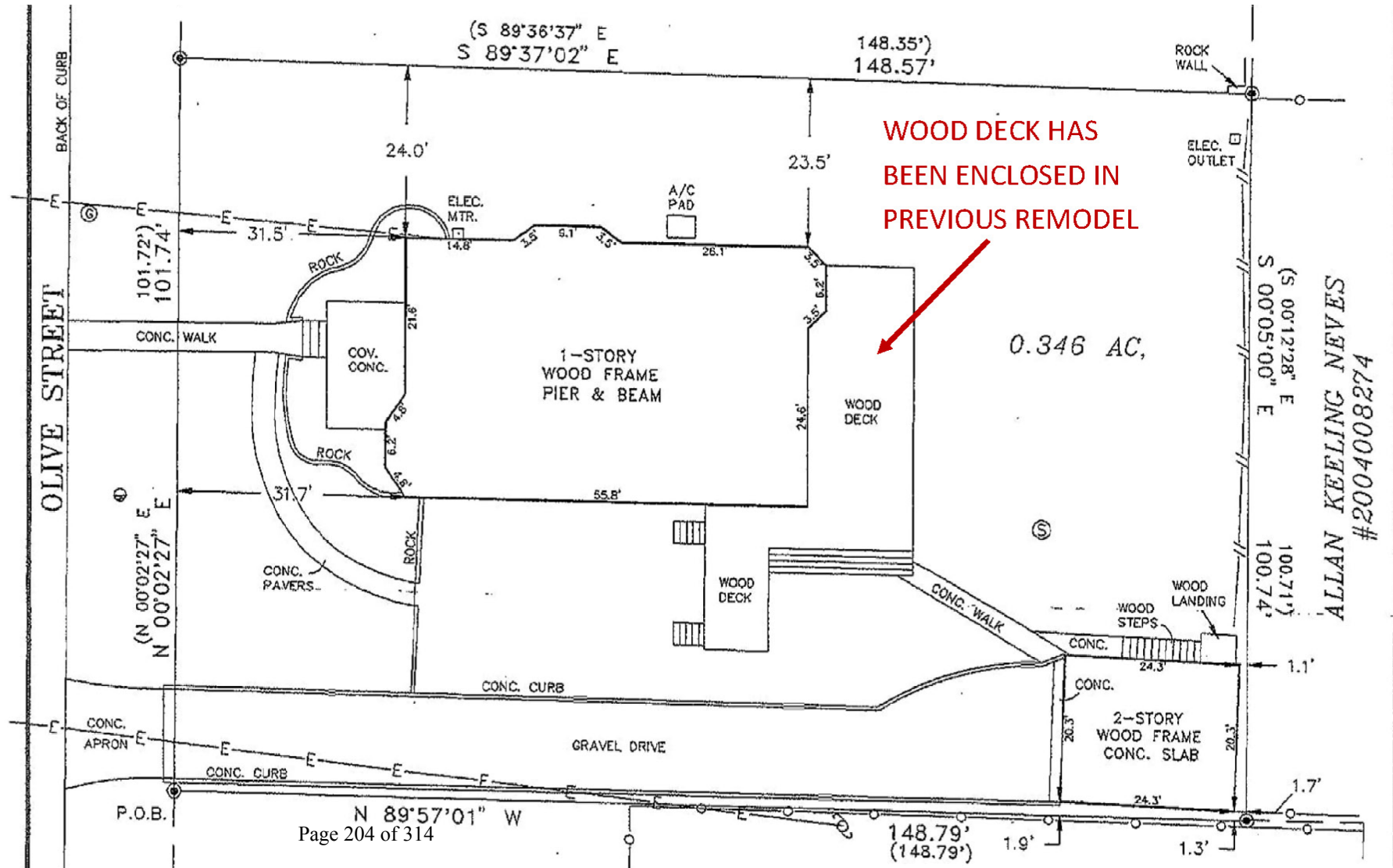




# 1984 HRS Photo

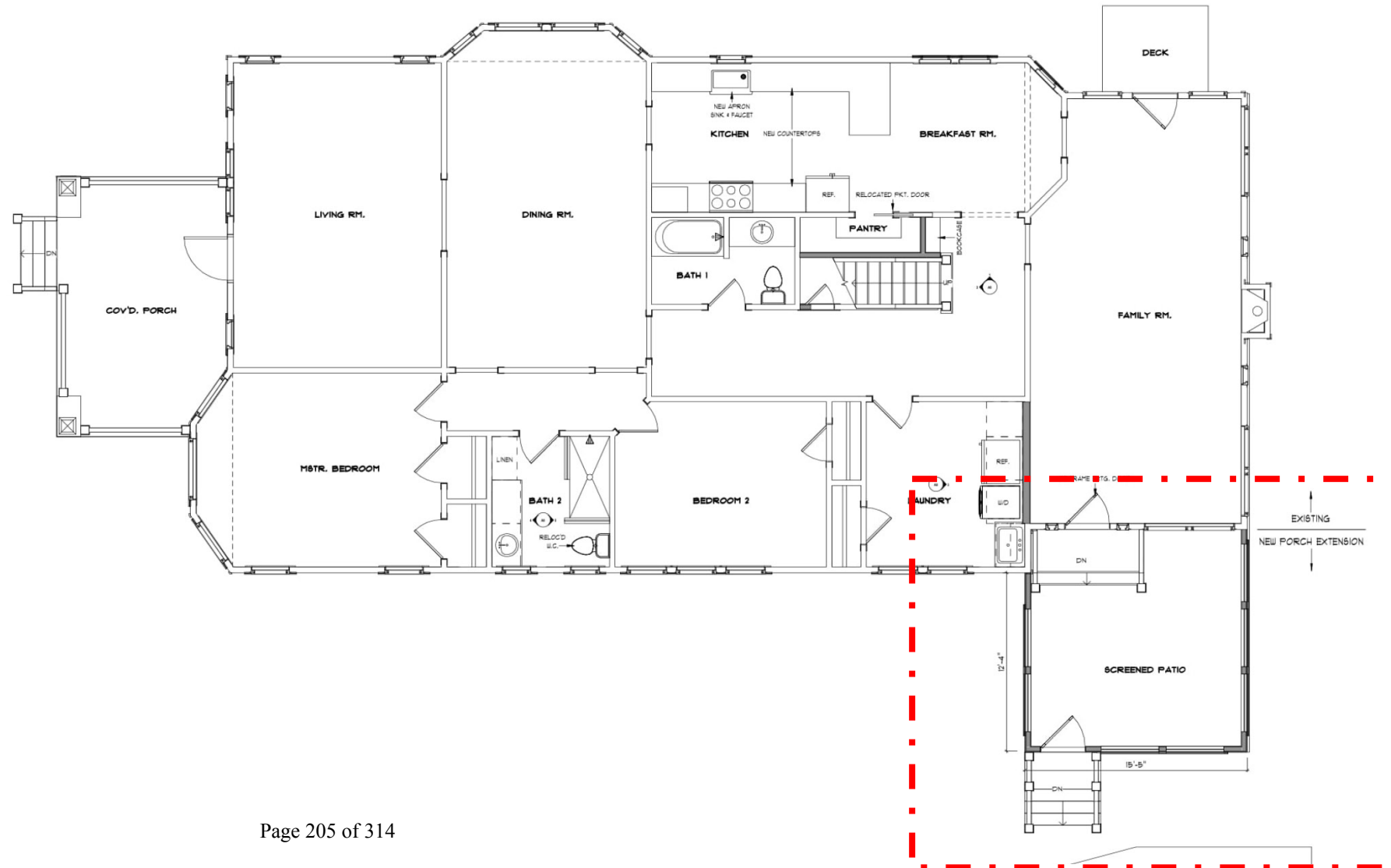


# Site Survey

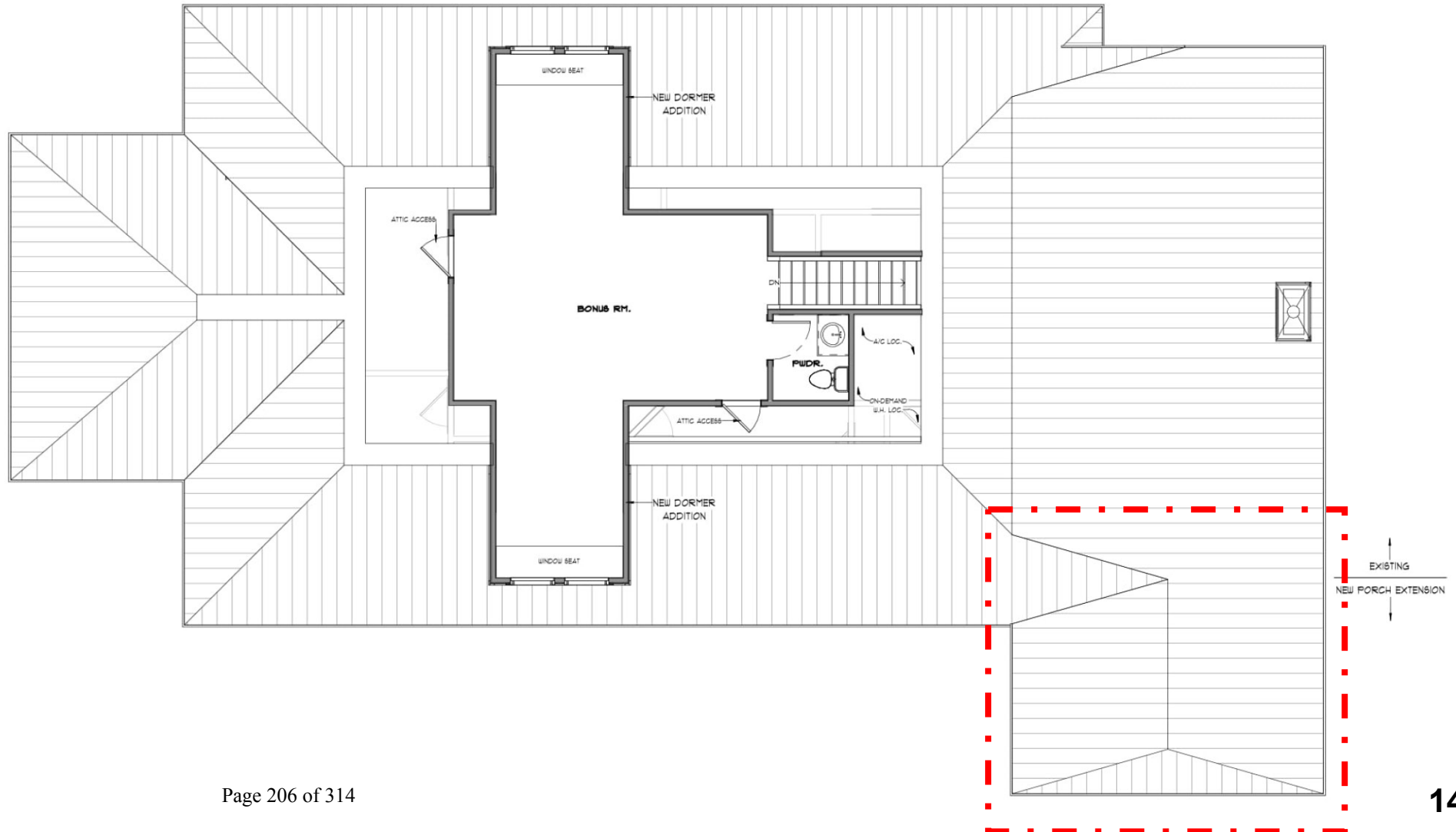




# Proposed First Floor Plan

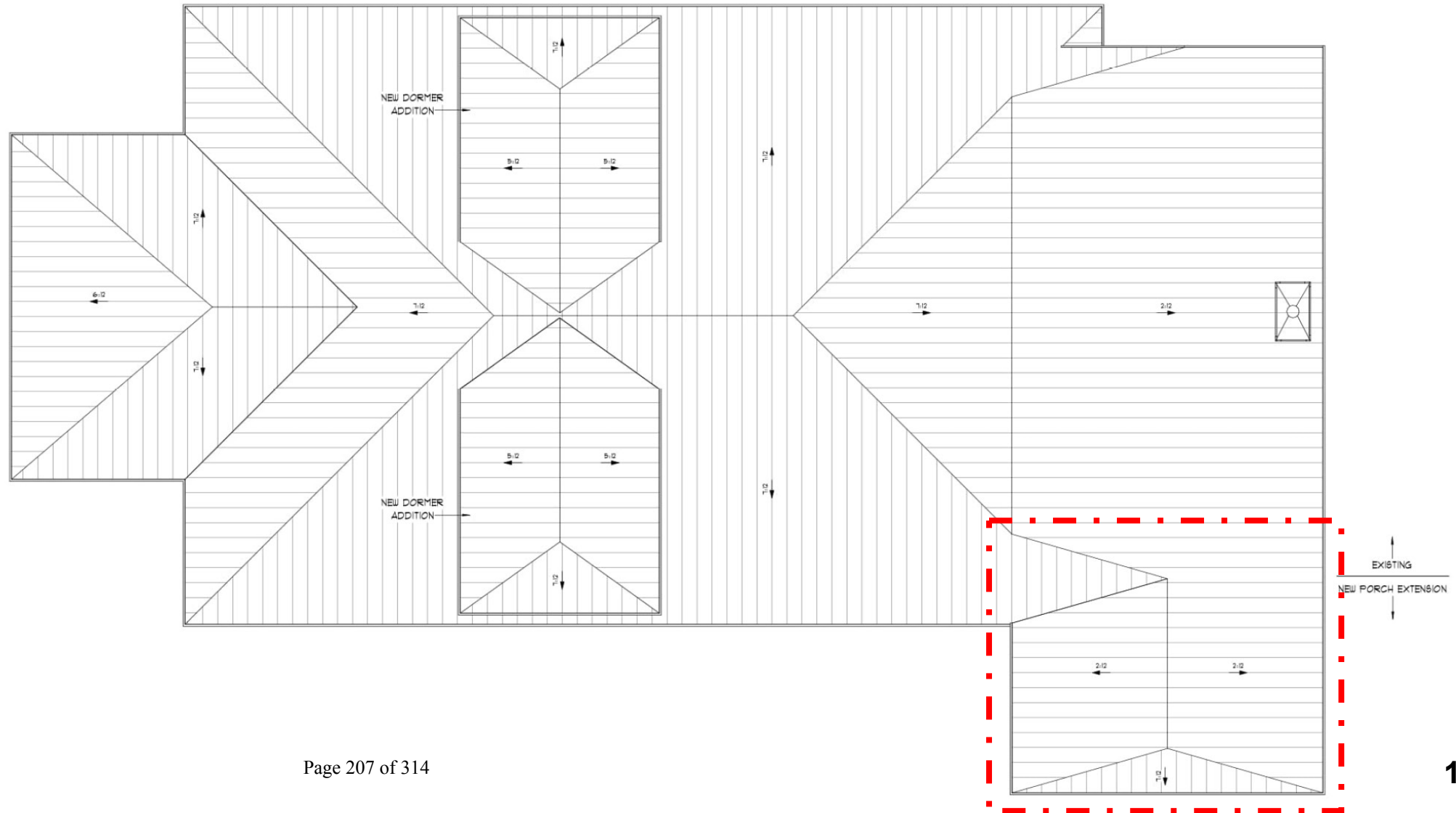


# Proposed Second Floor/Roof Plan

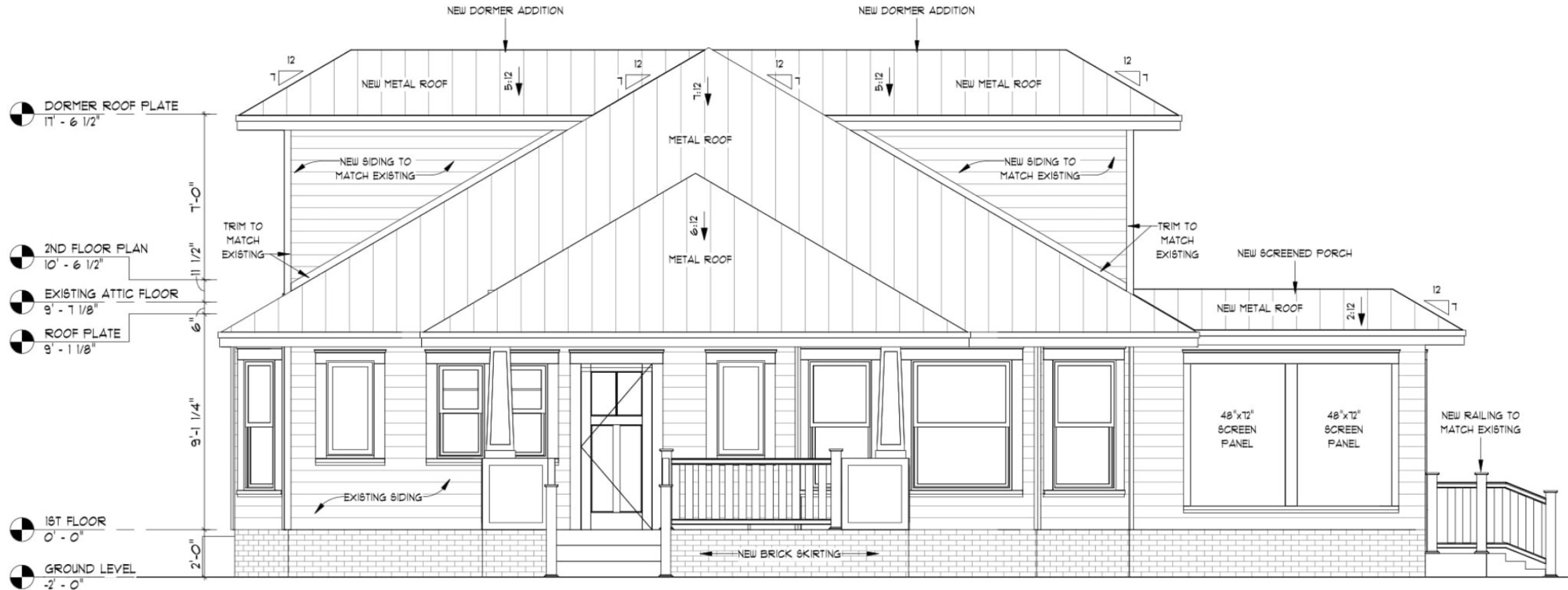




# Proposed Roof Plan

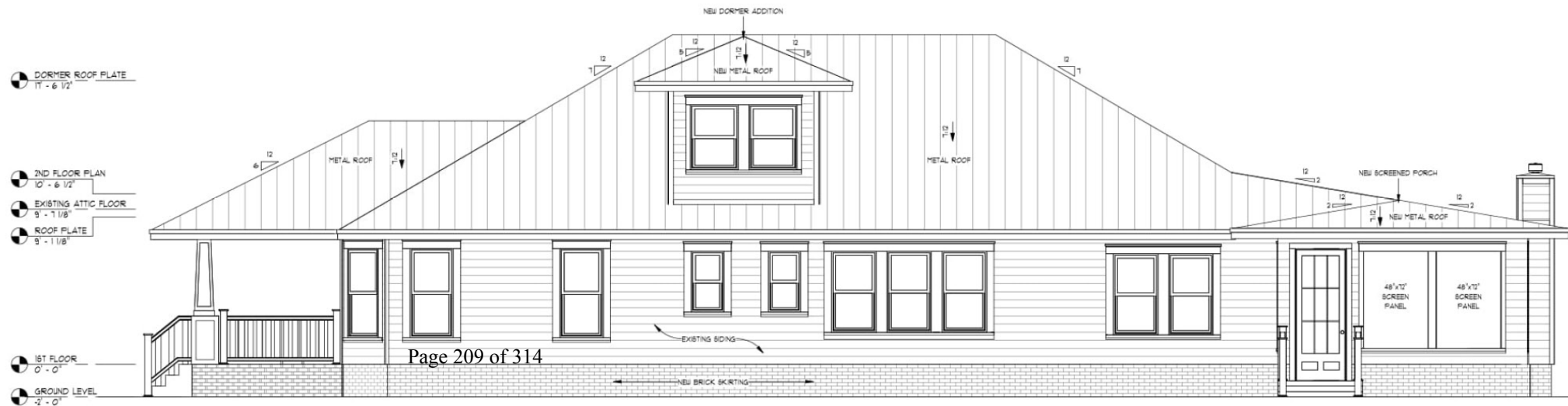
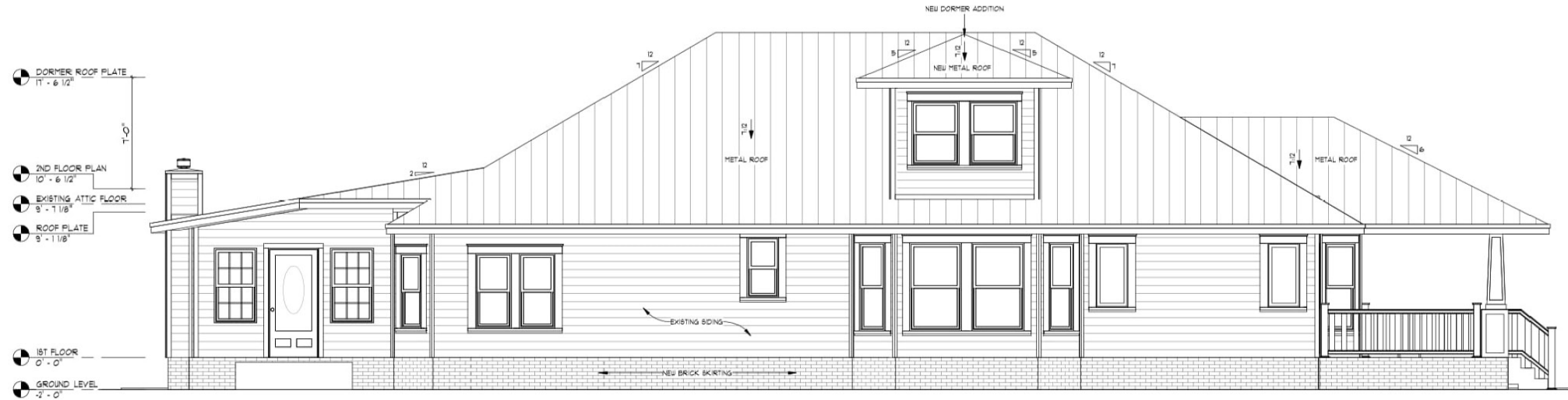


# Proposed Front Elevation





# Proposed Side Elevations

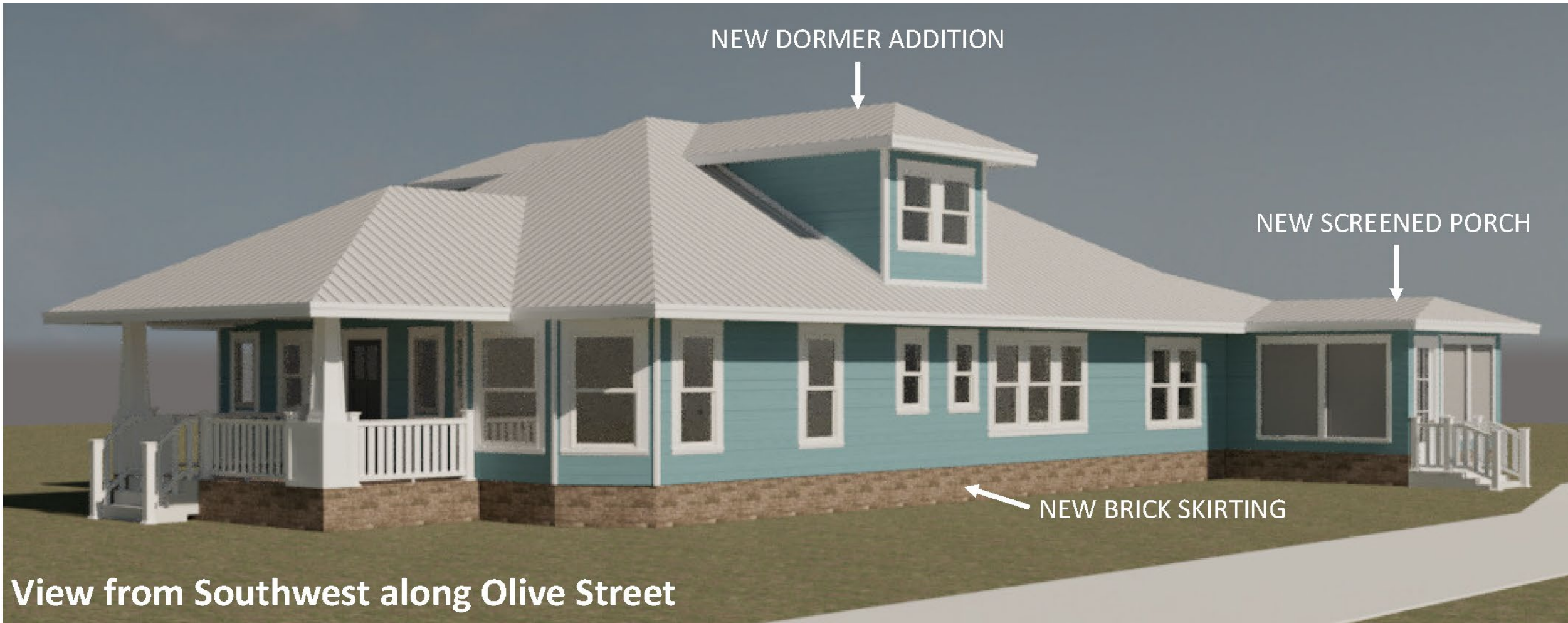


# Project Renderings





# Project Renderings



# Proposed Materials



## 100 SERIES



### SINGLE-HUNG WINDOWS

Andersen® 100 Series single-hung windows allow ventilation through a single operable lower sash that slides up and down. Classic rectangular shapes are available, or use an arched top for added elegance. Made with our revolutionary Fibrex® composite material, 100 Series products are durable, environmentally smart and energy efficient. 100 Series products are available in deep, rich colors that complement virtually any architectural style. For added style, we offer a wide range of grille patterns and patterned glass options.

### DURABLE

- Virtually maintenance-free
- Rigorously tested to deliver years' of smooth, reliable operation
- Fibrex material construction provides long-lasting performance
- Durable, low-maintenance finish won't fade, flake, blister or peel
- Fibrex material is twice as strong as vinyl

### ENERGY EFFICIENT

- Weather-resistant construction for greater comfort and energy efficiency
- Weatherstripping is designed to seal out drafts, wind and water
- Variety of Low-E glass options are available to help control heating and cooling costs in any climate
- Many 100 Series single-hung windows have options that make them ENERGY STAR® v. 6.0 certified throughout the U.S.



### BEAUTIFUL

- Clean, attractive corner seams
- Six exterior color options
- Attractive matte finish interiors available in four colors
- Add style with grilles or patterned glass

### EXTERIOR COLORS



### HardiePlank®

Thickness 5/16 in  
Length 12 ft planks

#### SELECT CEDARMILL® & SMOOTH

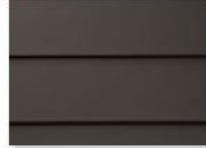
	Width	5.25 in	6.25 in	7.25 in	8.25 in	9.25 in	12 in
Exposure	4 in	5 in	6 in	7 in	8 in	10.75 in	
Prime Pcs/Pallet	360	308	252	230	190	152	
ColorPlus Pcs/Pallet	324	280	252	210	—	—	
Pcs/Sq	25.0	20.0	16.7	14.3	12.5	9.3	

#### SELECT CEDARMILL®



	Width	5.25 in	6.25 in	7.25 in	8.25 in	9.25 in	12 in
STATEMENT COLLECTION™					✓		
DREAM COLLECTION™	✓	✓	✓	✓	✓		
PRIME	✓	✓	✓	✓	✓	✓	✓

#### SMOOTH



	Width	5.25 in	6.25 in	7.25 in	8.25 in	9.25 in	12 in
STATEMENT COLLECTION™							
DREAM COLLECTION™	✓	✓	✓	✓	✓		
PRIME	✓	✓	✓	✓	✓	✓	✓

#### BEADED CEDARMILL®



#### BEADED SMOOTH



#### BEADED CEDARMILL® & BEADED SMOOTH

	Width	8.25 in
Exposure	7 in	
Prime Pcs/Pallet	240	
ColorPlus Pcs/Pallet	210	
Pcs/Sq	14.3	
STATEMENT COLLECTION™		
DREAM COLLECTION™	✓	
PRIME	✓	

#### CUSTOM COLONIAL ROUGHSAW®



#### CUSTOM COLONIAL SMOOTH®



#### CUSTOM COLONIAL ROUGHSAW® & CUSTOM COLONIAL SMOOTH®

	Width	8 in
Exposure	6.75 in	
Prime Pcs/Pallet	240	
ColorPlus Pcs/Pallet	216	
Pcs/Sq	14.9	
STATEMENT COLLECTION™		
DREAM COLLECTION™	✓	
PRIME	✓	

Brite White 824	IR= .60
White 899	IR= .54
Ivory 883	IR= .62
Light Stone 887	IR= .51
Tan 855	IR= .38
Hickory Moss 870	IR= .36
Cocoa Brown 856	IR= .35
Dark Brown 859	IR= .30
Antique Bronze 854	IR= .29
Patina Green 893	IR= .38
Evergreen 875	IR= .27



Colors shown are as close to actual colors as allowed by the printing process. Actual metal samples are available. Colors may appear different when viewed at different angles & under different lighting conditions.

Due to product improvements, changes & other factors, we reserve the right to change or delete information herein without prior notice.

IR = Initial Reflectivity

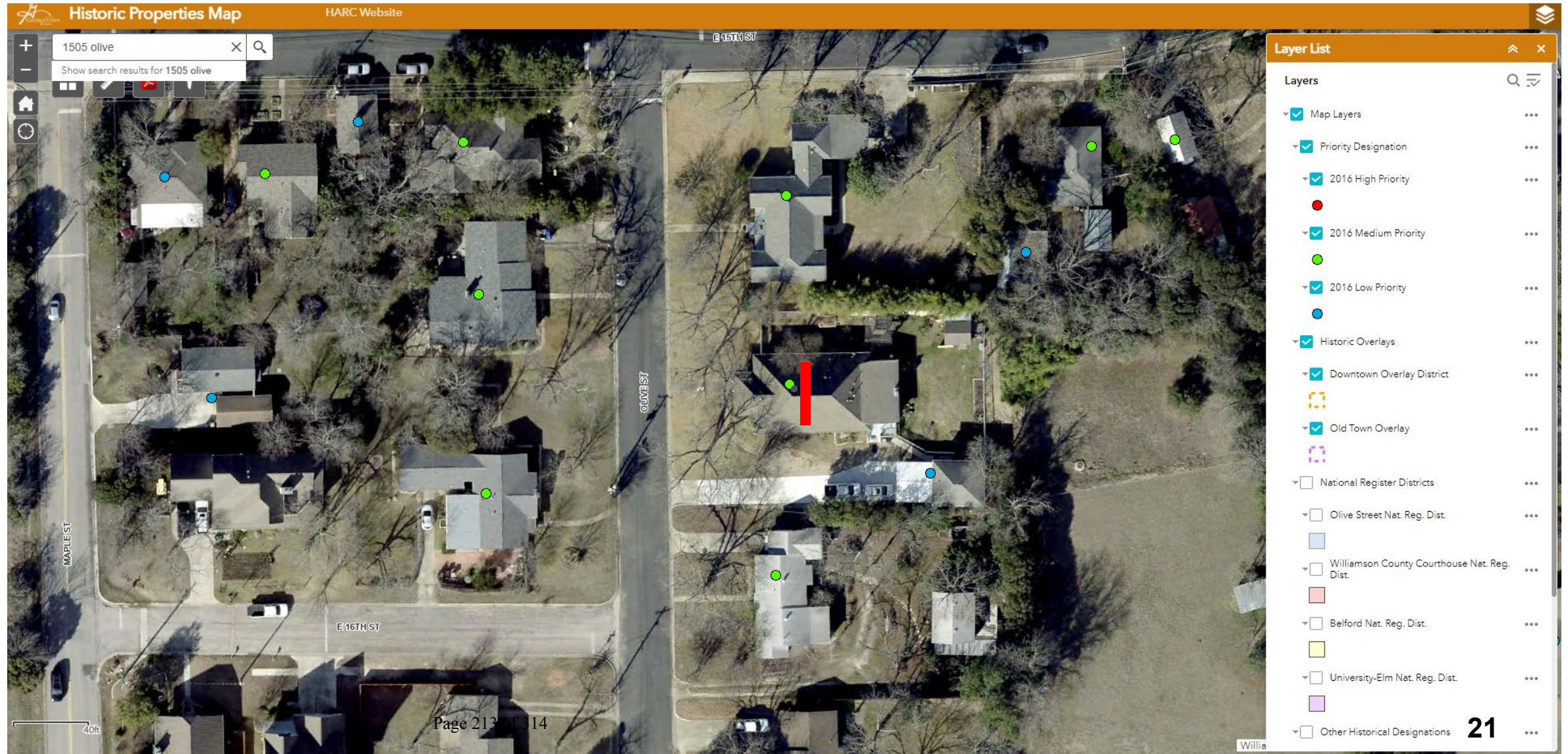
Hartford Green 821	IR= .29
Caribbean Blue 881	IR= .27
Gallery Blue 826	IR= .29
Brick Red 898	IR= .31
Brite Red 845	IR= .32
Classic Burgundy 853	IR= .26
Ash Gray 848	IR= .38
Light Gray 889	IR= .31
Charcoal Gray 851	IR= .35
True Black 882	IR= .30
Bright Copper Penny 939 **	IR= .48



\*Visit [andersenwindows.com/warranty](http://andersenwindows.com/warranty) for details.  
\*\*ENERGY STAR® is a registered trademark of the U.S. Environmental Protection Agency.



# Current Context



# Approval Criteria – UDC Section 3.13.030

Criteria	Staff's Finding
1. The application is complete and the information contained within the application is correct and sufficient enough to allow adequate review and final action;	<b>Complies</b>
2. Compliance with any design standards of this Code;	<b>Complies</b>
3. Compliance with the Secretary of the Interior's Standards for the Treatment of Historic Properties to the most extent practicable;	<b>Partially Complies</b>
4. Compliance with the adopted Downtown and Old Town Design Guidelines, as may be amended from time to time, specific to the applicable Historic Overlay District;	<b>Partially Complies</b>
5. The general historic, cultural, and architectural integrity of the building, structure or site is preserved;	<b>Complies</b>
6. New buildings or additions are designed to be compatible with surrounding properties in the applicable historic overlay district;	<b>Complies</b>
7. The overall character of the applicable historic overlay district is protected; and	<b>Complies</b>
8. The Master Sign Plan is in keeping with the adopted Downtown and Old Town Design Guidelines and character of the historic overlay district.	<b>N/A</b>



# Public Notification

- One (1) sign posted
- 0 comments in favor and 0 opposed

# Recommendation

Staff recommends ***approval*** of the proposed additions and window and skirting replacement.



# HARC Motion – 2021-25-COA

- Approve (as presented by the applicant)
- Deny (as presented by the applicant)
- Approve with conditions
- Postpone

City of Georgetown, Texas  
Historic and Architectural Review  
July 22, 2021

**SUBJECT:**

**Public Hearing** and **Possible Action** on a request for a **Certificate of Appropriateness** (COA) for an addition that creates a new, or adds to an existing street facing façade and replacing a historic architectural feature with a non-historic architectural feature at the property located at 701 E. 15th Street, bearing the legal description 0.33 acres out of the William Addison Survey, Abstract No. 21, also being known as a part of Block 96, Dimmitt Addition, an unrecorded subdivision. - Britin Bostick, Downtown & Historic Planner

**ITEM SUMMARY:**

**Overview of Applicant's Request:**

The applicant is requesting HARC approval to replace the porch beams with new beams that would increase the height clearance and install new porch columns more similar to the original porch columns. The applicant is also requesting approval to remove and replace the skirting or underpinning around the foundation with a board and batten style fiber cement skirting to match the replacement siding proposed for the sides and rear of the structure. In addition, the street-facing windows and door would have 5" trim installed around the openings, similar to the existing trim. The siding on the main, street-facing façade is proposed to be repaired and repainted and retain the existing horizontal wood siding. The detached garage is proposed to be constructed to the rear and right of the main structure as viewed from the street, with a gable roof, board and batten fiber cement siding and garage door visible to the right of the main structure as viewed from the street.

Additionally, the applicant is proposing to add living space to the rear of the main structure that would not be part of the street façade; to replace the deteriorated wood siding on the sides and rear with new board and batten fiber cement siding; to replace the non-historic front door; and to replace the non-historic 1/1 windows with vinyl windows with insulated, low-e glass, none of which requires approval of a COA as the door and window openings are proposed to remain the same size and the addition and siding replacement are not part of the street facade.

**Staff's Analysis:**

Staff has reviewed the request in accordance with the Unified Development Code (UDC) and other applicable codes. Staff has determined that the proposed request *meets 7 of the 8* criteria established in UDC Section 3.13.030 for a *Certificate of Appropriateness*, as outlined in the attached Staff Report.

**Public Comments:**

As required by the Unified Development Code (UDC), one (1) sign was posted on-site. As of the publication date of this report, staff has received 0 written comments in favor and 0 in opposition of the request.

**FINANCIAL IMPACT:**

None. The applicant has paid the required application fees.



**SUBMITTED BY:**

Britin Bostick, Downtown & Historic Planner

**ATTACHMENTS:**

	<b>Description</b>	<b>Type</b>
▣	Staff Report	Cover Memo
▣	Exhibit 1 - Location Map	Exhibit
▣	Exhibit 2 - Letter of Intent	Exhibit
▣	Exhibit 3 - Plans & Specifications	Exhibit
▣	Exhibit 4 - Historic Resource Surveys	Exhibit
▣	Staff Presentation	Presentation

# Planning Department Staff Report

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## Historic and Architectural Review Commission

Report Date: *July 16, 2021*

File Number: *2021-30-COA*

### AGENDA ITEM DESCRIPTION

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Public Hearing and Possible Action on a request for a Certificate of Appropriateness (COA) for an addition that creates a new, or adds to an existing street facing façade and replacing a historic architectural feature with a non-historic architectural feature at the property located at 701 E. 15th Street, bearing the legal description 0.33 acres out of the William Addison Survey, Abstract No. 21, also being known as a part of Block 96, Dimmitt Addition, an unrecorded subdivision.

### AGENDA ITEM DETAILS

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Project Name: *701 E. 15<sup>th</sup> Street*  
Applicant: *Jennifer Thompson (JIT Enterprises, LLC)*  
Property Owner: *Cemare Studio LLC*  
Property Address: *701 E. 15<sup>th</sup> Street*  
Legal Description: *0.328 acres out of the William Addison Survey, Abstract No. 21, also being known as a part of Block 96, Dimmitt Addition, an unrecorded subdivision*  
Historic Overlay: *Old Town Overlay District*  
Case History: *N/A*

### HISTORIC CONTEXT

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Date of construction: *1925 (HRS)*  
Historic Resources Survey Level of Priority: *Medium*  
National Register Designation: *N/A*  
Texas Historical Commission Designation: *N/A*

### APPLICANT'S REQUEST

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HARC:

- ✓ Replacing porch columns and changing porch beams
- ✓ Replacing skirting
- ✓ Adding window trim
- ✓ Detached garage addition

HPO:

- ✓ New roof materials

### STAFF ANALYSIS

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The applicant is requesting HARC approval to replace the porch beams with new beams that would increase the height clearance and install new porch columns more similar to the original porch columns.



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The applicant is also requesting approval to remove and replace the skirting or underpinning around the foundation with a board and batten style fiber cement skirting to match the replacement siding proposed for the sides and rear of the structure. In addition, the street-facing windows and door would have 5" trim installed around the openings, similar to the existing trim. The siding on the main, street-facing façade is proposed to be repaired and repainted and retain the existing horizontal wood siding. The detached garage is proposed to be constructed to the rear and right of the main structure as viewed from the street, with a gable roof, board and batten fiber cement siding and garage door visible to the right of the main structure as viewed from the street.

Additionally, the applicant is proposing to add living space to the rear of the main structure that would not be part of the street façade; to replace the deteriorated wood siding on the sides and rear with new board and batten fiber cement siding; to replace the non-historic front door; and to replace the non-historic 1/1 windows with vinyl windows with insulated, low-e glass, none of which requires approval of a COA as the door and window openings are proposed to remain the same size and the addition and siding replacement are not part of the street facade.

According to public records, C. G. and Josie Patterson sold a 120' x 238' lot to Claudie and Johnnie Mayo for \$250 in 1937. The Pattersons acquired the south part of the block from James Abner and Addie Vaughn Vernon Stone for \$6,000 in 1923. The Stone's son Samuel Vaughan Stone (1890-1977) was a Williamson County Tax Collector and County Judge and ran for US Congress against Lyndon Baines Johnson. The Mayos sold half of that lot to Lawrence Sedberry in 1954 for \$420, suggesting that the present house was moved to the lot by Sedberry in or around 1954, since the style of the house is more consistent with mid-1920s to early 1930s construction, as reflected in the 1925 construction year estimated by the Historic Resource Survey. Sedberry owned the property until 1978. The Sanborn maps do not show a house on the lot by 1940.

### APPLICABLE DESIGN GUIDELINES

The following guidelines are applicable to the proposed scope of work in accordance with the adopted Downtown and Old Town Design Guidelines:

GUIDELINES	FINDINGS
<b>CHAPTER 14 – DESIGN GUIDELINES FOR INFILL CONSTRUCTION AND ADDITIONS IN THE OLD TOWN OVERLAY DISTRICT</b>	
<b>14.10 Non-traditional siding materials are discouraged.</b> <ul style="list-style-type: none"><li>✓ Typically, artificial stone and brick veneer are not appropriate.</li><li>✓ Asphalt shingles are not appropriate.</li><li>✓ Aluminum and vinyl are not appropriate.</li></ul>	<b>Complies</b> The proposed new siding materials are a board and batten fiber cement siding. The lapped wood siding on the front façade is proposed to be repaired and painted.
<b>14.11 Avoid alterations that would damage historic features.</b>	<b>Complies</b> The proposed project does not damage historic features, but rather brings the front

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GUIDELINES	FINDINGS
<p align="center"><b>CHAPTER 14 – DESIGN GUIDELINES FOR INFILL CONSTRUCTION AND ADDITIONS IN THE OLD TOWN OVERLAY DISTRICT</b></p>	
<ul style="list-style-type: none"> <li>✓ Avoid alterations that would hinder the ability to interpret the design character of the original building or period of significance.</li> <li>✓ Alterations that seek to imply an earlier period than that of the building are inappropriate.</li> </ul>	<p>façade closer to the original appearance by replacing the non-historic porch columns and repairing deteriorated historic siding and features. As the house appears to have been relocated from its original location, the replacement of the skirting or underpinning may not be original and is deteriorated beyond feasible repair.</p>
<p><b>14.13 Design a new addition such that the original character can be clearly seen.</b></p> <ul style="list-style-type: none"> <li>✓ In this way, a viewer can understand the history of changes that have occurred to the building.</li> <li>✓ An addition should be distinguishable from the original building, even in subtle ways, such that the character of the original can be interpreted.</li> <li>✓ Creating a jog in the foundation between the original and new structures may help to define an addition.</li> <li>✓ Even applying new trim board at the connection point between the addition and the original structure can help define the addition.</li> </ul> <p>See also Preservation Briefs #14: New Exterior Additions to Historic Buildings, published by the National Park Service.</p>	<p align="center"><b>Complies</b></p> <p>The proposed garage addition is located to the rear of the primary structure and does not obscure the original character, which is partly restored by the proposed remodel.</p>
<p><b>14.14 Place an addition at the rear of a building or set it back from the front to minimize the visual impacts.</b></p> <ul style="list-style-type: none"> <li>✓ This will allow the original proportions and character to remain prominent.</li> <li>✓ Locating an addition at the front of a structure is usually inappropriate.</li> </ul>	<p align="center"><b>Complies</b></p> <p>Proposed garage addition is placed at the rear of the main structure and is partly obscured by the main structure.</p>
<p><b>14.16 An addition shall be compatible in scale, materials, character, and architectural style with the main building.</b></p> <ul style="list-style-type: none"> <li>✓ An addition shall relate to the historic building in mass, scale, and form. It should</li> </ul>	<p align="center"><b>Complies</b></p> <p>Proposed garage addition has a compatible style and materials to the main structure and the proposed trim and skirting or</p>



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GUIDELINES	FINDINGS
<b>CHAPTER 14 – DESIGN GUIDELINES FOR INFILL CONSTRUCTION AND ADDITIONS IN THE OLD TOWN OVERLAY DISTRICT</b>	
be designed to remain subordinate to the main structure. ✓ While a smaller addition is visually preferable, if a residential addition would be significantly larger than the original building, one option is to separate it from the primary building, when feasible, and then link it with a smaller connecting structure. ✓ An addition should be simple in design to prevent it from competing with the primary façade. ✓ Consider adding dormers to create second story spaces before changing the scale of the building by adding a full second floor.	underpinning additions are of compatible style and materials.
<b>14.18 The roof of a new addition shall be in character with that of the primary building.</b> ✓ Typically, gable, hip, and shed roofs are appropriate for residential additions. Flat roofs may be more appropriate for commercial buildings. ✓ Repeat existing roof slopes and materials. ✓ If the roof of the primary building is symmetrically proportioned, the roof of the addition should be similar.	<b>Complies</b> The garage addition is proposed to have a standing seam gable roof to match the main structure, which is proposed to be re-roofed, with the exception of the front porch.

### CRITERIA FOR APPROVAL

In accordance with Section 3.13.030 of the Unified Development Code, the HARC must consider the following criteria:

SECTION 3.13.030 CRITERIA	FINDINGS
1. The application is complete and the information contained within the application is correct and sufficient enough to allow adequate review and final action;	<b>Complies</b> Staff reviewed the application and deemed it complete.
2. Compliance with any design standards of this Code;	<b>Complies</b> Proposed project complies with applicable UDC requirements.

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SECTION 3.13.030 CRITERIA	FINDINGS
3. Compliance with the Secretary of the Interior's Standards for the Treatment of Historic Properties to the most extent practicable;	<p><b>Complies</b></p> <p>The proposed project complies with applicable SOI standards:</p> <p>SOI Standard #9: "New additions, exterior alterations or related new construction will not destroy historic materials, features and spatial relationships that characterize the property. The new work will be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment."</p>
4. Compliance with the adopted Downtown and Old Town Design Guidelines, as may be amended from time to time, specific to the applicable Historic Overlay District;	<p><b>Complies</b></p> <p>The proposed project complies with applicable Design Guidelines.</p>
5. The general historic, cultural, and architectural integrity of the building, structure or site is preserved;	<p><b>Complies</b></p> <p>The proposed project removes non-historic porch alterations and places new columns for the porch similar to the original columns, and the addition of a detached garage is consistent and compatible with the age of the primary structure.</p>
6. New buildings or additions are designed to be compatible with surrounding properties in the applicable historic overlay district;	<p><b>Complies</b></p> <p>The proposed detached garage addition is compatible with surrounding properties in the Old Town Overlay District.</p>
7. The overall character of the applicable historic overlay district is protected; and	<p><b>Complies</b></p> <p>The proposed remodel, including the changes to the front façade, make an improvement to the character of the Old Town Overlay District.</p>
8. The Master Sign Plan is in keeping with the adopted Downtown and Old Town Design Guidelines and character of the historic overlay district.	<p><b>Not Applicable</b></p> <p>No signs are proposed.</p>

### STAFF RECOMMENDATION

Based on the findings listed above, staff recommends *APPROVAL* of the request.



# Planning Department Staff Report

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## Historic and Architectural Review Commission

### **PUBLIC COMMENTS**

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As of the date of this report, staff has received 0 written comments in favor and 0 in opposition to the request.

### **ATTACHMENTS**

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Exhibit 1 – Location Map  
Exhibit 2 – Letter of Intent  
Exhibit 3 – Plans and Specifications  
Exhibit 4 – Historic Resource Surveys

### **SUBMITTED BY**

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*Britin Bostick, Downtown & Historic Planner*

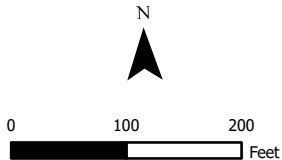


**LOCATION**

**2021-30-COA**

**Exhibit #1**

-  Site
-  Parcels





June 10, 2021

To: HARC & HPO Committee

From: JJT Enterprises, LLC.

Re: Letter of Intent for Project located @ 701 East 15<sup>th</sup> Street  
Georgetown, Texas 78626

Our customer Cemare Studio LLC has contracted with us to renovate her recently purchased property located at 701 East 15<sup>th</sup> Street in Georgetown. Cemare Studio LLC would like to improve the property by repairing and/or reviving its structure. Below is a detailed list of items that would be addressed on the exterior of the property. I have also included current photos, architectural plans, Engineer plans and photos to show exterior materials and styles that would be used. In drafting these plans, our client, Cemare Studio LLC has taken special consideration in keeping the Historic look and feel to the property and has referenced the Design Guidelines established by the City.

1. Existing front Porch- The roof would remain. The current standing height on the front porch is less than 6 ft. and the structure is badly damaged and needs to be repaired. We would replace the current columns using 8x8 posts, column caps and trim to support the roof. The new beams would provide 7'9" standing clearance.
2. We would like to add an addition to the back of the house. For the roof we would use a standing seam metal as well as replace the portion of the roof up to the front porch with a standing seam metal. The exterior sides to be a board and batten style on the new addition as well as the back portion on both sides of the home that currently need replacing. All remaining siding that is repairable on the front and front sides of the home would be sanded and prepped for repainting. We would only be replacing the siding that is non-repairable.
3. All existing corbels to remain and will be repaired as needed.
4. The underpinning around the home needs to be replaced. What is there is not salvageable and most of it is missing. We would also like to go with a board and batten style.
5. The plans call for a detached garage to be added. The exterior of the garage and roof would match the house with the same style and color scheme.
6. We would like to replace all windows in the home with low-e double hung window. We would re-install a 5" trim around all windows and exterior doors to match. All windows and door sizes to remain the same as they are existing.

Thank you for your time and consideration. Please do not hesitate to contact me with questions.

Regards,

Jennifer Thompson  
JJT Enterprises, LLC  
[JJTEnterprisesllc@outlook.com](mailto:JJTEnterprisesllc@outlook.com)  
(512)635-2779

PROPERTY DESCRIPTION:

BEING A 0.328 ACRE TRACT OF LAND SITUATED IN THE WILLIAM ADDISON SURVEY, ABSTRACT NO. 21, WILLIAMSON COUNTY, TEXAS, BEING ALL THAT CERTAIN TRACT OF LAND CONVEYED IN DEED AS TRACT THREE TO THE JEAN D. NEAL, JR. FAMILY LIMITED PARTNERSHIP, AS RECORDED IN INSTRUMENT NO. 2010039065, OFFICIAL PUBLIC RECORDS, WILLIAMSON COUNTY, TEXAS (DESCRIBED BY METES AND BOUNDS IN INSTRUMENT NO. 2000053755, SAID OFFICIAL PUBLIC RECORDS), AND BEING MORE PARTICULARLY DESCRIBED BY METES AND BOUNDS AS FOLLOWS:

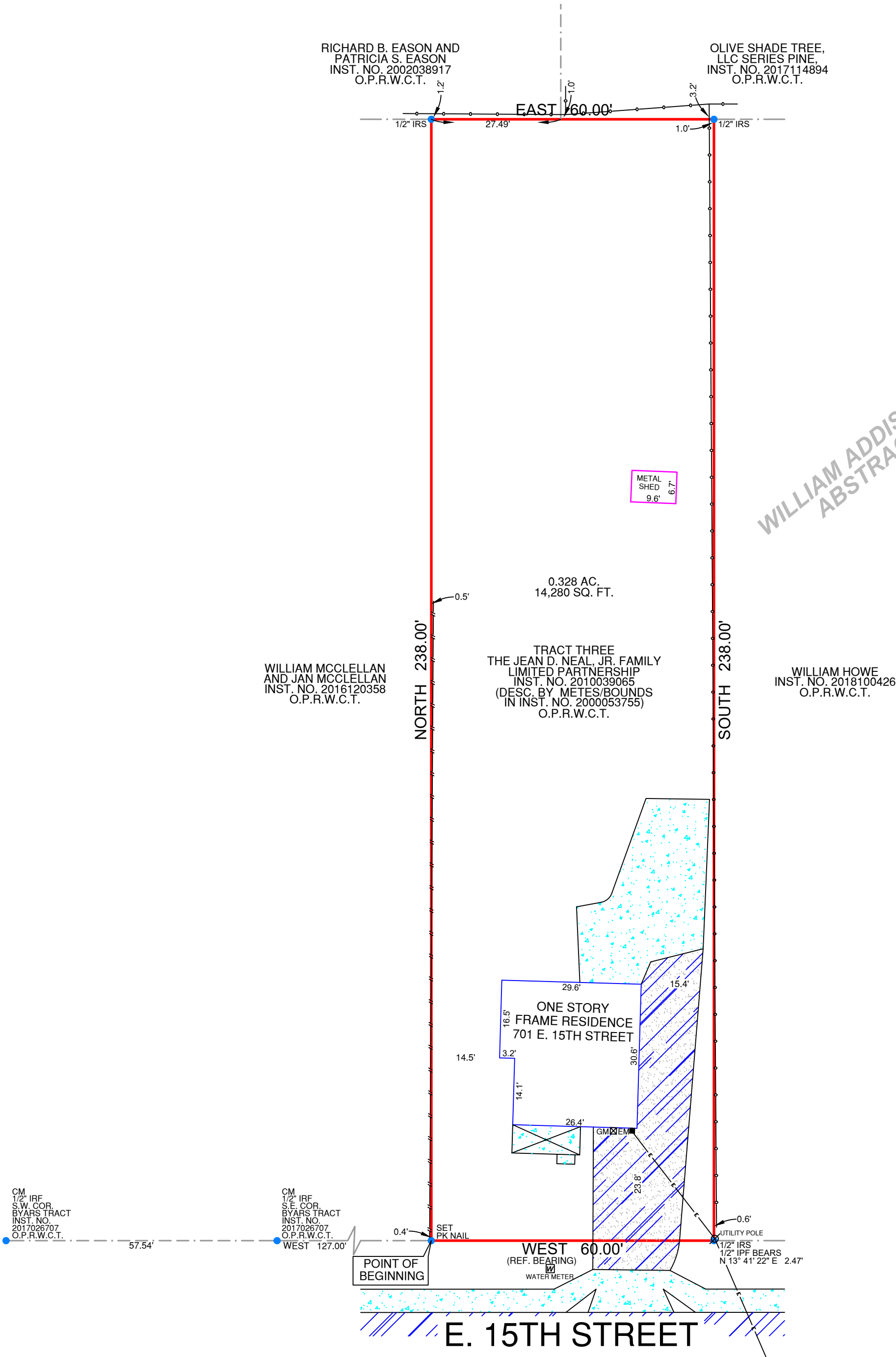
BEGINNING AT A SET PK NAIL AT THE COMMON SOUTH CORNER OF SAID TRACT THREE AND THAT CERTAIN TRACT OF LAND DESCRIBED IN DEED TO WILLIAM MCCLELLAN AND JAN MCCLELLAN, AS RECORDED IN INSTRUMENT NO. 2016120358, SAID OFFICIAL PUBLIC RECORDS, SAID NAIL BEING ON THE NORTH LINE OF E. 15TH STREET;

THENCE NORTH, A DISTANCE OF 238.00 FEET ALONG THE COMMON LINE OF SAID TRACT THREE AND SAID MCCLELLAN TRACT TO A 1/2-INCH IRON ROD SET WITH CAP STAMPED "PREMIER SURVEYING" AT THE COMMON NORTH CORNER OF SAID TRACT THREE AND SAID MCCLELLAN TRACT, SAID IRON ROD BEING ON THE SOUTH LINE OF THAT CERTAIN TRACT OF LAND DESCRIBED IN DEED TO RICHARD B. EASON AND PATRICIA S. EASON, AS RECORDED IN INSTRUMENT NO. 2002038917, SAID OFFICIAL PUBLIC RECORDS;

THENCE EAST ALONG THE COMMON LINE OF SAID TRACT THREE AND SAID EASON TRACT, PASSING THE COMMON SOUTH CORNER OF SAID EASON TRACT AND THAT CERTAIN TRACT OF LAND CONVEYED IN DEED TO OLIVE SHADE TREE, LLC SERIES PINE, AS RECORDED IN INSTRUMENT NO. 2017114894, SAID OFFICIAL PUBLIC RECORDS, AT A DISTANCE OF 27.49 FEET AND CONTINUING ALONG THE COMMON LINE OF SAID TRACT THREE AND SAID OLIVE TRACT A TOTAL DISTANCE OF 60.00 FEET TO A 1/2-INCH IRON ROD SET WITH CAP STAMPED "PREMIER SURVEYING" AT THE COMMON NORTH CORNER OF SAID TRACT THREE AND THAT CERTAIN TRACT OF LAND DESCRIBED IN DEED TO WILLIAM HOWE, AS RECORDED IN INSTRUMENT NO. 2018100426, SAID OFFICIAL PUBLIC RECORDS;

THENCE SOUTH, A DISTANCE OF 238.00 FEET ALONG THE COMMON LINE OF SAID TRACT THREE AND SAID HOWE TRACT TO A 1/2-INCH IRON ROD SET WITH CAP STAMPED "PREMIER SURVEYING" FROM WHICH A 1/2-INCH IRON PIPE FOUND BEARS NORTH 13° 41' 22" EAST - 2.47 FEET, SAID IRON ROD SET BEING THE COMMON SOUTH CORNER OF SAID TRACT THREE AND SAID HOWE TRACT, BEING ON THE AFORESAID NORTH LINE OF E. 15TH STREET;

THENCE WEST, A DISTANCE OF 60.00 FEET ALONG SAID NORTH LINE TO THE POINT OF BEGINNING AND CONTAINING 14,280 SQUARE FEET OR 0.328 OF ONE ACRE OF LAND.



FEMA NOTE

FLOOD INFORMATION:  
THE SUBJECT PROPERTY DOES NOT APPEAR TO LIE WITHIN THE LIMITS OF A 100-YEAR FLOOD HAZARD ZONE ACCORDING TO THE MAP PUBLISHED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY, AND HAS A ZONE "X" RATING AS SHOWN BY MAP NO. 48491C0293 F, DATED DECEMBER 20, 2019.

SURVEYOR'S CERTIFICATION:  
THIS IS TO CERTIFY THAT ON THIS DATE A SURVEY WAS MADE ON THE GROUND, UNDER MY SUPERVISION AND REFLECTS A TRUE AND CORRECT REPRESENTATION OF THE DIMENSIONS AND CALLS OF PROPERTY LINES AND LOCATION AND TYPE OF IMPROVEMENTS. THERE ARE NO VISIBLE AND APPARENT EASEMENTS, CONFLICTS, INTRUSIONS OR PROTRUSIONS. EXCEPT AS SHOWN, THIS SURVEY IS NOT TO BE USED FOR CONSTRUCTION PURPOSES AND IS FOR THE EXCLUSIVE USE OF THE HEREON NAMED PURCHASER, MORTGAGE COMPANY, AND TITLE COMPANY ONLY AND THIS SURVEY IS MADE PURSUANT TO THAT CERTAIN TITLE COMMITMENT UNDER THE GF NUMBER SHOWN HEREON. PROVIDED BY THE TITLE COMPANY NAMED HEREON AND THAT THIS DATE, THE EASEMENTS, RIGHTS-OF-WAY, OR OTHER LOCATABLE MATTERS OF RECORD THAT THE UNDERSIGNED HAS KNOWLEDGE OR HAS BEEN ADVISED ARE AS SHOWN OR NOTED HEREON. THIS SURVEY IS SUBJECT TO ANY AND ALL COVENANTS AND RESTRICTIONS PERTAINING TO THE RECORDED DEED REFERENCED HEREON.

GENERAL NOTES

- 1.) THE BASIS OF BEARINGS FOR THIS SURVEY WAS DERIVED FROM DATA PROVIDED IN THE RECORDED DEED.
- 2.) THERE ARE NO VISIBLE CONFLICTS OR PROTRUSIONS, EXCEPT AS SHOWN. FENCES MAY BE MEANDERING.
- 3.) THIS SURVEY IS FOR THE EXCLUSIVE USE OF THE NAMED CLIENT, MORTGAGE COMPANY, TITLE COMPANY, OR OTHER, AND IS MADE PURSUANT TO THAT ONE CERTAIN TITLE COMMITMENT UNDER THE GF NUMBER LISTED HEREON.
- 4.) AS OF THIS DATE, ALL EASEMENTS, RIGHTS-OF-WAY OR OTHER LOCATABLE MATTERS OF RECORD SHOWN OR NOTED HEREON WERE DERIVED FROM THE RECORDED PLAT, THE VESTING DEED, OR THE TITLE REPORT AND SUPPORTING DOCUMENTS. ALL SUCH ITEMS WERE OBTAINED DURING THE RESEARCH PHASE OF THIS SURVEY OR PROVIDED BY THE CLIENT/TITLE COMPANY LISTED HEREON. PREMIER SURVEYING MAKES NO REPRESENTATION AS TO THE ACCURACY OR COMPLETENESS OF SUCH ITEMS AND HAS MADE NO ATTEMPTS TO OBTAIN OR SHOW ANY ADDITIONAL RESTRICTIONS ON OR NEAR THIS PROPERTY PUT IN PLACE BY LOCAL MUNICIPALITIES OR ASSOCIATIONS.
- 5.) THIS SURVEY IS NOT TO BE USED FOR CONSTRUCTION PURPOSES.
- 6.) THIS SURVEY IS NOT INTENDED TO ADDRESS OR IDENTIFY WETLANDS, FAULT LINES, TOXIC OR HAZARDOUS WASTE AREAS, SUBSIDENCE OR ANY OTHER ENVIRONMENTAL OR GEOLOGICAL ISSUE.
- 7.) THE EXISTING UTILITIES DEPICTED HEREON ARE BASED ON FIELD LOCATION OF VISIBLE, ABOVE GROUND EVIDENCE. UTILITIES AND OTHER MINOR IMPROVEMENTS MAY EXIST THAT ARE NOT SHOWN ON THIS SURVEY. PREMIER SURVEYING IS NOT RESPONSIBLE FOR THE EXACT LOCATION OF SUBSURFACE UTILITIES, NOR FOR ANY DAMAGES BY ANY CONSTRUCTION OR EXCAVATION ON OR NEAR SAID UTILITIES.
- 8.) SYMBOLS AS SHOWN IN THE LEGEND ARE NOT TO SCALE AND MAY HAVE BEEN MOVED FROM THE ACTUAL HORIZONTAL LOCATION FOR CLARITY.

701 E. 15TH STREET  
CITY OF GEORGETOWN  
WILLIAMSON COUNTY, TEXAS

GF#: 21-566434-GT

BORROWER: ROXANNE YOUNGBLOOD

TITLE CO.: CAPITAL TITLE

PREMIER JOB #: 21-00431

TECH: MSP DATE: 02/02/21 REV.: 02/25/21

FIELD NO. 228 OF 314 FIELD DATE: 02/01/21



CONCRETE	WOOD FENCE
BRICK	CHAIN LINK FENCE
ASPHALT	WROUGHT IRON FENCE
WOOD	BARB WIRE FENCE
STONE	R.R. TIE RETAINING WALL
GRAVEL	BRICK WALL
COVERED AREA	STONE WALL
CM = CONTROLLING MONUMENT	OVERHEAD TELEPHONE LINE
	OVERHEAD ELECTRIC LINE
	IRF = IRON ROD FOUND
	IPF = IRON PIPE FOUND
	IRS = IRON ROD SET W/CAP
	STAMPED "PREMIER SURVEYING"
	WFCEP = WOOD FENCE COR POST



Premier  
Surveying LLC  
5700 W. Plano Parkway  
Suite 1200  
Plano, Texas 75093  
Office: 972-612-3601  
Fax: 855-892-0468  
Firm Registration No. 10146200





GENERAL NOTES

1. THE FOLLOWING NOTES SHALL APPLY THROUGHOUT. ANY EXCEPTIONS ARE SPECIFICALLY NOTED ON EACH DRAWING.
2. THE CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS AND CONDITIONS AT THE SITE. THE CONTRACTOR SHALL BRING TO THE OWNERS ATTENTION ANY DISCREPANCIES AND CONDITIONS ENCOUNTERED IN THE FIELD IN WRITING. FAILURE TO DO SO DOES NOT RELIEVE CONTRACTOR OF RESPONSIBILITY TO PERFORM WORK IN ACCORDANCE OF DRAWINGS.
3. UNLESS OTHERWISE PROVIDED IN THE CONTRACT DOCUMENTS, THE CONTRACTOR SHALL SECURE AND PAY FOR THE REQUIRED CONSTRUCTION PERMIT(S), FEES, LICENSES AND INSPECTIONS NECESSARY FOR THE EXECUTION OF THE WORK, INCLUDING ALL REPORTS,BUILDING DEPARTMENT SUBMISSIONS AND SIGN-OFFS.
4. COORDINATION OF ALL WORK UNDER THIS CONTRACT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO ENSURE THE QUALITY AND TIMELY COMPLETION OF THE WORK/PROJECT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL TRADES ON THE PROJECT.
5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ADEQUATELY BRACING AND PROTECTING ALL WORK DURING CONSTRUCTION AGAINST DAMAGE, BREAKAGE, COLLAPSE, DISTORTIONS AND OFF ALIGNMENTS ACCORDING TO ALL APPLICABLE CODES AND STANDARDS OF GOOD PRACTICE.
6. ALL WORK IS TO CONFORM TO ALL APPLICABLE REQUIREMENTS OF LOCAL GOVERNING CODES, TEXAS DEPARTMENT OF LABOR, INDUSTRIAL LABOR CODES, AUSTIN CONSTRUCTION CODE, FIRE DEPARTMENT REGULATIONS, UTILITY CODES, OSHA CODES.
7. DRAWINGS ARE NOT TO BE SCALED. USE DIMENSIONS ONLY. ALL DIMENSIONS AND CONDITIONS SHOWN AND ASSUMED ON THE DRAWINGS MUST BE VERIFIED AT THE SITE BY THE CONTRACTOR BEFORE ORDERING ANY MATERIAL OR DOING ANY WORK. ANY DISCREPANCIES BETWEEN THE DRAWINGS, SPECIFICATIONS AND ACTUAL FIELD CONDITIONS SHALL BE REPORTED TO THE OWNER IMMEDIATELY IN WRITING. NO CHANGE IN DRAWINGS OR SPECIFICATIONS IS PERMITTED WITHOUT THE WRITTEN CONSENT OF THE OWNER.
8. THE OWNER HAS INDICATED AND ESTIMATED CERTAIN CONDITIONS EITHER NOT SHOWN OR NOT CONSIDERED RELIABLE ON OLDER DRAWINGS FURNISHED, OR NOT MEASURABLE DUE TO ABSENCE OF DRAWINGS, OR TOO INACCESSIBLE TO VERIFY IN THE FIELD PRIOR TO PREPARING THE DRAWINGS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL CONDITIONS IN THE FIELD.
9. DETAILS NOT SHOWN OR SPECIFIED, BUT NECESSARY FOR PROPER AND ACCEPTABLE CONSTRUCTION, INSTALLATION OR OPERATION OF ANY PART OF THE WORK AS DETERMINED BY THE OWNER, SHALL BE INCLUDED IN THE WORK AS THE SAME AS IF HEREIN SPECIED OR INDICATED.
10. ALL WORK SHALL BE INSTALLED SO THAT ALL ITEMS ARE READILY ACCESSIBLE FOR INSPECTION, OPERATION, MAINTENANCE AND REPAIR. ACCESS PANELS ARE TO BE INCLUDED AS REQUIRED.
11. CONTRACTOR SHALL KEEP WORK SITE FREE FROM DEBRIS AND ACCUMULATED REFUSE, AND SHALL HAVE SOLE RESPONSIBILITY FOR PROTECTING ALL DANGEROUS AREAS FROM ENTRY BY UNAUTHORIZED PARTIES.SITE WILL BE LEFT BROOM CLEAN AT THE END OF EACH WORKING DAY. ALL DEBRIS ARE TO BE REMOVED AND LEGALLY DESPOSED OF.
12. CONTRACTOR SHALL PROVIDE BARRICADES AROUND WORK AREAS AS REQUIRED TO PREVENT UNAUTHORIZED PERSONS FROM ENTERING THEREIN.
13. ALL NEWLY INSTALLED WORK, PATCHED WORK AND ALL EFFECTED AREAS THAT ARE VISIBLE TO VIEW SHALL BE PAINTED UNLESS OTHERWISE SPECIFICALLY INDICATED. ALL PAINTING WORK SHALL BE PERFORMED TO COVER THE ENTIRE HORIZONTAL OR VERTICAL SURFACE TO THE CLOSEST CORNER IN ALL FOUR DIRECTIONS. COLOR TO BE SELECTED BY OWNER.
14. CONTRACTOR SHALL RELOCATE/MODIFY AND PATCH ANY EXISTING ITEMS INTERFERING WITH THE INSTALLATION OF NEW WORK WHETHER SHOWN OR NOT ON THESE DRAWINGS.
15. DIMENSIONS ON PLANS ARE INDICATED FROM SURFACE TO SURFACE BETWEEN WALLS, PARTITIONS AND OTHER ITEMS EXCLUSIVE OF FINISHES, UNLESS OTHERWISE SPECIFICALLY INDICATED.
16. ADDITIONAL NOTES WHICH ARE APPLICABLE TO THE PROJECT MAY BE FOUND THROUGHOUT THE CONTRACT DRAWINGS.
17. ALL WORK INDICATED IS NEW UNLESS SPECIFICALLY NOTED AS EXISTING. MATERIALS DELIVERED OR WORK PERFORMANCE OF THIS CONTRACT SHALL BE NEW AND OF THE BEST QUALITY OF KINDS SPECIFIED, ALL SUBJECT TO THE APPROVAL OF THE OWNER. THE USE OF OLD OR SECONDHAND MATERIALS IS STRICTLY FORBIDDEN. THE CONTRACTOR SHALL, IF REQUIRED, FURNISH SATISFACTORY EVIDENCE AS TO THE KIND AND QUALITY OF MATERIALS AND WORKMANSHIP.
18. MATERIALS SHALL BE USED IN ACCORDANCE WITH MANUFACTURER'S PRINTED INSTRUCTIONS. UPON REQUEST, THE MANUFACTURER'S REPRESENTATIVE SHALL GO TO THE SITE AND INSTRUCT THE CONTRACTOR IN THE USE OF THE MATERIALS OR SHALL SUPERVISE THEIR USE AND INSTALLATION.
19. ALL WORK SHALL BE DONE BY PERSONS SKILLED IN THEIR TRADE AND SHALL BE INSTALLED IN A NEAT MANNER IN ACCORDANCE WITH THE BEST TRADE PRACTICES.
20. SIZE OF MASONRY UNITS AND WOOD MEMBERS ON PLANS, BUILDING ELEVATIONS AND SECTIONS ARE SHOWN AS NOMINAL SIZE, UNLESS OTHERWISE SPECIFICALLY INDICATED.
21. PERFORM ALL CUTTING AND PATCHING REQUIRED TO COMPLETE THE WORK AND TO MAKE ITS PARTS FIT TOGETHER. CLOSE ALL RESULTANT OPENINGS. PATCH AND REPAIR ALL FLOORS, WALLS, CEILINGS, ETC. DAMAGED OR EXPOSED DUE TO THE WORK AND FINISH TO MATCH ADJOINING SIMILAR SURFACES IN KIND.
22. UNLESS OTHERWISE NOTED, THE DISTANCE FROM DOOR JAMBS TO ADJACENT PARTITIONS, BUILT-IN FURNITURE OR OTHER FURNISHING SHALL NOT BE LESS THEN 2.5".
23. THE TERM 'FINISH FLOOR' SHALL MEAN THE NORMAL FINISHED SURFACE OF THE FLOOR LEVEL UNLESS OTHERWISE INDICATED.
24. ALL ELEVATIONS GIVEN FOR EXISTING BUILDINGS ARE TO FINISHED FLOOR. THE CONTRACTOR SHALL FIELD VERIFY ALL ELEVATIONS FOR EXISTING STRUCTURES PRIOR TO THE COMMENCEMENT OF WORK.
25. ALL OF THE DRAWINGS AND CONSTRUCTION NOTES ARE COMPLIMENTARY AND WHAT IS CALLED FOR BY EITHER WILL BE BINDING AS IF CALLED FOR BY ALL. ANY WORK SHOWN OR REFERRED TO ON ANY ONE DRAWING SHALL BE PROVIDED AS THOUGH SHOWN ON ALL DRAWINGS. WHENEVER AN ITEM IS SPECIFIED AND/OR SHOWN ON THE DRAWINGS BY DETAIL OR REFERENCE IT SHALL BE CONSIDERED TYPICAL FOR OTHER ITEMS WHICH ARE INTENDED TO BE THE SAME EVEN THOUGH NOT SO DESIGNATED OR SPECIFICALLY NAMED BUT DO SERVE THE SAME FUNCTION.
26. FULL SIZE OR LARGE SCALE DETAILS OR DRAWINGS SHALL GOVERN SMALL SCALE DRAWINGS WHICH THEY ARE INTENDED TO AMPLIFY. DETAILS OR CONDITIONS INDICATED FOR A PORTION OF THE WORK BUT NOT CARRIED OUT FULLY FOR OTHER PORTIONS SHALL APPLY THROUGHOUT TO ALL SIMILAR PORTIONS EXCEPT AS OTHERWISE SPECIFICALLY NOTED. IN EVERY CASE A MORE EXPENSIVE ITEM OR METHOD SHALL BE ASSUMED OVER A LESS EXPENSIVE ONE AND DIMENSIONS SHALL BE CALCULATED RATHER THAN DETERMINED BY RULE OR SCALE.

GENERAL NOTES

27. THE PROJECT HAS BEEN DESIGNED AND DETAILED FOR THE SPECIFIC MATERIALS AND EQUIPMENT SPECIFIED. NO SUBSTITUTIONS SHALL BE MADE WITHOUT THE EXPRESS WRITTEN CONSENT OF THE OWNER. IF THE SPECIFIED MATERIAL IS NOT AVAILABLE, THE CONTRACTOR SHALL PROPOSE AN ALTERNATE MATERIAL AND SHALL PROVIDE DRAWINGS, SAMPLES, SPECIFICATIONS, MANUFACTURER'S LITERATURE, PERFORMANCE DATA, ETC. IN ORDER THAT THE OWNER CAN EVALUATE THE PROPOSED SUBSTITUTION. IF THE SUBSTITUTION AFFECTS A CORRELATED FUNCTION, ADJACENT CONSTRUCTION, OR THE WORK OF ANY OTHER CONTRACTOR OR TRADE, THE NECESSARY CHANGES AND MODIFICATIONS TO THE AFFECTED WORK SHALL BE ACCOMPLISHED BY THE CONTRACTOR AT NO ADDITIONAL EXPENSE TO THE OWNER. NO REQUESTS FOR SUBSTITUTES WILL BE ENTERTAINED BY THE OWNER WITHOUT THE ACCOMPANYING INFORMATION DESCRIBED ABOVE, OR DUE TO CONTRACTOR'S FAILURE TO ORDER MATERIALS IN A TIMELY MANNER.
28. THE STANDARD SPECIFICATIONS OF THE MANUFACTURERS APPROVED FOR USE IN THE PROJECT ARE HEREBY MADE A PART OF THESE NOTES WITH THE SAME FORCE AND EFFECT AS THOUGH HEREIN WRITTEN OUT IN FULL, EXCEPT THAT WHEREVER THE DRAWINGS REQUIRE HEAVIER MEMBERS, BETTER QUALITY MATERIALS OR ARE OTHERWISE MORE STRINGENT, THESE MORE STRINGENT REQUIREMENTS SHALL GOVERN.
29. ALL SUBMISSIONS, RF'S, AND MATERIALS SHALL BE DELIVERED AND ORDERED SUFFICIENTLY AHEAD OF TIME SO THAT WORK CAN PROCEED ON SCHEDULE.
30. ANY MATERIALS DELIVERED OR WORK PERFORMED, CONTRARY TO THE DRAWINGS AND SPECIFICATIONS AND APPROVED SHOP DRAWINGS, SHALL BE REMOVED BY THE CONTRACTOR AT THEIR OWN EXPENSE, AND THE SAME SHALL BE REPLACED WITH OTHER MATERIALS OR WORK SATISFACTORY TO THE OWNER. THE CONTRACTOR SHALL ALSO ASSUME THE COST OF REPLACING THE WORK WHICH MAY BE DISTURBED IN THE COURSE OF SUCH REMOVAL AND THE COST OF ALL SUCH RELATED WORK, INCLUDING MEP.
31. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROPERLY AND ACCURATELY LAYING OUT THE WORK AND FOR THE LINES AND MEASUREMENTS HEREIN. CONTRACTOR SHALL ESTABLISH NECESSARY REFERENCE LINES AND PERMANENT BENCH MARKS FROM WHICH BUILDING LINES AND ELEVATIONS SHALL BE TAKEN. HEIGHTS OF ALL WORK CALLED FOR "A.F.F." INCLUDING BUT NOT LIMITED TO SOFFITS, CEILINGS, DOORS, HOLLOW METAL SHALL BE TRUE AND LEVEL WITHIN A MAXIMUM TOLERANCE OF 1/8" OVERALL. THE ENTIRE PROJECT REGARDLESS OF VARIATIONS IN THE ACTUAL FLOOR LEVELS UNLESS OTHERWISE APPROVED BY THE ARCHITECT. THE FLOOR SHALL BE LEVELED AS REQUIRED SO AS NOT TO VARY MORE THAN 1/8" IN ANY 10'-0" WHERE NEW FLOORING IS PROVIDED.
32. ELECTRICAL CLOSETS, PIPE AND DUCT SHAFTS, CHASES, FURRED SPACES AND SIMILAR SPACES WHICH ARE GENERALLY UNFINISHED SHALL BE CLEANED AND LEFT FREE FROM TOOLS, RUBBISH, LOOSE PLASTER, MORTAR DRIPPINGS, EXTRANEOUS CONSTRUCTION MATERIALS, DIRT AND DUST.
33. THE CONTRACTOR SHALL KEEP THE OWNER INFORMED OF THE PROGRESS OF THEIR WORK. NO WORK SHALL BE CLOSED OR COVERED UNTIL IT HAS BEEN DULY INSPECTED AND APPROVED BY ALL PARTIES OR AGENCIES RESPONSIBLE. SHOULD UNINSPECTED WORK BE COVERED, THE CONTRACTOR SHALL, AT THEIR OWN EXPENSE, UNCOVER ALL SUCH WORK SO THAT IT CAN BE PROPERLY INSPECTED AND AFTER SUCH INSPECTION, THEY SHALL PROPERLY REPAIR AND REPLACE ALL WORK INTERFERED WITH AT NO COST OR DELAY TO THE OWNER.
34. THE CONTRACTOR SHALL CORRECT ANY VARIATIONS IN FLOOR ELEVATIONS CREATED BY THE REMOVAL OF PARTITIONS AND/OR FOR THE INSTALLATION OF NEW DOOR OPENINGS TO MATCH SURROUNDING SURFACES & ELEVATIONS.
35. THE CONTRACTOR SHALL PROVIDE AT THE CONTRACTOR'S EXPENSE, ANY CLIMACTIC CONTROLS, SUCH AS TEMPORARY HEATING, SUN PROTECTION, OR COOLING, THAT MIGHT BE REQUIRED TO PERFORM THE WORK IN ACCORDANCE WITH MANUFACTURER'S OR OTHERWISE SPECIFIED TEMPERATURE REQUIREMENTS.
36. PRIOR TO COMMENCING WORK, THE CONTRACTOR SHALL VERIFY THE LOCATION OF EXISTING UTILITIES AND OTHER SITE FEATURES TO REMAIN, AND IMMEDIATELY NOTIFY THE OWNER OF ANY VARIATIONS FROM THE LOCATIONS INDICATED OR IMPLIED ON THE CONSTRUCTION DOCUMENTS, OR THAT WOULD POSE AN OBSTACLE TO SMOOTH AND SATISFACTORY COMPLETION OF THE WORK. IT IS THE CONTRACTOR'S RESPONSIBILITY AT HIS OWN EXPENSE TO USE A LOCATING SERVICE TO VERIFY UTILITY LOCATIONS IF NECESSARY.
37. THE CONTRACTOR SHALL EXERCISE CARE DURING CONSTRUCTION TO PROTECT EXISTING SITE IMPROVEMENTS TO REMAIN, INCLUDING THOSE ON THE PUBLIC SIDEWALK ADJOINING THE BUILDING, AS WELL AS ABOVE AND BELOW GROUND UTILITIES. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO RESTORE, TO THE SATISFACTION OF THE OWNER, ANY DAMAGES AT THE CONTRACTOR'S EXPENSE.
38. THESE DRAWINGS ARE BASED ON ORIGINAL DRAWINGS, SURVEYS OF THE SITE, AND FIELD MEASUREMENTS.
39. THE CONTRACTOR SHALL COMPLY WITH ALL ASPECTS OF ANY OTHER NOISE AND WORK HOURS REGULATIONS, WHICH PLACE SPECIFIC LIMITATIONS ON THE SOUND LEVEL OF CONSTRUCTION SITES AND AT COMMERCIAL AND/OR RESIDENTIAL DISTRICTS IN GENERAL. IF REQUIRED, THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING ANY REQUESTED EVIDENCE THAT THEY ARE IN COMPLIANCE WITH THESE REQUIREMENTS IN THE FORM ACCEPTABLE TO LOCAL AUTHORITIES.
40. ALL ANGLES ARE 90 DEGREES UNLESS OTHERWISE NOTED.

INSPECTIONS

1. SPECIAL AND PROGRESS INSPECTIONS SHALL BE PERFORMED PRIOR TO SIGN-OFF AND PRIOR TO THE RELEASE OF FINAL PAYMENT TO THE CONTRACTOR, IN ACCORDANCE WITH LOCAL GOVERNING AUTHORITIES .
2. THE CONTRACTOR IS TO NOTIFY THE OWNER, ENGINEER, AND/OR INSPECTOR, A MINIMUM OF 72 HOURS PRIOR TO THE COMPLETION OR COMMENCEMENT OF WORK REQUIRING SPECIAL OR PROGRESS INSPECTIONS.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY REPAIRS, ALTERATIONS, CORRECTIONS, OR ANY OTHER ADDITIONAL WORK THAT MAY BE REQUIRED IN ORDER TO CONFORM TO THE APPROVED SPECIAL AND PROGRESS INSPECTIONS.
4. FINAL INSPECTION AS PER DIRECTIVE 14 SHALL BE PERFORMED AT THE COMPLETION OF THE CONSTRUCTION.

PROJECT INFORMATION

BUILDING ADDRESS:

701 E 15TH STREET, GEORGETOWN, TX,78626

COUNTY:

WILLIAMSON

ZONING DISTRICT:

RS - OLD TOWN OVERLAY

MAP GRID:

-

OCCUPANCY:

SINGLE FAMILY DWELLING

TYPE OF CONSRUCTION:

CLASS 1 FIREPROOF

SPRINKLER SYSTEM:

N/A

LANDMARK:

NO

STORY HEIGHT:

1

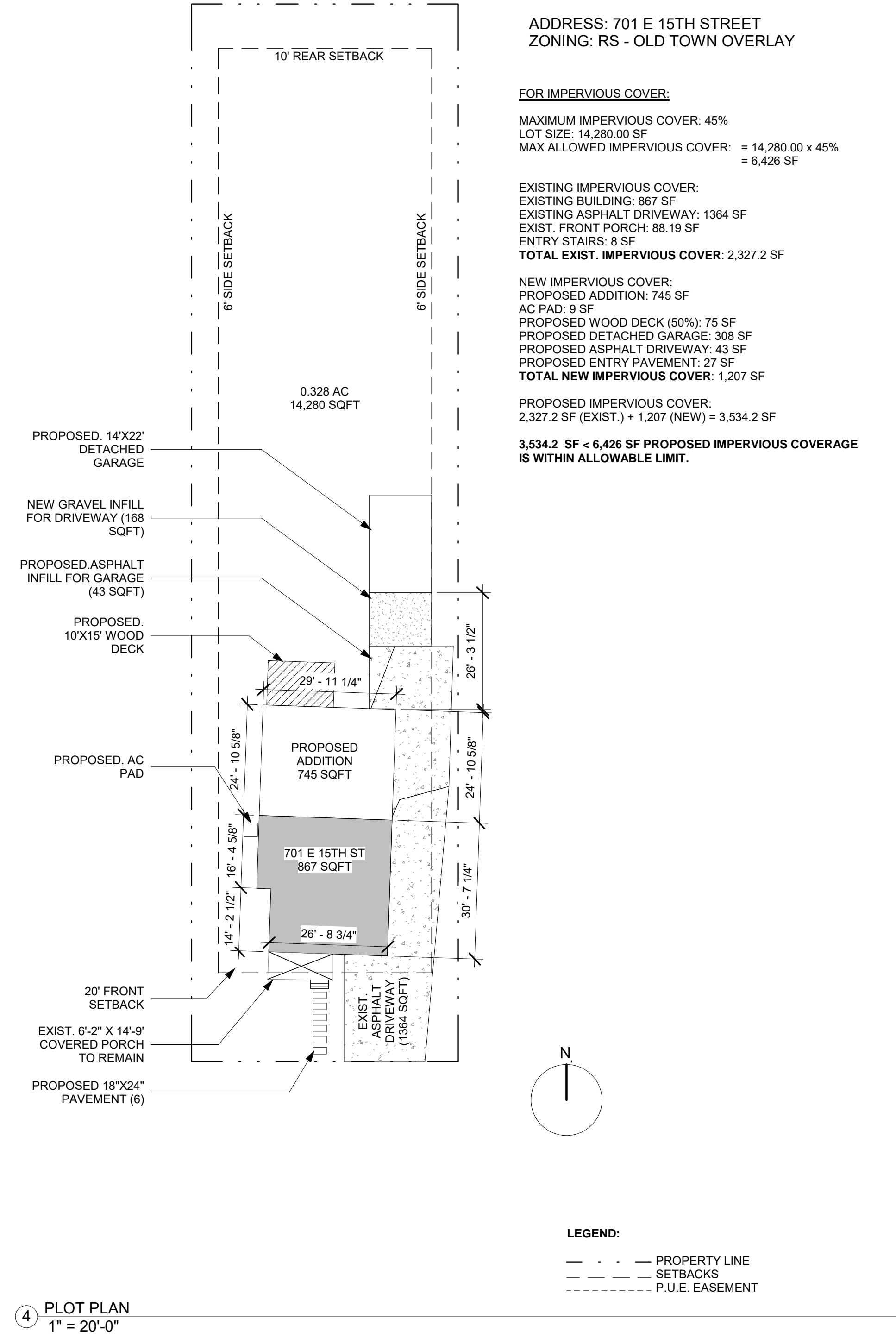
FLOOR AREA:

1610 SQFT

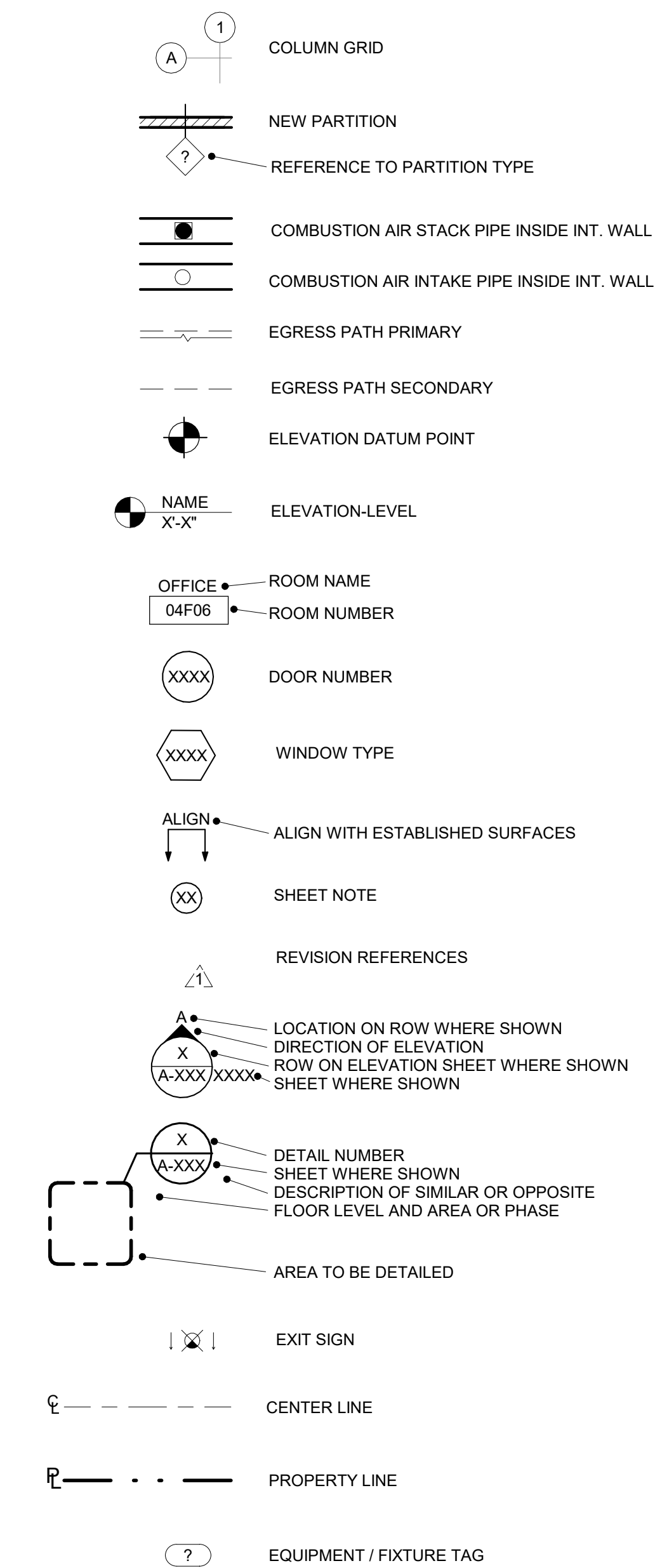
LOT AREA:

0.33 ACRES

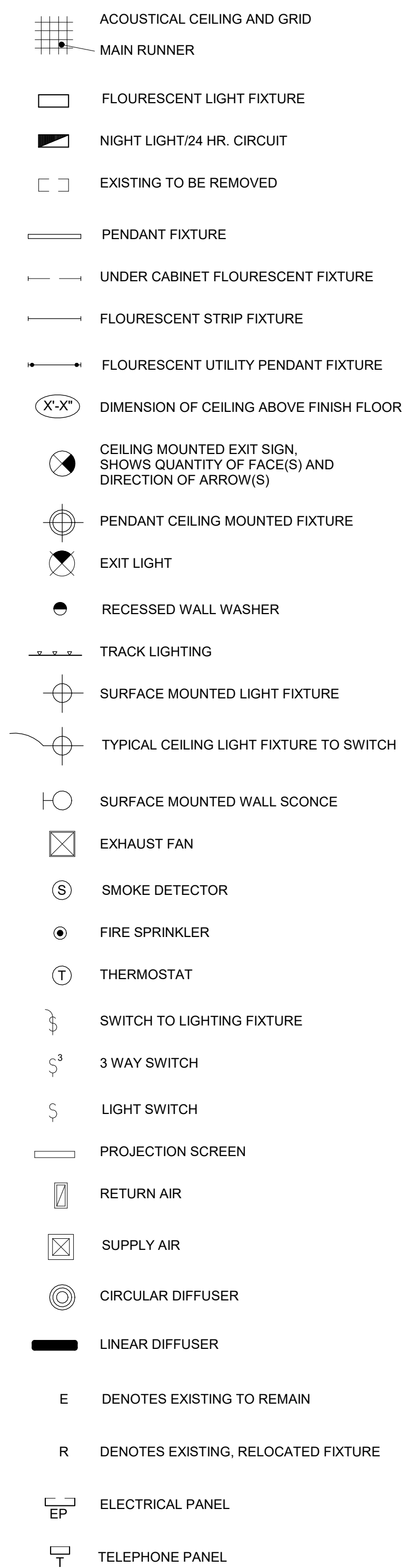
PLOT PLAN



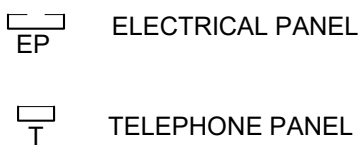
## CONSTRUCTION SYMBOLS



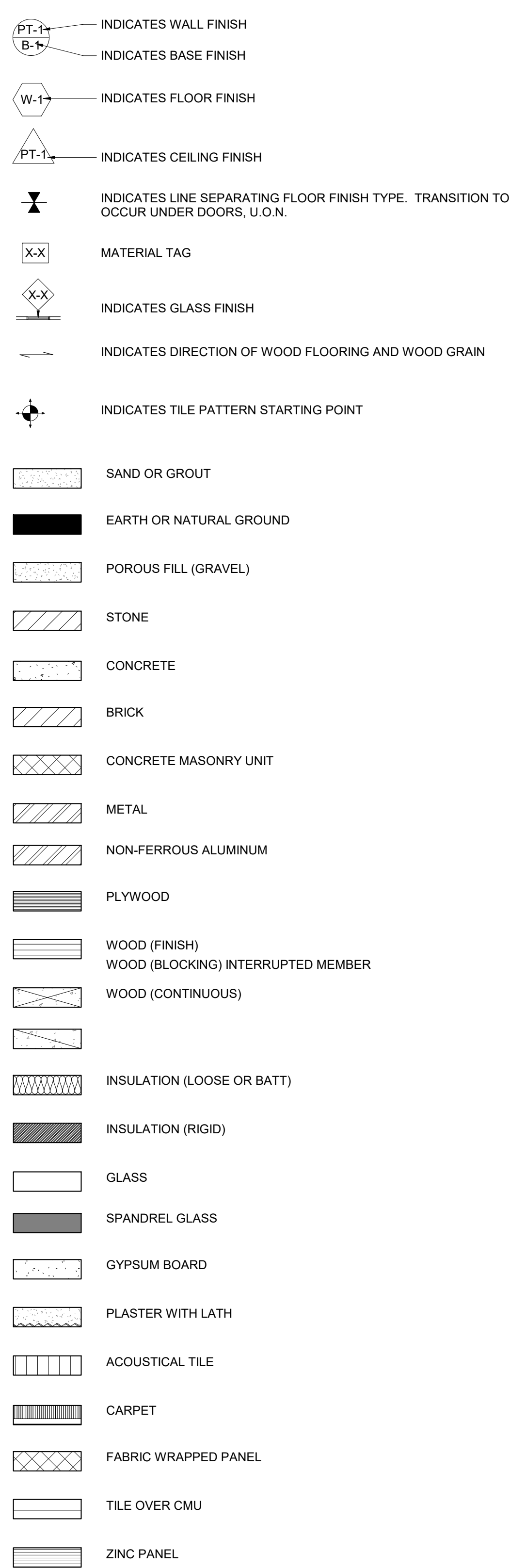
## REFLECTED CEILING PLAN SYMBOLS



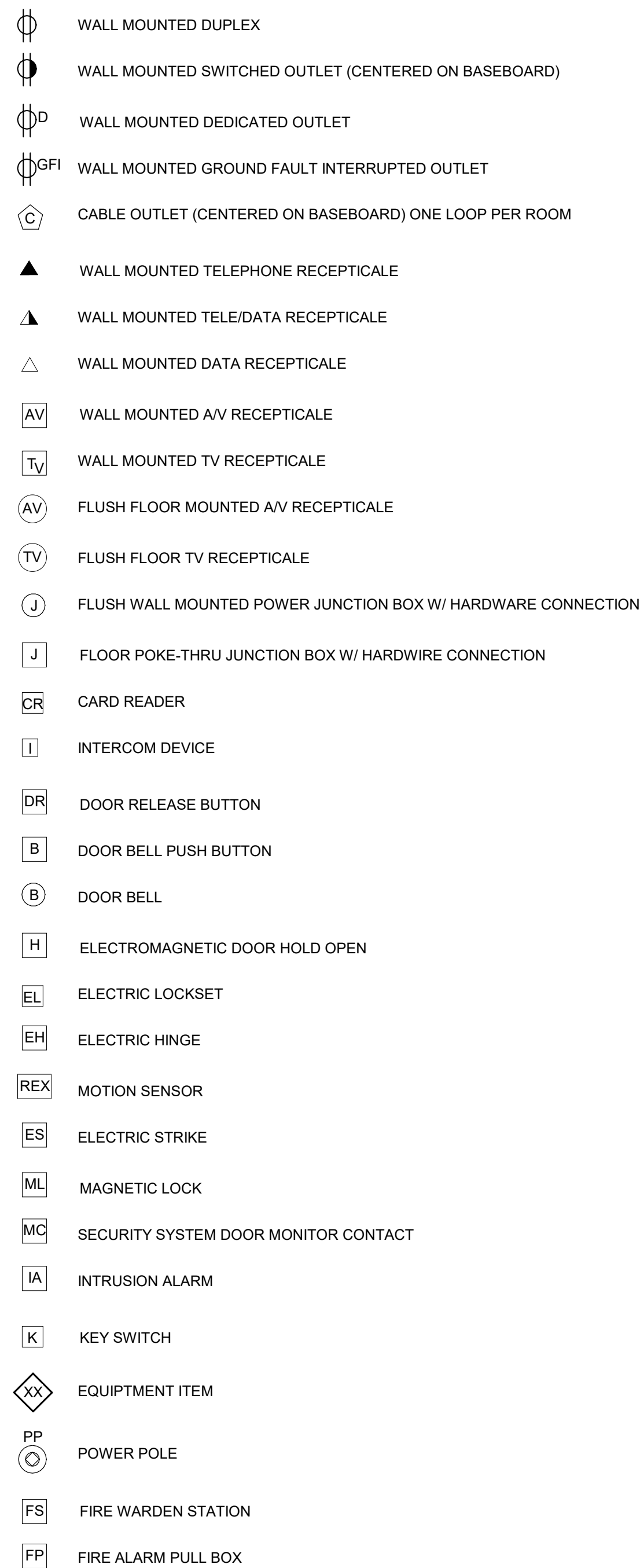
R DENOTES EXISTING, RELOCATED FIXTURE



## FINISH SYMBOLS AND PATTERNS



## POWER AND COMMUNICATION SYMBOLS



## ABBREVIATIONS

AB.	- ABOVE	T	
ACT	- ACOUSTICAL CEILING	THK.	- THICKNESS
	TILE	T.O.	- TOP OF
A.D.	- ACCESS DOOR	T.O.S.	- TOP OF SLAB
ADJ.	- ADJACENT	TR.	- TREAD
A.F.F.	- ABOVE FINISHED FLOOR	TYP.	- TYPICAL
ALUM.	- ALUMINUM		
ANOD.	- ANODIZED	U	
ARCH.	- ARCHITECT	U.O.N.	- UNLESS OTHERWISE NOTED
<b>B</b>			
BD.	- BOARD	V	
BLD'G	- BUILDING	VEST.	- VESTIBULE
BLK.	- BLOCK	V.C.T.	- VINYL COMPOSITION
B.O.	- BOTTOM OF	TILE	
BR.	- BATHROOM	V.I.F.	- VERIFY IN FIELD
<b>C</b>		<b>W</b>	
C.	- CASEMENT	W/	- WITH
CAB'T	- CABINET	W/O	- WITHOUT
C.B.	- CATCH BASIN	W.C.	- WATER CLOSET
CL	- CENTER LINE	WL.	- WALL
CL.	- CLOSET	WD	- WOOD
CL'G	- CEILING	W.P.	- WATERPROOFING
C.	- COLUMN		
CORR.	- CORRIDOR		
CONT.	- CONTINUOUS		
CONST.	- CONSTRUCTION		
C.T.	- CERAMIC TILE		
CU.FT.	- CUBIC FEET		
<b>D</b>			
DTL	- DETAIL		
DIA.	- DIAMETER		
DIM.	- DIMENSION		
DN	- DOWN		
DR.	- DOOR		
DWG	- DRAWING		
<b>E</b>			
ELEV.	- ELEVATION		
ELEC.	- ELECTRIC		
ENL.	- ENLARGED		
ENT.	- ENTRANCE		
EP	- ELECTRICAL PANEL		
EQ.	- EQUAL		
EQUIP.	- EQUIPMENT		
EXIST.	- EXISTING		
EXP. JT.	- EXPANSION JOINT		
<b>F</b>			
F.	- FIXED		
F.C.	- FURRED CEILING		
FCD.	- FACADE		
F.D.	- FLOOR DRAIN		
FIN.	- FINISH		
FL.	- FLOOR		
F.P.	- FIREPROOFING		
F.R.	- FRAME		
FURN.	- FURNITURE		
<b>G</b>			
GA.	- GAUGE		
G.C.	- GENERAL CONTRACTOR		
GL.	- GLASS		
GR.	- GRILLE		
GRND.	- GROUND		
G.V.	- GAS VALVE		
GWB	- GYPSUM WALL BOARD		
GYP.	- GYPSUM BOARD		
<b>H</b>			
H.	- HIGH		
H.C.	- HUNG CEILING		
HT.	- HEIGHT		
H.R.	- HANDRAIL		
H&V	- HEATING AND VENTILATION		
<b>I</b>			
INSUL.	- INSULATION		
INT.	- INTERIOR		
<b>L</b>			
LAV.	- LAVATORY		
LT.	- LIGHT		
<b>M</b>			
MTL.	- METAL		
MAT.	- MATERIAL		
MAX.	- MAXIMUM		
MECH.	- MECHANICAL		
M.F.	- METAL FURRING		
MIN.	- MINIMUM		
<b>N</b>			
N.T.S.	- NOT TO SCALE		
N.I.C.	- NOT IN CONTRACT		
<b>O</b>			
O.C.	- ON CENTER		
OP'G	- OPENING		
<b>P</b>			
P.	- PAINT		
PART.	- PARTITION		
P&D	- PLUMBING AND DRAINAGE		
PERF.	- PERFORATED		
PL.	- PLASTER		
P.L.	- PROPERTY LINE		
PLUMB	- PLUMBING		
<b>R</b>			
R.	- RADIUS		
R.	- RISER		
RAIL'G	- RAILING		
RAD.	- RADIATOR		
REC.	- RECESS		
REF.	- REFRIGERATOR		
REQ	- REQUIRED		
RM.	- ROOM		
<b>S</b>			
S.	- SINK		
SAD.	- SADDLE		
SECT.	- SECTION		
SHT.	- SHEET		
SIM.	- SIMILAR		
SP.	- SPACE		
SPEC.	- SPECIFICATION		
S.F.	- SQUARE FEET		
S.S.	- STAINLESS STEEL		
STD.	- STANDARD		
STL.	- STEEL		
STOR.	- STORAGE		
STRUCT.	- STRUCTURAL		
STY.	- STORY		

No.	Description	Date
1	ISSUED TO BID	5/03/2021
2	ISSUED FOR PERMITTING	6/9/2021

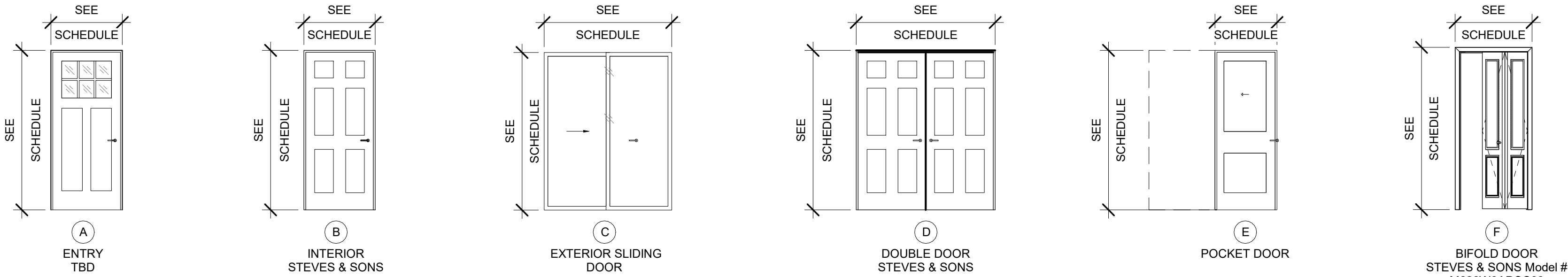
## GRAPHIC SYMBOLS

Project number	202001	A-002
Date	Issue Date	
Drawn by	Author	
Checked by	Checker	
		Scale 1/4" = 1'-0"



ROOM SCHEDULE					
NAME	AREA	FLOOR FINISH	WALL FINISH	CEILING FINISH	BASE FINISH
BEDRM 1	138 SF				
ENTRY / STUDY	178 SF				
BEDRM 2	131 SF				
KITCHEN, LIVING, & DINING	448 SF				
MASTER BATH	65 SF				
BATH 2	53 SF				
W.I.C.	52 SF				
MASTER BEDRM	257 SF				

DOOR TYPES



HARDWARE SCHEDULE

SET 1: ENTRY DOOR  
LEVER / HANDLESET: SCHLAGE Model # FE285LW V CEN 622 LAT CEN, BLACK:  
LOCK: SCHLAGE Model # B60 N CEN 622

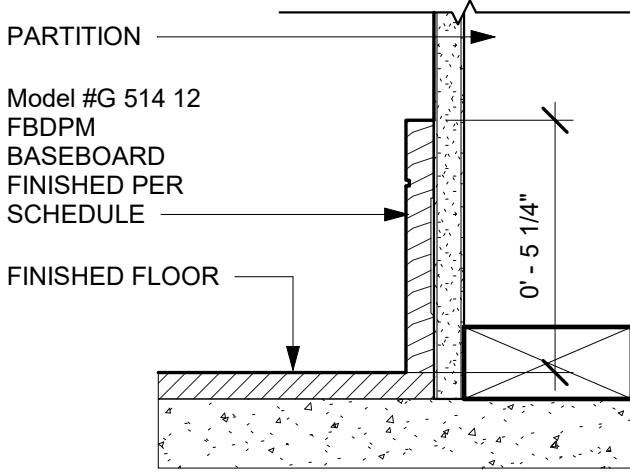
SET 2: POCKET DOOR  
DEADBOLT COMBO: DEFIANT Model # B86L1B STAINLESS STEEL

SET 3: INTERIOR PRIVACY  
HINGES: EVERBILT # 20746 (SET OF 3) MATTE BLACK  
LEVER: SCHLAGE Model # F40 V LAT 622 MATTE BLACK  
DOOR STOP: EVERBILT Model # 20776

SET 4: INTERIOR PASSAGE  
HINGES: EVERBILT # 20746 (SET OF 3) MATTE BLACK  
LEVER: SCHLAGE Model # F10 V LAT 622 MATTE BLACK  
DOOR STOP: EVERBILT Model # 20776

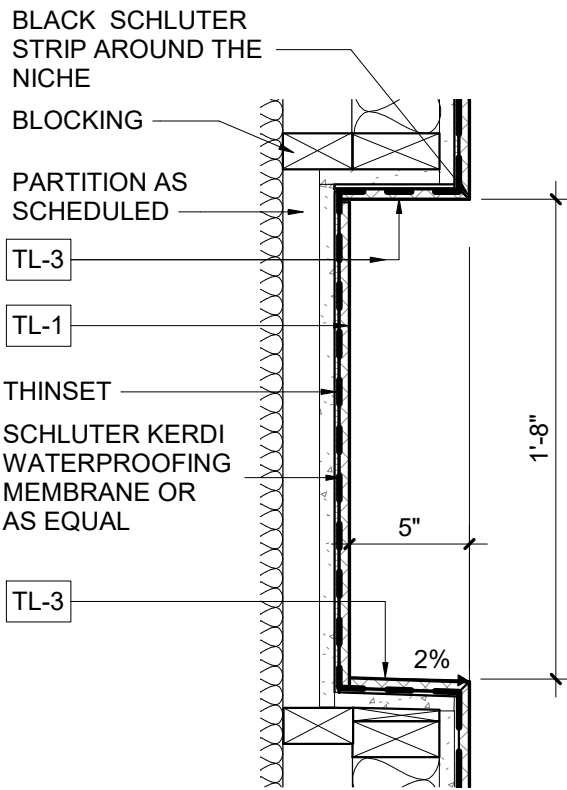
SET 5: BIFOLD DOOR  
KNOB: DEFIANT Model # TDXK30B

DOOR SCHEDULE						
MARK	TYPE	WIDTH	HEIGHT	HARDWARE SET	FINISH	COMMENTS
1	B	32"	80"	1		
2	B	32"	84"	3		
3	F	30"	84"	5		EXIST. ROUGH OPENING
4	B	32"	84"	3		
5	B	32"	84"	4		
6	B	32"	84"	3		
7	D	60"	84"	4		
8	B	32"	84"	3		
9	F	36"	84"	5		
10	F	36"	84"	5		
11	E	32"	84"	2		
12	E	32"	84"	2		
13	C	60"	84"	N/A		
46	H					



7 TYP. BASEBOARD DET.  
3" = 1'-0"

Window Schedule						
Mark	Width	Height	Sill Height	Description	Comments	
1	2' - 8"	5' - 0"	1' - 8"	DOUBLE HUNG	LOW-E; EXIST ROUGH OPENING	
2	2' - 6"	5' - 0"	1' - 8"	DOUBLE HUNG	LOW-E; EXIST ROUGH OPENING	
3	2' - 6"	5' - 0"	1' - 8"	DOUBLE HUNG	LOW-E; EXIST ROUGH OPENING	
4	2' - 4"	3' - 10"	1' - 8"	DOUBLE HUNG	LOW-E; EXIST ROUGH OPENING	
5	2' - 8"	4' - 0"	3' - 0"	DOUBLE HUNG	LOW-E; EGRESS WINDOW	
6	2' - 8"	4' - 0"	3' - 4"	DOUBLE HUNG	LOW-E	
7	2' - 8"	4' - 0"	3' - 4"	DOUBLE HUNG	LOW-E	
8	2' - 8"	5' - 0"	3' - 0"	DOUBLE HUNG	LOW-E	
9	2' - 8"	5' - 0"	3' - 0"	DOUBLE HUNG	LOW-E; EGRESS WINDOW	
10	2' - 8"	5' - 0"	3' - 0"	DOUBLE HUNG	LOW-E; EGRESS WINDOW	
11	2' - 6"	5' - 0"	1' - 8"	DOUBLE HUNG	LOW-E; EXIST ROUGH OPENING; EGRESS WINDOW	
12	2' - 6"	5' - 0"	1' - 8"	DOUBLE HUNG	LOW-E; EXIST ROUGH OPENING; EGRESS WINDOW	
13	2' - 6"	5' - 0"	1' - 8"	DOUBLE HUNG	LOW-E; EXIST ROUGH OPENING; EGRESS WINDOW	
14	2' - 6"	5' - 0"	1' - 8"	DOUBLE HUNG	LOW-E; EXIST ROUGH OPENING; EGRESS WINDOW	



2 MASTER BATH NICHE SECTION  
1 1/2" = 1'-0"

No.	Description	Date
1	ISSUED TO BID	5/03/2021
2	ISSUED FOR PERMITTING	6/9/2021

SCHEDULES & DETAILS

Project number	202001	A-003
Date	Issue Date	
Drawn by	Author	
Checked by	Checker	
		Scale As indicated



DEMOLITION PLAN GENERAL NOTES

1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL REMOVAL OF EXISTING CONSTRUCTION/ THE STORAGE/ REMOVAL OF SAID CONSTRUCTION IN A CLEAN AND ORDERLY CONDITION WITH DAILY REMOVAL OF DEBRIS. COORDINATE REMOVAL OF OTHER TRADES; REFER TO ENGINEER DRAWING FOR ADDITIONAL SCOPE.
2. THE CONTRACTOR SHALL DO ALL CUTTING, PATCHING, AND REPAIRING REQUIRED TO PERFORM THE WORK INDICATED ON THE DRAWINGS. ALL CURING AND REMOVAL SHALL BE DONE NEATLY.
3. ALL ITEMS TO BE REMOVED, AND SCHEDULE FOR REINSTALLATION. CONTRACTOR SHALL DO ALL CUTTING, PATCHING, AND REPAIRING OF DEFECTS. FOR ITEMS SCHEDULED FOR REMOVAL OR REINSTALLATION, CONTRACTOR SHALL VERIFY AND DOCUMENT, IN WRITING, CONDITION AND FUNCTIONALITY OF ITEM(S) PRIOR TO REMOVAL. ANY DAMAGE TO ITEM(S) NOT DOCUMENTED SHALL BE REPAIRED BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER.
4. ALL EXISTING SURFACES AND EQUIPMENT TO REMAIN SHALL BE FULLY PROTECTED FROM DAMAGE. THE CONTRACTOR SHALL ASSUME FULL RESPONSIBILITY FOR DAMAGE AND SHALL MAKE REPAIRS REQUIRED AT NO ADDITIONAL COST TO THE OWNER.
5. NO DEBRIS SHALL BE ALLOWED TO ACCUMULATE ON SITE. DEBRIS SHALL BE REMOVED BY THE CONTRACTOR AS THE JOB PROCEEDS. THE SITE SHALL BE LEFT BROOM CLEAN AT THE COMPLETION OF REMOVALS.
6. ERECT AND MAINTAIN DUSTPROOF BARRIERS TO PREVENT SPREAD OF DUST, FUMES, SMOKE, ETC. UPON MATCH ADJACENT. PROTECT HVAC SYSTEM FROM DUST & DEBRIS. CONTRACTOR TO PROVIDE FILTER MEDIA TO COVER THE MAIN RETURN AIR GRILLS. PROVIDE NEW AIR FILTERS AT MECHANICAL UNITS AT THE COMPLETION OF WORK.
7. COMPLY WITH APPLICABLE, LOCAL, STATE, AND FEDERAL CODES AND REGULATIONS PERTAINING TO SAFETY OF PERSONS, PROPERTY, AND ENVIRONMENTAL PROTECTION. ANNOYANCES AND DISTURBANCES TO OTHER NEIGHBORS, PERSONNEL, AND EMPLOYEES SHALL BE KEPT TO THE MINIMUM NECESSARY FOR THE PERFORMANCE.
8. CONTRACTOR TO COORDINATE SHUTDOWN OF SYSTEMS PRIOR TO IMPLEMENTATION.
9. REMOVE ABANDONED PLUMBING LINES BACK TO THE RISER.
10. REMOVE ABANDONED WIRING BACK TO ELECTRICAL PANELS. COORDINATE REUSE OF FREED CIRCUITS. PROVIDE TEMPORARY LIGHT AND POWER DURING CONSTRUCTION. CONTRACTOR SHALL PROVIDE ELECTRICAL MAKE-SAFE DURING REMOVALS AND CONSTRUCTION.
11. GC TO V.I.F. EXISTING FIRE RATINGS AT ALL EXISTING STRUCTURE. TAKE CARE NOT TO REMOVE ANY FIRE RATING WITH PLANNED DEMOLITION. PATCH AND REPAIR ALL FIRE RATINGS AS REQUIRED.
12. PARTITIONS: (A) REMOVE ALL PARTITIONS IN THEIR ENTIRETY, WHERE INDICATED, INCLUDING GYPSUM WALL BOARD, PLASTER BOARD, LUMBER, ALL DOORS, FRAMES, HARDWARE, AND GLASS. CLEARSTORY IT SHOULD BE NOTED THAT THE CONTRACTOR TO TAKE EXTRA CARE TO PROTECT EXISTING EXTERIOR WALLS, DOORS, FRAMES, AND HARDWARE. (B) REMOVE ALL ASSOCIATED STUDS, TRACKS, FINISHES, ETC. (C) REMOVE ALL CORNER GUARDS.
13. PLUMBING: (A) VERIFY EXISTING PLUMBING LINES TO REMAIN PRIOR TO ANY REMOVALS. (B) CONTRACTOR TO PROBE ALL PIPING PRIOR TO ANY REMOVAL TO ENSURE THAT NO OPERATIONS ARE INADVERTENTLY INTERRUPTED. USE PINHOLE PROBES. (C) CONTRACTOR IS RESPONSIBLE FOR ANY AND ALL WATER DAMAGE. (D) CAP ALL RELATED PIPING WALLS TO REMAIN AND BELOW FLOOR SURFACE. (E) REMOVE AND/OR RELOCATE EXISTING PLUMBING LINES AS REQUIRED FOR NEW WORK. SEE ENGINEERING DRAWINGS FOR NEW LOCATIONS.
14. DOORS AND FRAMES: DEMOLITION CONTRACTOR SHALL NOT REMOVE DOORS UNLESS OTHERWISE NOTED. COORDINATE WITH CLIENT.
15. LIGHT FIXTURES: REMOVE ALL EXISTING LIGHT FIXTURES, RECESSED AND SURFACE MOUNTED "IN AREA OF WORK" INCLUDING BULBS AND ACCESSORIES. U.O.N. EXISTING LIGHTS SHOULD BE REMOVED AND RELOCATED TO AN AREA APPROPRIATE TO THE NEW POST-DEMOLISHED SPACE.

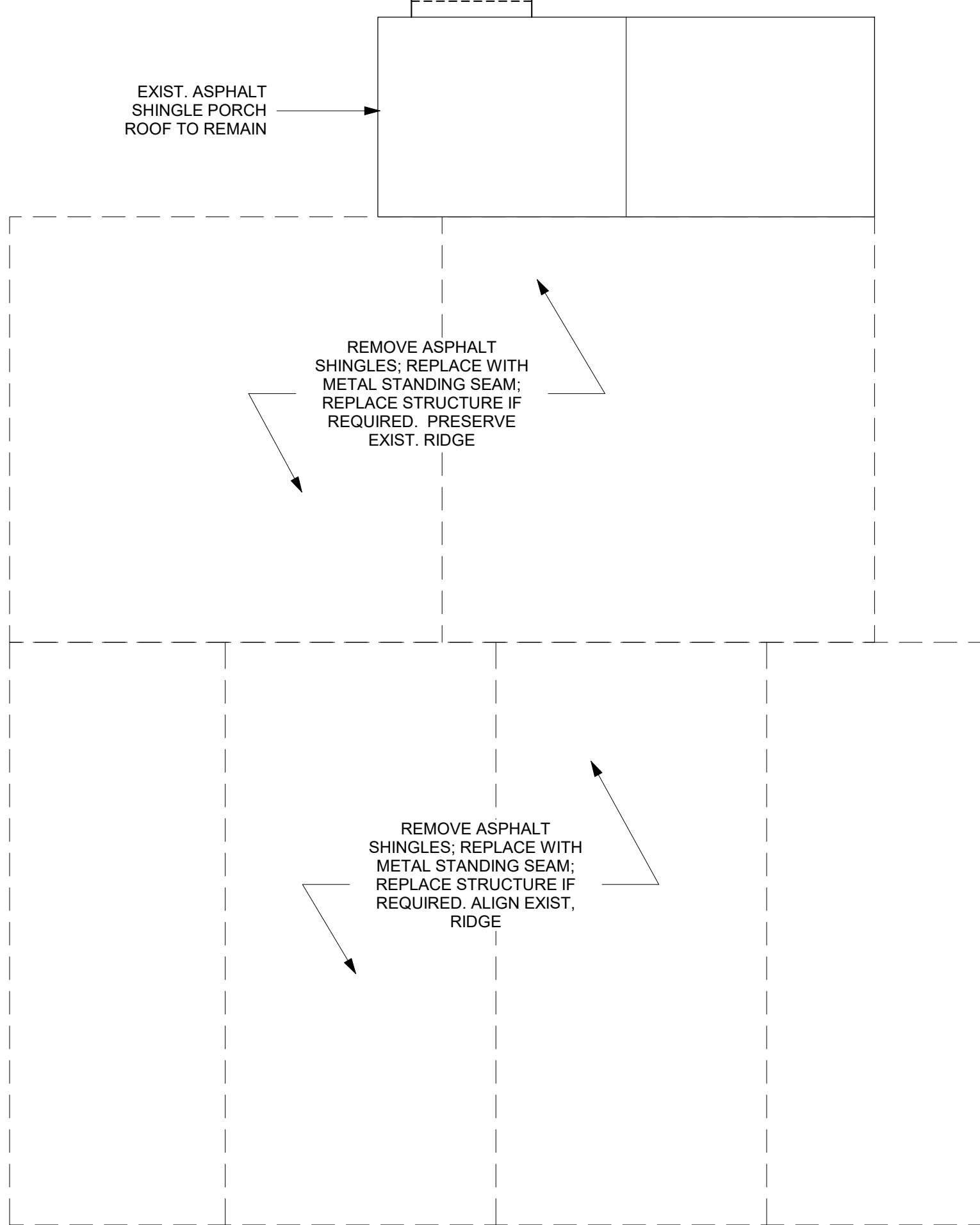
DEMOLITION PLAN KEY NOTES

- 01 REMOVE EXISTING FLOORING DOWN TO HARDWOOD FLOORING. CLEAN SURFACE OF ALL DEBRIS AND IF REQUIRED PREP EXIST. HARDWOOD FLOOR FOR STAINING.
- 02 REMOVE EXISTING FLOORING DOWN TO SUBFLOORING. CLEAN SURFACE OF ALL DEBRIS AND IF REQUIRED PREP SUBFLOOR FOR SELF-LEVELING PRIOR TO INSTALLATION OF NEW FINISH FLOORING THROUGHOUT. SEE CONSTRUCTION PLAN FOR NEW FLOORING LOCATIONS
- 03 WHERE INDICATED, REMOVE EXISTING TILES / STONE AND MUD BED DOWN TO STRUCTURE CLEAN AND PREP SUBFLOOR FOR WATERPROOFING AND SELF-LEVELING.
- 04 REMOVE ALL APPLIANCES.
- 05 REMOVE ALL STONE TOPS, VANITIES, SINKS, CABINETS, TOILETS, TUBS AND BATHROOM/KITCHEN FIXTURES.
- 06 REMOVE ALL TILES/STONE FROM WALLS TO SOUND SUBSTRATE. REMOVE ALL FINISHES AT SHOWERS INCLUDING DOORS, HARDWARE AND CURBS.
- 07 REMOVE DOORS, DOOR FRAMES AND TRIM
- 08 REPLACE EXIST. EXTERIOR DOOR
- 09 EXIST. PLUMBING RISER TO REMAIN
- 10 EXIST. WASTE &SOIL VENT TO REMAIN
- 11 EXIST. PLUMBING AND WASTE & SOIL VENT TO BE RELOCATED
- 12 EXIST. GAS LINE
- 13 EXIST. WINDOW TO BE REPLACED
- 14 REMOVE INT. GYP. FOR REROUTING PLUMBING AND ELECTRICAL.
- 15 EXIST. WINDOW UNIT TO BE REMOVED
- 16 EXIST. SIDING, CARPET, CABINETRY TO BE REPLACED. PATCH CONCRETE SLAB IF REQUIRED
- 17 REMOVE ALL LIGHTING FIXTURES
- 18 REMOVE MIRROR/ SHELVES
- 19 ALL EXPOSED ELECTRICAL BOXES AND CABLES TO BE REMOVED THROUGHOUT
- 20 EXIST. EXTERIOR ELECTRICAL BOX TO BE RELOCATED. SEE RCP.

DEMOLITION PLAN LEGEND

- EXISTING WALL TO REMAIN
- EXISTING WALL TO BE DEMOLISHED

LEVEL 1 - DEMOLITION PLAN  
1/4" = 1'-0"



ROOF DEMO PLAN  
1/4" = 1'-0"

CONSTRUCTION PLAN GENERAL NOTES

1. CONTRACTOR SHALL NOTIFY OWNER UPON COMPLETION OF PARTITION LAYOUT CHALK LINES. NO STUDS OR TRACKS SHALL BE INSTALLED W/O APPROVAL FROM OWNER. APPROVALS SHALL BE SCHEDULED AS PART OF A WEEKLY FIELD MEETINGS.
2. AS PART OF THIS CONTRACT, GENERAL CONTRACTOR SHALL OPEN AND CLOSE ALL EXISTING WITHIN OR OUTSIDE OF THE IMMEDIATE PROJECT SCOPE WHERE REQUIRED IN ORDER TO COMPLETE THE SPECIFIED WORK. THIS SHALL INCLUDE BUT NOT LIMITED TO ELECTRICAL CIRCUITING AND ROUGHING, PLUMBING LINES, SPRINKLER LINE, HVAC DUCTWORK AND CONTROLS, ETC.
3. WHERE INTERIOR COLUMNS ARE TO BE FURRED OUT TO WILL TO CONCEAL PLUMBING RISERS, ELECTRICAL CONDUITS, ETC. FRAMING SHALL BE USED BETWEEN SAID RISERS AND CONDUITS SO AS TO PROVIDE FRAMING TO ALLOW 5/8" GYPSUM BOARD TO SIT TIGHT TO RISER OR CONDUITS, THUS KEEPING THE WALL DIMENSION TO MINIMUM. TYPICAL ALL RISER COLUMNS.
4. WHER ALIGN SYMBOL IS INDICATE GC TO ALIGN WALL WITH COLUMN OR WALLS AS REQUIRED FOR CONTINUOUS WALL AS SHOWN.
5. ALL REMAINING EXISTING WALLS TO BE INSPECTED AFTER DEMO. WALLS ARE TO BE MADE FLUSH/ LEVEL AND PREPARED AS IF NEW.
6. COORDINATE ALL CONSTRUCTION WITH APPROVED PHASING PLAN.
7. THE GENERAL CONTRACTOR SHALL INSPECT THE PREMISES WITH THE FOLLOWING CONTRACTORS TO ESTABLISH THE DEGREE AND SCOPE OF FLASH PATCHING REQUIRED. FLASH PATCHING AND LEVELING REQUIRED FOR A BASIC LEVEL CONSTRUCTION SURFACES (I.E. CORRECTING GROSS DIFFERENCES IN EXCESS OF 3/4" IN SLAB LEVEL) SHALL BE THE RESPONSIBILITY OF GENERAL CONTRACTOR. WHO SHALL CARRY THE COST OF SUCH LEVELING UNDER GENERAL CONDITIONS.
8. CONFLICTS BETWEEN SITE CONDITIONS AND DRAWINGS SHALL BE BROUGHT TO THE IMMEDIATE ATTENTION OF THE OWNER.
9. ALL WORK SHALL BE ERECTED AND INSTALLED PLUMB, LEVEL, SQUARE AND TRUE AND IN PROPER ALIGNMENT U.N.O.
10. ALL DIMENSIONS ARE TO FINISH CONSTRUCTION UNLESS NOTED OTHERWISE. DIMENSIONS NOTED HOLD MUST BE ACCURATELY MAINTAINED AND SHALL NOT VARY MORE THAN ± 1/8" WITHOUT WRITTEN INSTRUCTION FROM THE OWNER. "ALIGN" MEANS TO ACCURATELY LOCATE FINISHED FACES IN THE SAME PLANE. DIMENSIONS NOTED "CLEAR" ARE MINIMUM DIMENSIONS WHICH MUST BE MAINTAINED WITHOUT EXCEPTION. DIMENSIONS MARKED ± MEAN A VARIANCE NOT GREATER THAN 1 INCH. VERIFY DIMENSIONS EXCEEDING TOLERANCE WITH THE OWNER. ALL DIMENSIONS TO THE EXTERIOR WINDOW WALL ARE TO THE FINISH FACE OF THE WALL BELOW SILL, U.N.O.
11. ALL EXISTING FLOORS, PARTITIONS, FINISHING WALLS, AND CORRIDOR WALLS TO REMAIN ARE TO BE PATCHED AND REPAIRED TO MATCH ADJACENT SURFACES.
12. PATCH ALL NEW AND EXISTING PENETRATIONS ON THE FLOOR AND CEILING SLABS, WALLS AND SHAFTS; SEAL ABANDONED PENETRATIONS AT FLOORS.
13. ALL GLASS SHALL BE CLEAR TEMPERED.
14. GC SHALL FURNISH AND INSTALL STUDS AS REQUIRED TO ACCOMMODATE THE INSTALLATION OF RECEPTACLES AT DIMENSIONS SHOWN; COORDINATE PARTITION LAYOUT AS ELECTRICAL DRAWINGS AS REQUIRED.
15. GC TO PROVIDE LINE ITEM COST BREAKDOWN TO FIRESTOP ALL EXISTING WALL AND FLOOR OPENINGS.

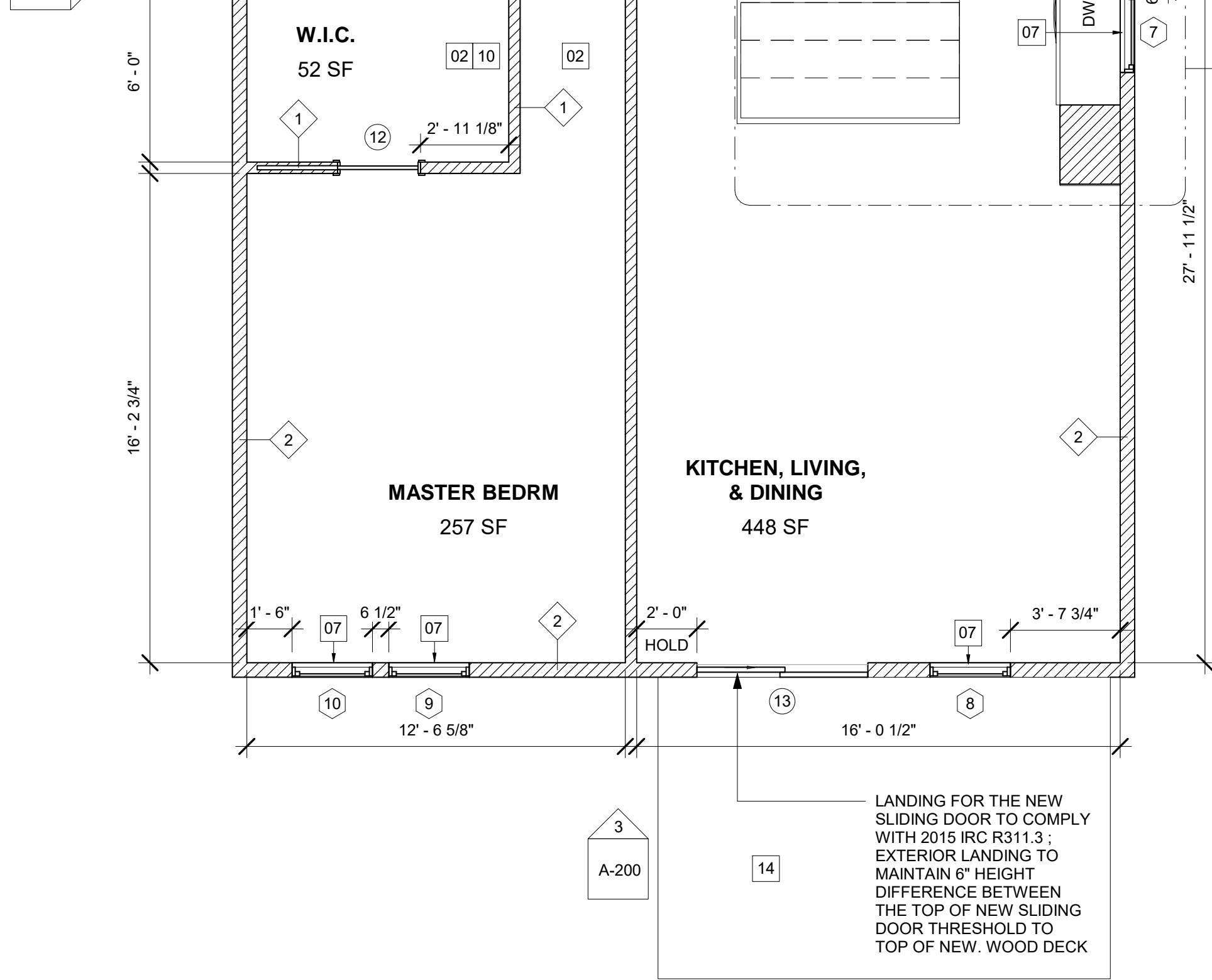
CONSTRUCTION PLAN KEY NOTES

- 01 INFILL, SQUARE OFF, AND / OR BUILD OUT WALL FOR A FLUSH FINISH WITH GYPSUM BOARD AND METAL STUD FRAMING TO MATCH EXISTING FIRE RATINGS
- 02 PROVIDE NEW FINISHED FLOORING
- 03 INSTALL KITCHEN CABINETS, APPLIANCES, & PLUMBING FIXTURES PROVIDED BY OWNER.
- 04 INSTALL NEW VANITY PROVIDED BY OWNER, PROVIDE WATERPROOFING @ FLOOR AND AROUND TUB / SHOWER. PREPARE WALLS @ TUB / SHOWER FOR TILE
- 05 NEW LOW-E DOUBLE PANE WINDOW TO MATCH EXISTING
- 06 NEW DOOR, DOOR FRAME AND TRIM TO MATCH EXISTING ROUGH OPENING
- 07 NEW DOUBLE PANE LOW-E WINDOW
- 08 NEW EXTERIOR DOOR TO MATCH EXISTING OPENING
- 09 NEW GARAGE DOOR
- 10 INSTALL NEW WOOD SHELVES AND RODS
- 12 RELOCATE / EXTEND PLUMBING
- 13 NEW SHOWER NICHE
- 14 NEW WOOD DECK
- 15 SAND AND STAIN EXISTING HARDWOOD FLOORING
- 16 NEW WASHER DRYER BOX AND ATTIC EXHAUST
- 17 EXTEND EXIST. GAS LINE FOR NEW RANGE LOCATION
- 18 RELOCATE WATER HEATER
- 19 REPLACE SIDING AS REQUIRED. SAND AND PREPARE FOR PAINT. REMOVE NAILS FROM SOFFIT THROUGHOUT. PATCH AND REPLACE AS REQUIRED. PAINT SIDING & TRIM THROUGHOUT. SEE FINISH SCHEDULE

CONSTRUCTION PLAN LEGEND

- EXISTING WALL TO REMAIN
- NEW WALL

CONSTRUCTION PLAN  
1/4" = 1'-0"



CONSTRUCTION PLAN  
1/4" = 1'-0"

TYPICAL PARTITION  
(2X4 PARTITION)

TYPICAL PARTITION  
(2X6 PARTITION)

CEMARE STUDIO LLC

701 E 15TH ST, GEORGETOWN, TX, 78626

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No.	Description	Date
1	ISSUED TO BID	5/03/2021
2	ISSUED FOR PERMITTING	6/9/2021



DEMO & CONSTRUCTION PLANS

Project number 202001  
Date Issue Date  
Drawn by Author  
Checked by Checker

A-101

Scale As indicated

6/9/2021 2:12:05 PM



REFLECTED CEILING PLAN GENERAL NOTES

1. ALL RECEPTACLE COVERS ON EXISTING WALLS TO BE REPLACED.
2. ALL SMOKE / CARBON MONOXIDE DETECTORS TO BE HARDWIRED AND INSTALLED AS PER THE BUILDING CODE.
3. ALL SWITCH AND OUTLET LOCATIONS TO BE VERIFIED ON SITE.
4. WHEN NECESSARY UPDATE ALL OUTLETS TO GFI OUTLETS AT WET LOCATIONS

REFLECTED CEILING PLAN KEY NOTES

- 01

NEW LIGHT FIXTURE PROVIDED BY THE OWNER TO BE WIRED FOR A FAN
- 02

NEW FAN/LIGHT FIXTURE PROVIDED BY THE OWNER
- 03

FAUX RUSTIC BEAM WRAP
- 04

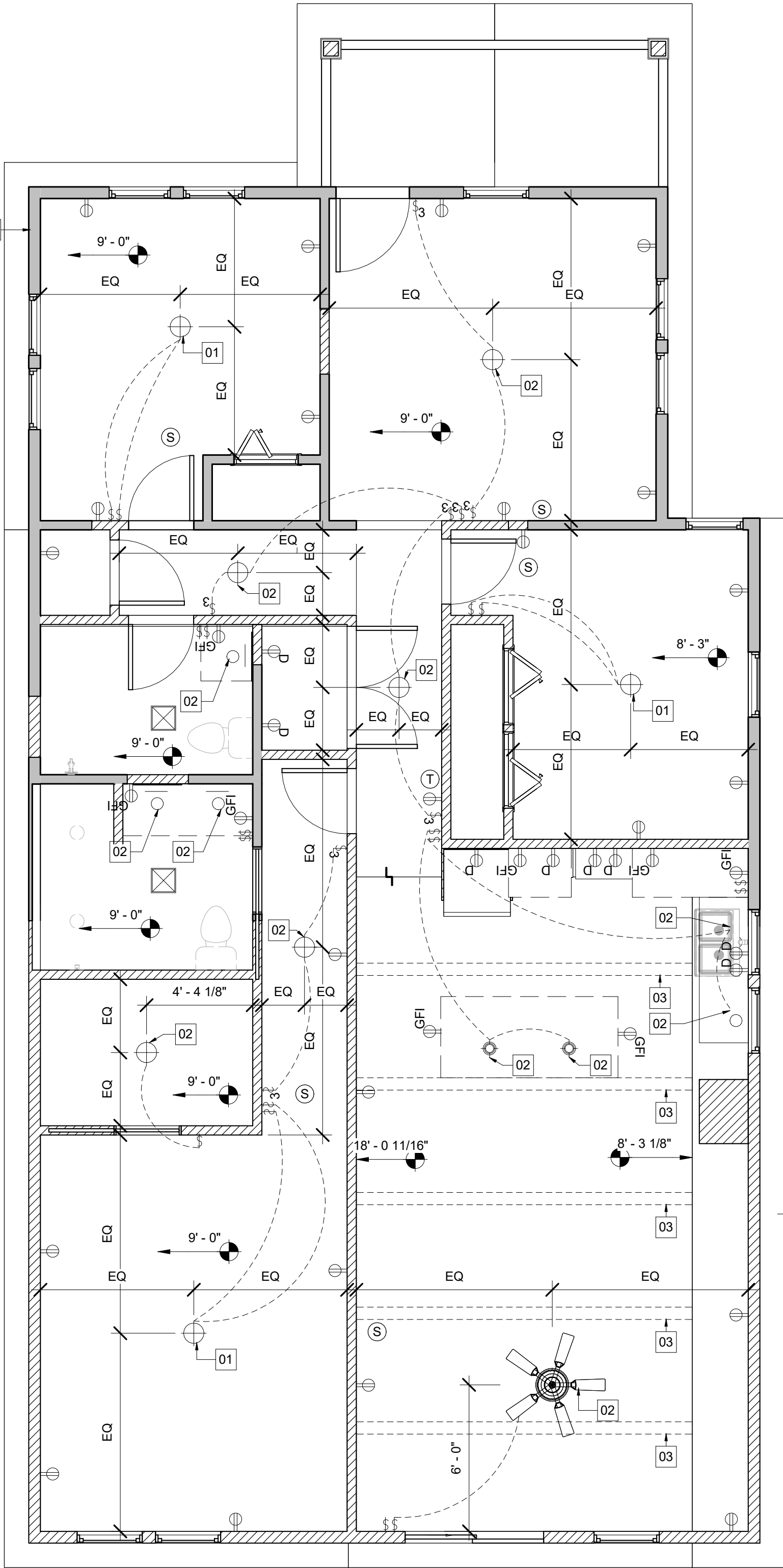
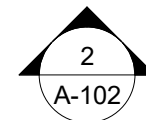
RELOCATE ELECTRICAL BOX

NOTES

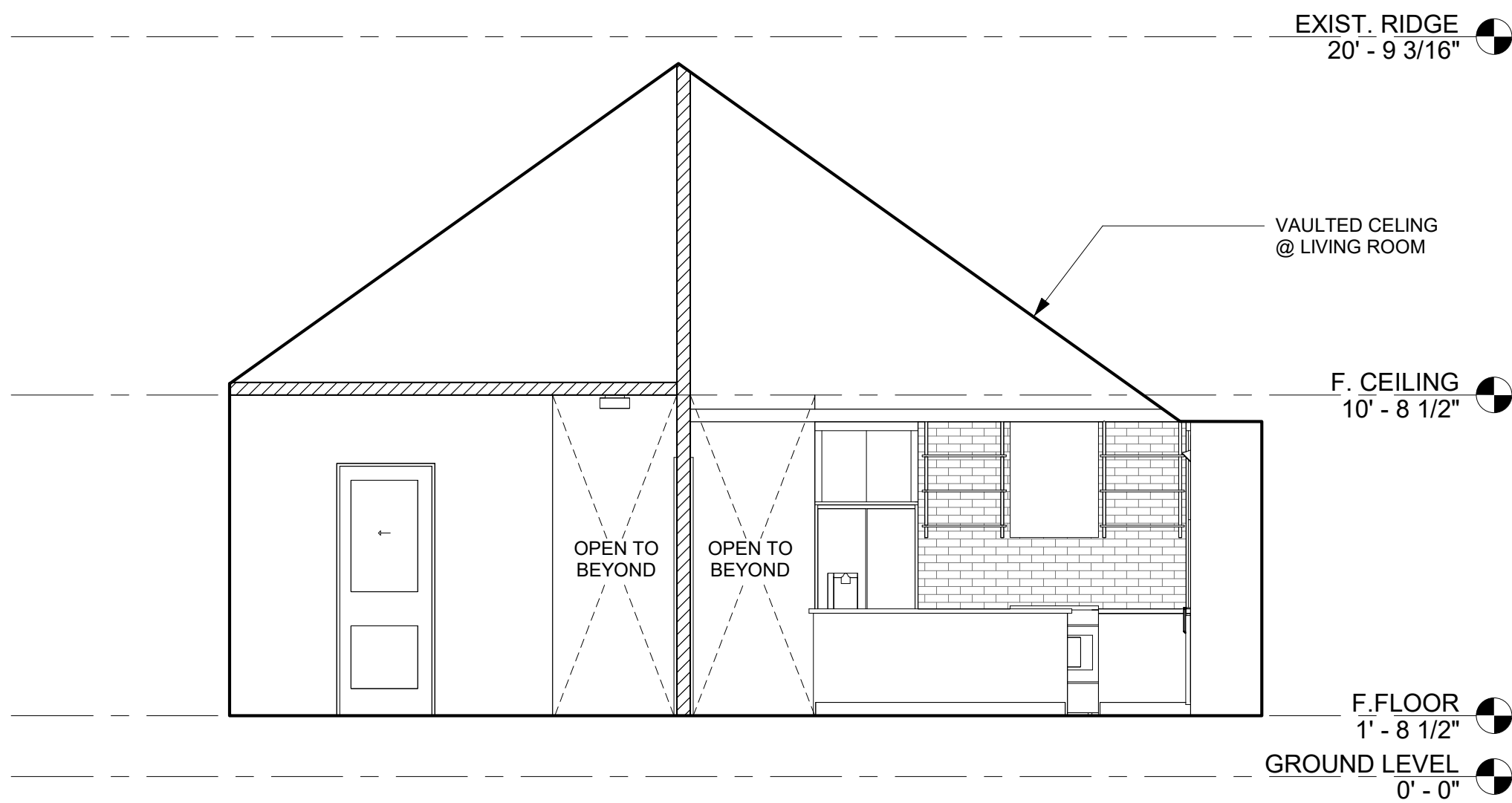
APPROVED CO ALARM SYSTEM SHALL BE INSTALLED OUTSIDE OF EACH SEPARATED SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOMS IN THE DWELLING UNITS WITHIN WHICH FUEL-FIRED APPLIANCES ARE INSTALLED AND IN DWELLING UNITS THAT HAVE ATTACHED GARAGE IN ACCORDANCE WITH IRC 2015 SEC R315.1

SMOKE DETECTOR SYSTEM HARDWIRED, INTERCONNECTED, BATTERY BACKUP, AT EACH SLEEPING ROOM AND VICINITY, IN ACCORDANCE WITH IRC 2015 SEC 314

GENERAL CONTRACTOR SHALL VERIFY FOR SMOKE DETECTORS TO BE LOCATED AT LEAST 36" AWAY FROM HORIZONTAL PATH OF MECHANICAL AIR FLOW PER 2007 NFPA 72 CHAPTER 11



1 LEVEL 1 - RCP  
1/4" = 1'-0"

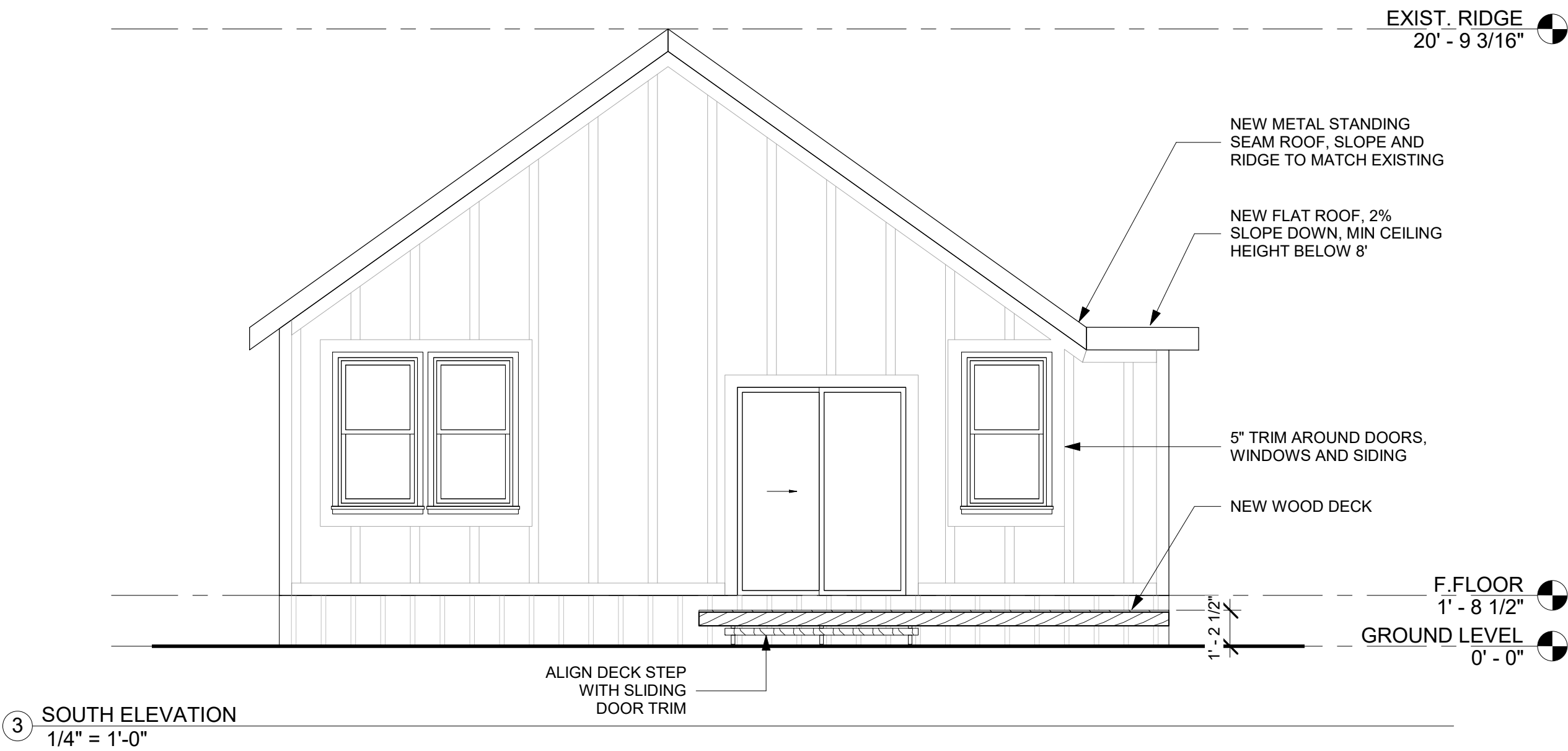


2 SHORT SECTION  
1/4" = 1'-0"

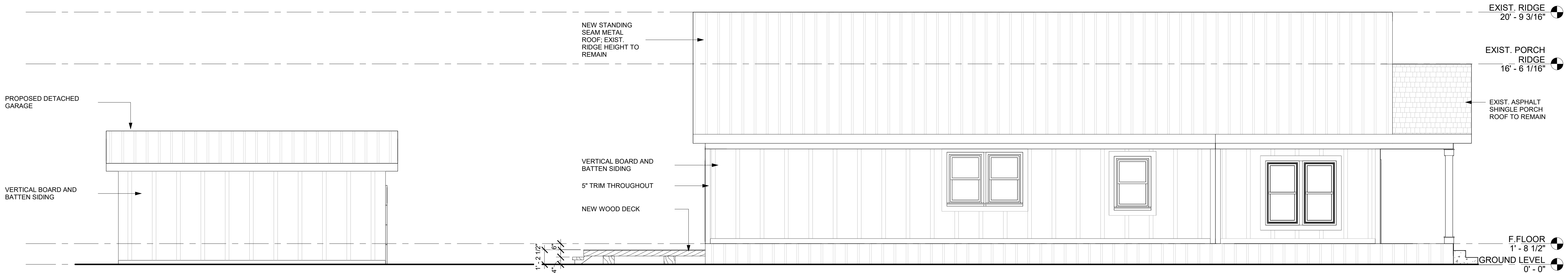
No.	Description	Date
1	ISSUED TO BID	5/03/2021
2	ISSUED FOR PERMITTING	6/9/2021



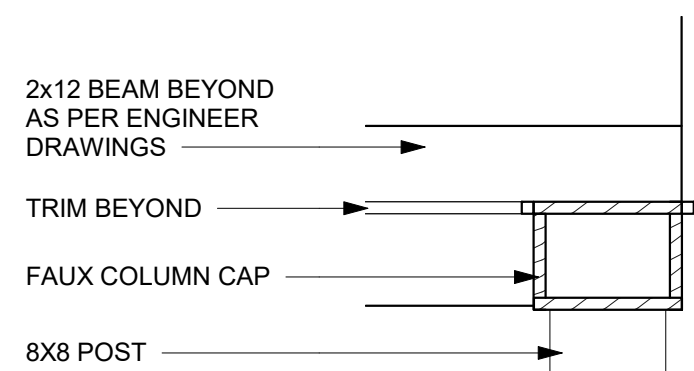
RCP			A-102
Project number	202001		
Date	Issue Date		
Drawn by	Author		
Checked by	Checker		
			Scale 1/4" = 1'-0"



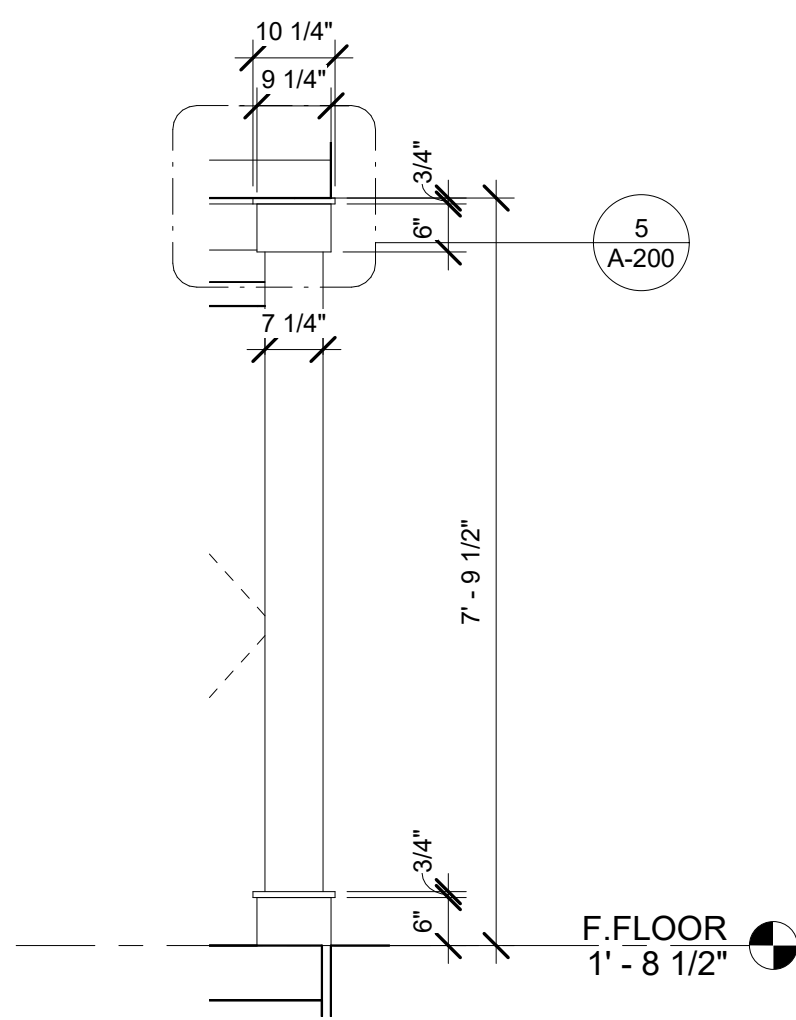
3 SOUTH ELEVATION  
1/4" = 1'-0"



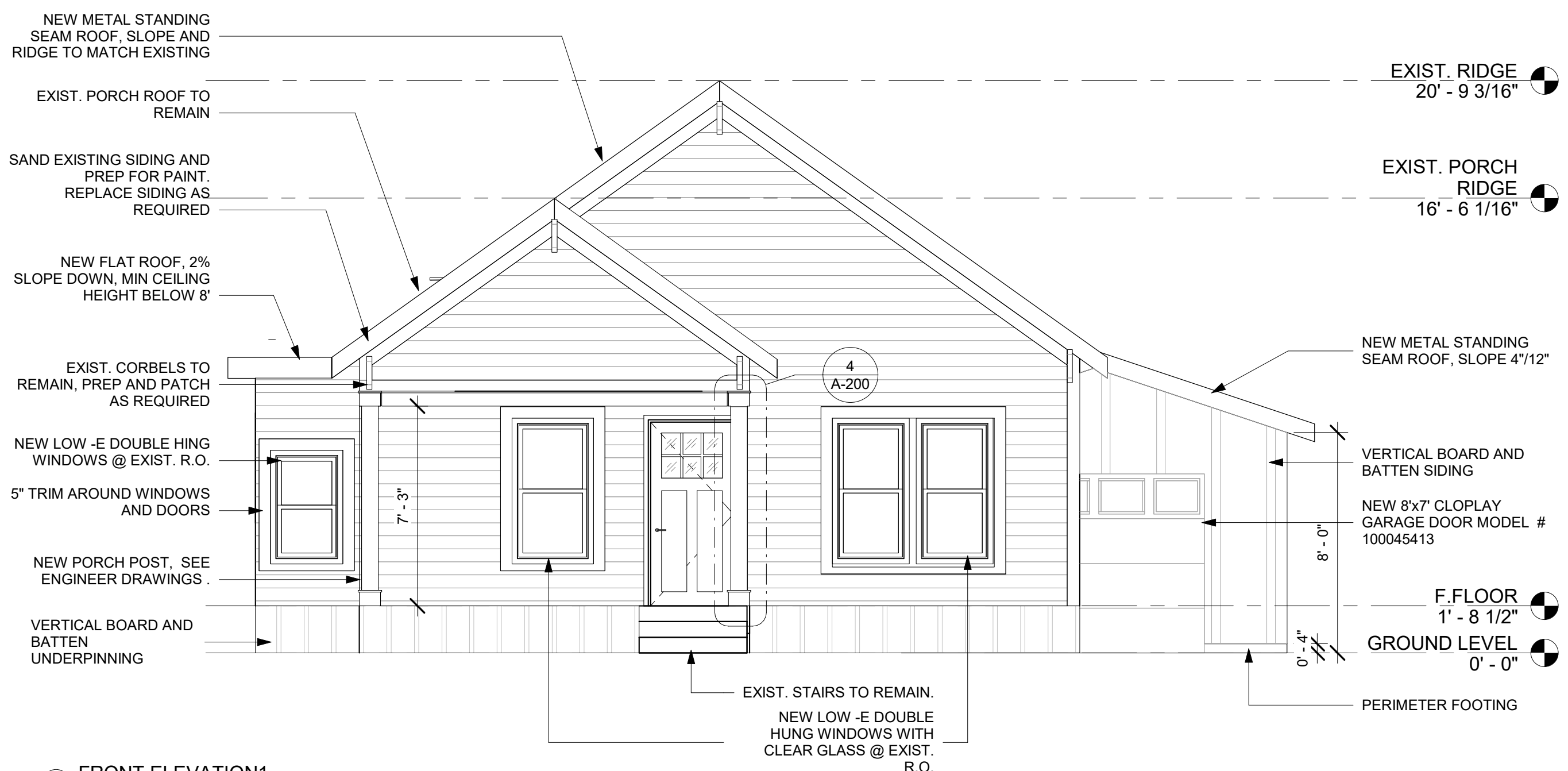
2 WEST ELEVATION  
1/4" = 1'-0"



5 PORCH COLUMN ELEV. - Callout 1  
1" = 1'-0"



4 PORCH COLUMN ELEV.  
1/2" = 1'-0"



1 FRONT ELEVATION1  
1/4" = 1'-0"

CEMARE STUDIO LLC

701 E 15TH ST, GEORGETOWN, TX, 78626

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No.	Description	Date
2	ISSUED FOR PERMITTING	6/9/2021
3	DRAWING UPDATES	6/30/2021

EXTERIOR ELEVATIONS

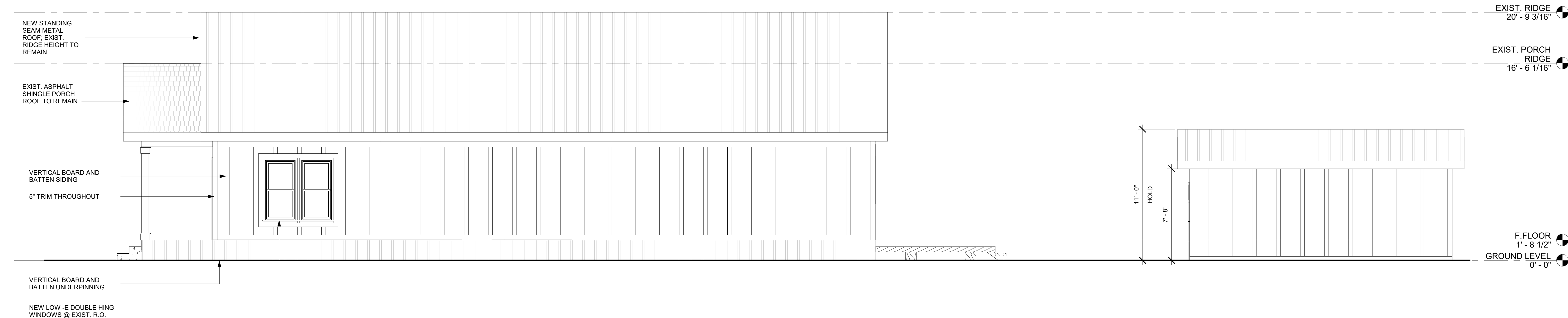
Project number 202001  
Date Issue Date  
Drawn by Author  
Checked by Checker

A-200

Scale As indicated

6/30/2021 9:17:26 AM





① EAST ELEVATION  
1/4" = 1'-0"

CEMARE STUDIO LLC  
701 E 15TH ST, GEORGETOWN, TX, 78626

No.	Description	Date
2	ISSUED FOR PERMITTING	6/9/2021

EXTERIOR ELEVATIONS

Project number	202001	A-201
Date	Issue Date	
Drawn by	Author	
Checked by	Checker	
Scale 1/4" = 1'-0"		







































Front Door to be replaced



Hover Image to Zoom

**Ship to Store**  
Pickup  
**Jun 23 - Jun 28**  
**FREE**

**Ship to Home**  
Expect it  
**Jul 7 - Jul 12**  
Standard Delivery

**Scheduled Delivery**  
Not available for this item

We'll send up to **23** to **Temple** for **free pickup**  
Curbside pickup available.  
[Change Store](#)

-

1

+

**Add to Cart**

## Product Overview

This warm Krosswood 42 in. x 96 in. Craftsman 6 Lite Knotty Alder exterior slab door, is the perfect front door for your Farmhouse cottage or Craftsman bungalow. With a neutral grain pattern and tight knots throughout, it makes a gorgeous rustic centerpiece for your entryway.

**Info & Guides**

You will need Adobe® Acrobat® Reader to view PDF documents. [Download](#) a free copy from the Adobe Web site.

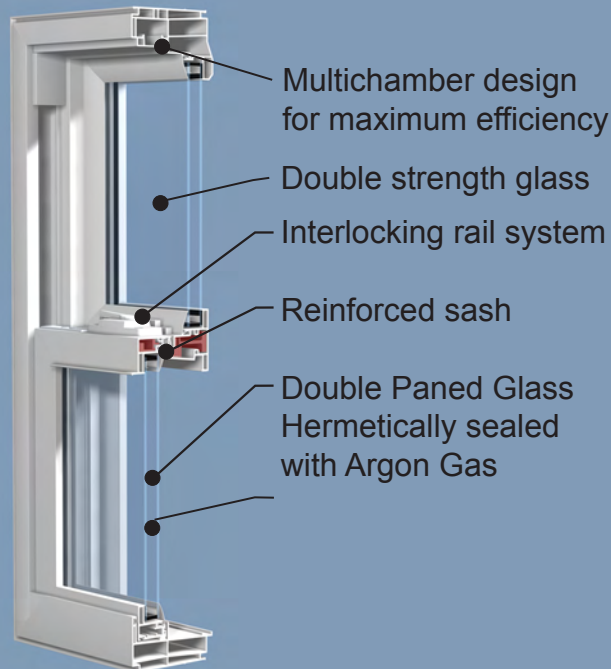
# Standing Seam Metal Roof

Example of new roofing to be installed.  
Primarily on the new addition. Front  
porch roof will remain shingles.





# Value Performa 3300 Series Single Hung



**DP 50 STRUCTURAL RATING**  
U-Value .29\* • SHGC .22\*

\* Using Cardinal Low-E 366 - no Grids



Previous  
Awards  
2010-2016



A+ BBB  
Rating  
Click for  
Review



**RINGER  
WINDOWS**

205 MUSTANG COVE

TAYLOR, TX 76574

(512) 989-7000

RINGERWINDOWS.COM



*Our Value Single Hung window features a simple non-tilting lower sash operating window system. Each lower operable sash is equipped with a standard screen. Armed with our advanced Low-E protection, Argon gas filled Double Pane Glass, and incredible vinyl design, it's hard to beat the performance of this outstanding value window. When mulled with other Performa 3300 Series Windows, endless window combinations can be created!*

## KEY FEATURES

- **Warranty**
- **Low-E 366 Glass**
  - Blocks up to 95% of harmful UV rays
  - Reduces HVAC costs
- **Factory Direct**
  - Ultra affordable
- **Impressive 3" Frame Depth**
- **Available Options**
  - Low-E Glass Grades 2 layer, 3 layer, 4 layer
  - Grids
  - Privacy glass in Rain, Obscure, SATIN
  - Security & Tempered Glass
- **Superior Sound Control**
  - Double strength glass
- **Crystal Clear Double Pane Glass**  
*Hermetically sealed with Argon Gas*
- **Low Maintenance**

**Outstanding Choice for  
New Construction &  
Remodeling Projects**

**Dozens of In-Stock Standard  
Builder Sizes and Options**



"White"



7jS\_ bVax4aScV~ 4SffWEQV` Y~  
G` Wbb[ ` ` Yfa TVgeWz



TEXAS HISTORIC SITES INVENTORY FORM – TEXAS HISTORICAL COMMISSION (rev. 8-82)

1. County Williamson WM  
City/Rural Georgetown GE
2. Name \_\_\_\_\_  
Address 701 E. 15th
3. Owner \_\_\_\_\_  
Address \_\_\_\_\_
4. Block/Lot \_\_\_\_\_
5. USGS Quad No. 3097-313 Site No. 246  
UTM Sector 627-3389
6. Date: Factual \_\_\_\_\_ Est. 1925
7. Architect/Builder \_\_\_\_\_ Contractor \_\_\_\_\_
8. Style/Type bungalow
9. Original Use residential  
Present Use residential
10. Description One-story wood frame dwelling; exterior walls w/ beveled wood siding; gable roof w/ composition shingles; exposed rafter ends w/ stick brackets; front elev. faces S.; wood sash double-hung windows w/ 1/1 lights; single-door entrance; one-bay porch w/ gable roof on S. elev.; wood posts. Other noteworthy features include bungalow details; rear>
11. Present Condition good
12. Significance Primary significance; architecture. An example of bungalow architecture.
13. Relationship to Site: Moved Date \_\_\_\_\_ or Original Site (describe) \_\_\_\_\_
14. Bibliography \_\_\_\_\_ 15. Informant \_\_\_\_\_  
16. Recorder D. Moore/HHM Date July 1984

DESIGNATIONS

PHOTO DATA

- TNRIS No. \_\_\_\_\_ Old THC Code \_\_\_\_\_ B&W 4x5s \_\_\_\_\_ Slides \_\_\_\_\_  
☐ RTHL ☐ HABS (no.) TEX- \_\_\_\_\_ 35mm Negs.
- NR: ☐ Individual ☐ Historic District  
☐ Thematic ☐ Multiple-Resource
- NR File Name \_\_\_\_\_
- Other \_\_\_\_\_
- | YEAR | DRWR | ROLL | FRME |    | ROLL | FRME |
|------|------|------|------|----|------|------|
|      |      | 3    | 17   | to |      |      |
|      |      |      |      | to |      |      |
|      |      |      |      | to |      |      |

CONTINUATION PAGE

No. 2 of 2

TEXAS HISTORIC SITES INVENTORY FORM – TEXAS HISTORICAL COMMISSION (rev. 8-82)

1. County Williamson WM  
City/Rural Georgetown GE
2. Name \_\_\_\_\_
5. USGS Quad No. 3097-313 Site No. 246
- #10. Description (cont'd): additions; original plan only one room deep.

**TEXAS HISTORICAL COMMISSION**

**Properties Documented with the THC Form in 2007 and/or 1984 That Have Not Changed Preservation Priority**

Address: 701 E 15th St 2016 Survey ID: 124131  
 City: Georgetown 2016 Preservation Priority: Medium  
 County: Williamson Local District: Old Town District

**SECTION 1**

**Basic Inventory Information**

**Property Type:** ☒ Building ☐ Structure ☐ Object ☐ Site ☐ District WCAD ID: R042085

Construction Date: 1925 ☐ Actual ☒ Estimated Source: 2007 survey

Latitude: 30.630962 Longitude -97.670675

Current/Historic Name None/None

**Stylistic Influence(s)\*** ☒ None Selected

<input type="checkbox"/> Log traditional	<input type="checkbox"/> Shingle	<input type="checkbox"/> Gothic Revival	<input type="checkbox"/> Pueblo Revival	<input type="checkbox"/> International
<input type="checkbox"/> Greek Revival	<input type="checkbox"/> Romanesque Revival	<input type="checkbox"/> Tudor Revival	<input type="checkbox"/> Spanish Colonial	<input type="checkbox"/> Post-war Modern
<input type="checkbox"/> Italianate	<input type="checkbox"/> Folk Victorian	<input type="checkbox"/> Neo-Classical	<input type="checkbox"/> Prairie	<input type="checkbox"/> Ranch
<input type="checkbox"/> Second Empire	<input type="checkbox"/> Colonial Revival	<input type="checkbox"/> Beaux Arts	<input type="checkbox"/> Craftsman	<input type="checkbox"/> Commercial Style
<input type="checkbox"/> Eastlake	<input type="checkbox"/> Renaissance Revival	<input type="checkbox"/> Mission	<input type="checkbox"/> Art Deco	<input type="checkbox"/> No Style
<input type="checkbox"/> Queen Anne	<input type="checkbox"/> Exotic Revival	<input type="checkbox"/> Monterey	<input type="checkbox"/> Moderne	<input type="checkbox"/> Other:

**Plan\***

☐ L-plan ☐ T-plan ☐ Modified L-plan ☐ 2-room ☐ Open ☐ Center Passage ☒ Bungalow ☐ Shotgun  
☐ Irregular ☐ Four Square ☐ Rectangular ☐ None Selected ☐ Other:

**Priority:** 2016 Survey ID: 124131 ☐ High ☒ Medium ☐ Low

**Explain:** Despite some alterations, property is significant and contributes to neighborhood character

2007 Survey ID: 363 ☐ High ☒ Medium ☐ Low

1984 Survey ID: 246 ☐ High ☒ Medium ☐ Low

**General Notes:** (Notes from 2007 Survey: aluminum screens)

Recorded by: CMEC

Date Recorded 3/4/2016

\*Photographs and Preservation Priority have been updated in 2016, and the year built date has also been reviewed. However, the plan and style data are sourced directly from the 2007 survey.



Photo direction: Northwest

Note: See additional photo(s) on following page(s)



**Properties Documented with the THC Form in 2007 and/or 1984 That Have Not Changed Preservation Priority**

Address: 701 E 15th St

2016 Survey ID: 124131

City: Georgetown

2016 Preservation Priority: Medium

County: Williamson

Local District: Old Town District

## Additional Photos

Photo Direction North



# 701 E. 15<sup>th</sup> Street 2021-30-COA

**Historic & Architectural Review Commission**  
July 22, 2021



# Item Under Consideration

## **2021-30-COA – 701 E. 15<sup>th</sup> Street**

- Public Hearing and Possible Action on a request for a Certificate of Appropriateness (COA) for an addition that creates a new, or adds to an existing street facing façade and replacing a historic architectural feature with a non-historic architectural feature at the property located at 701 E. 15th Street, bearing the legal description 0.33 acres out of the William Addison Survey, Abstract No. 21, also being known as a part of Block 96, Dimmitt Addition, an unrecorded subdivision.

# Item Under Consideration

## HARC:

- Replacing porch columns and changing porch beams
- Replacing skirting
- Adding window trim
- Detached garage addition

## HPO:

- New roof materials



# Item Under Consideration





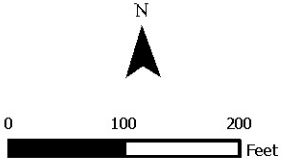


LOCATION

2021-30-COA

Exhibit #1

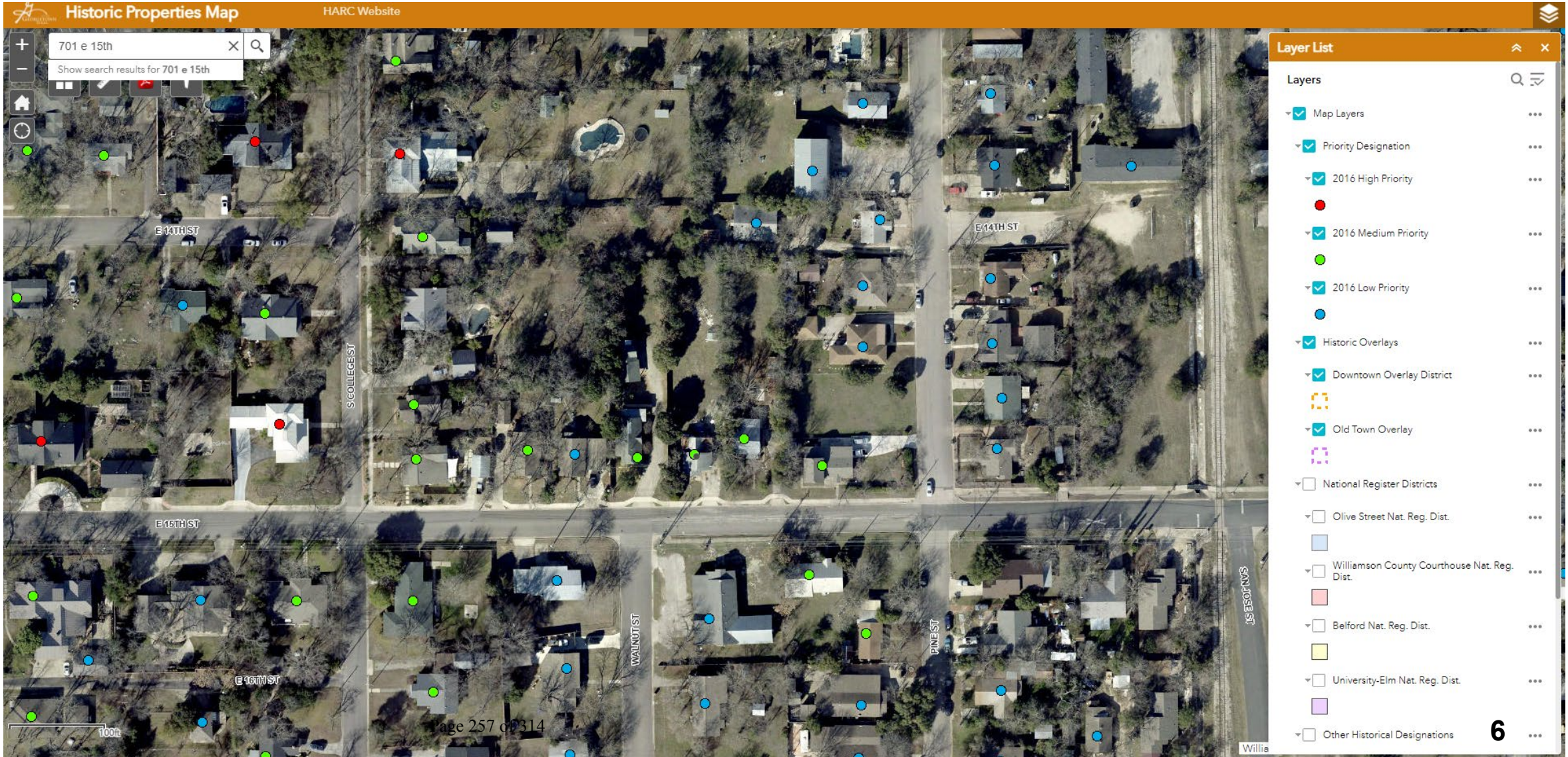
-  Site
-  Parcels



San Jose Park

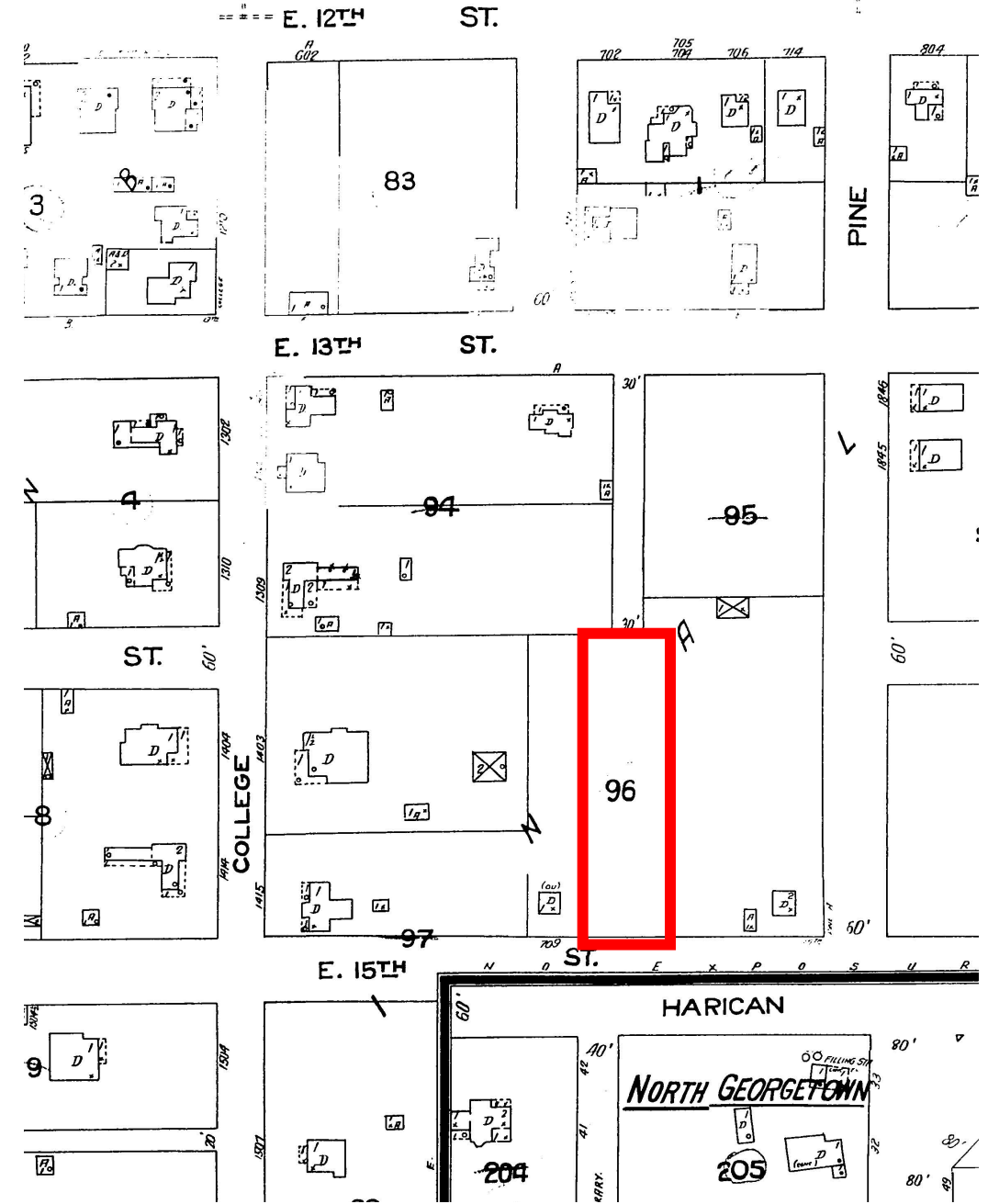
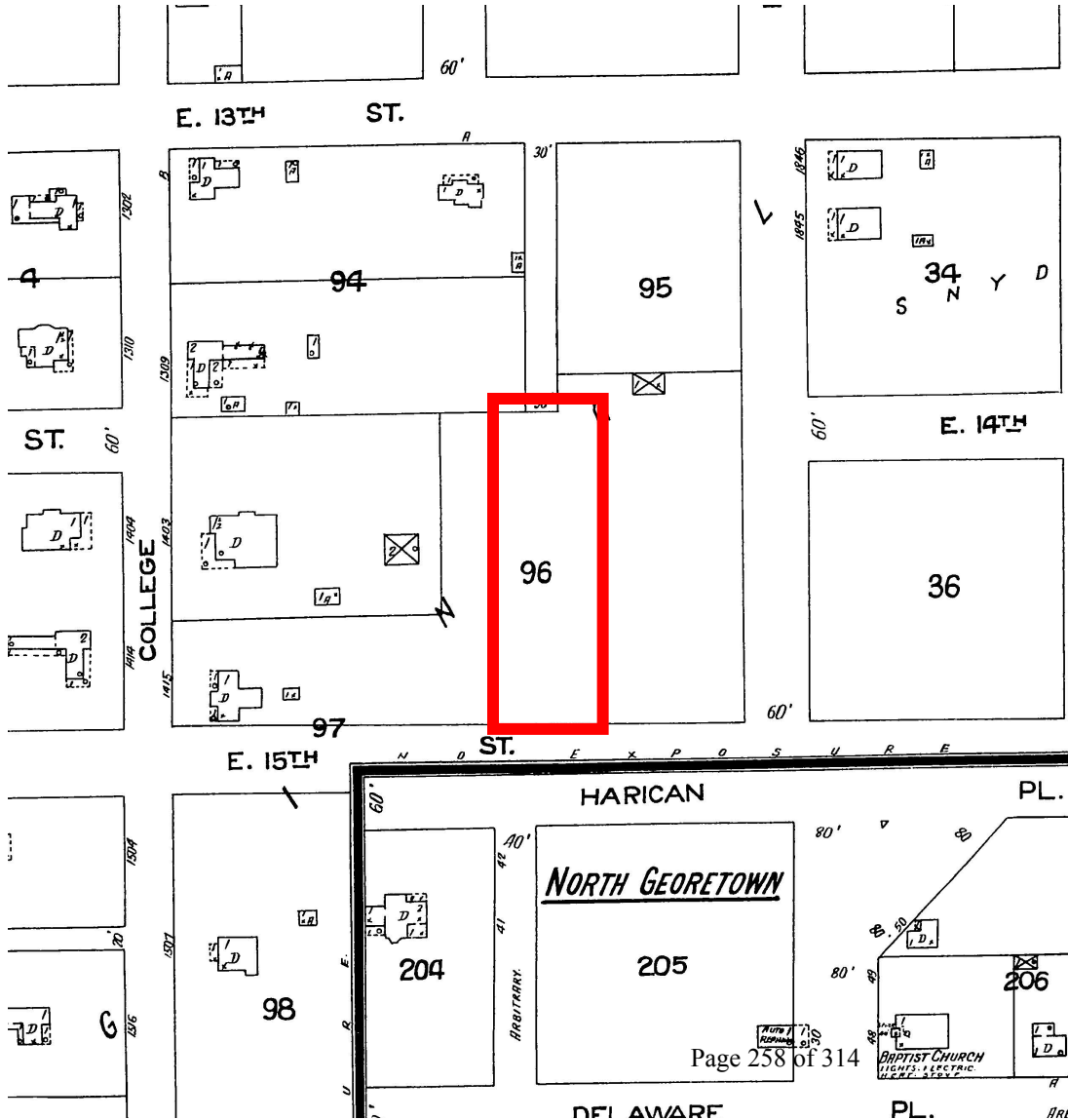


# Current Context



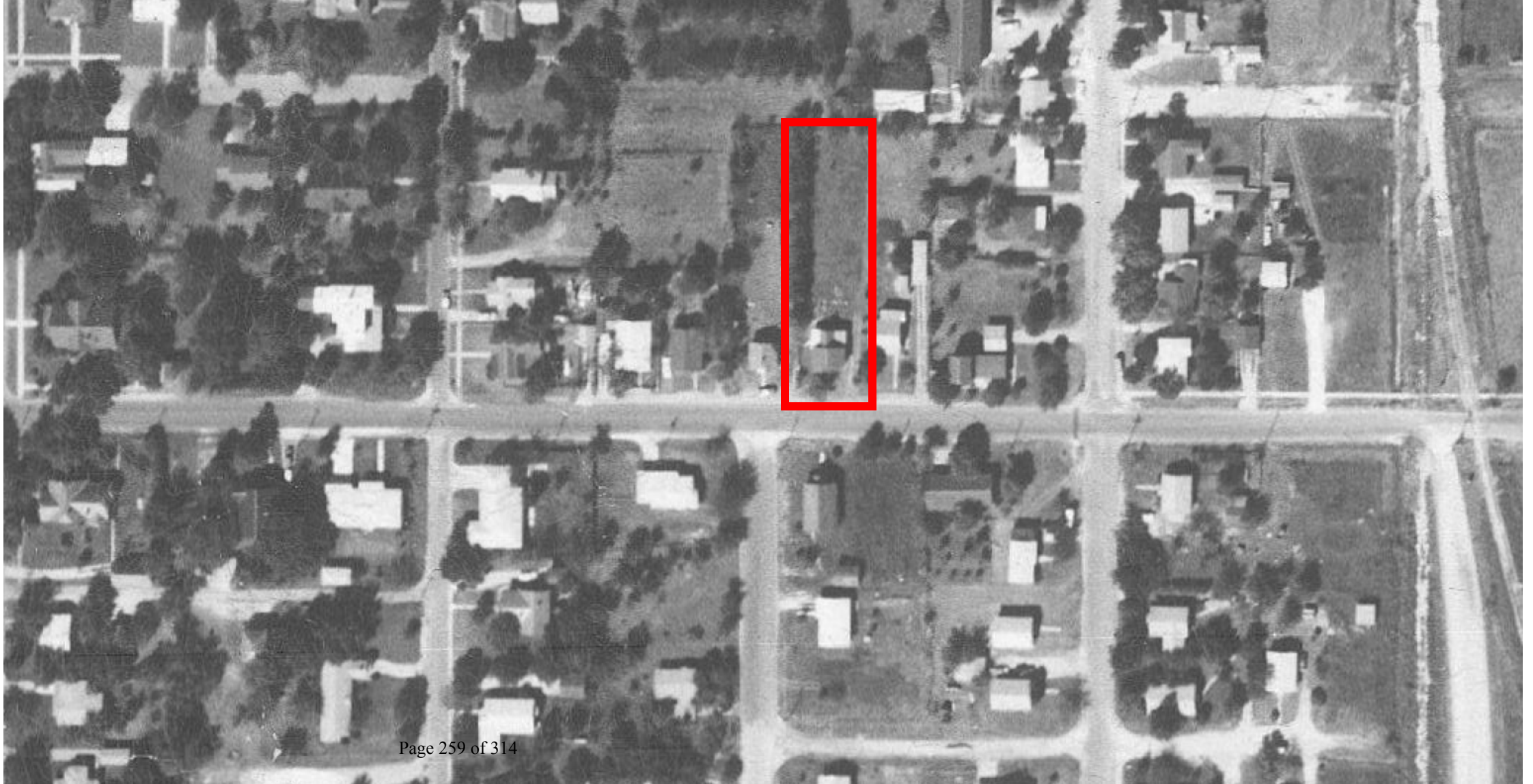


# 1925 & 1940 Sanborn Maps





# 1964 Aerial Photo



# 1974 Aerial Photo





# 1984 HRS Photo





# Current Photos





# Current Photos



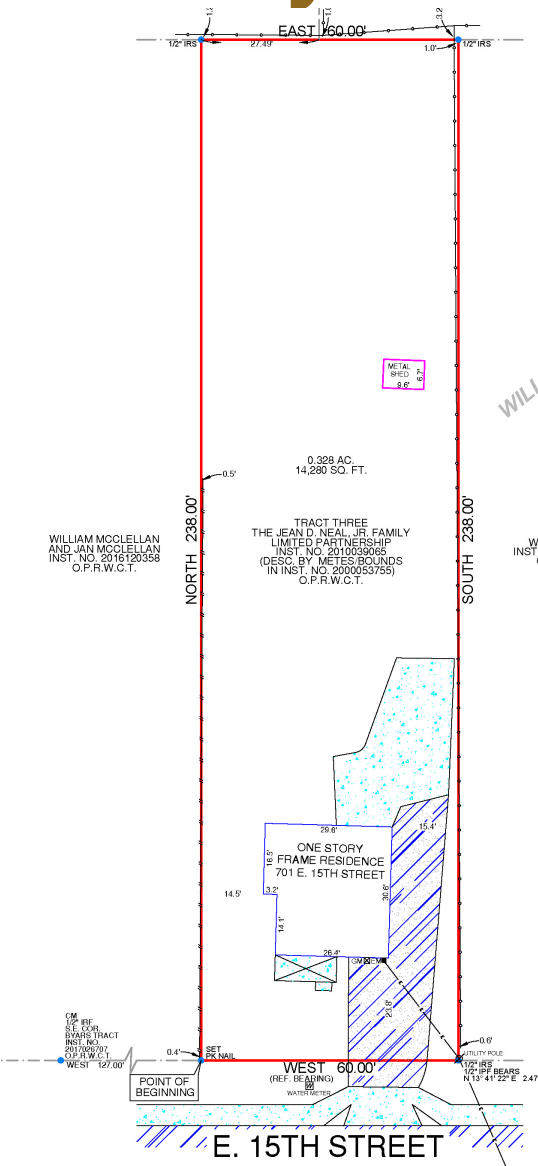


# Current Context

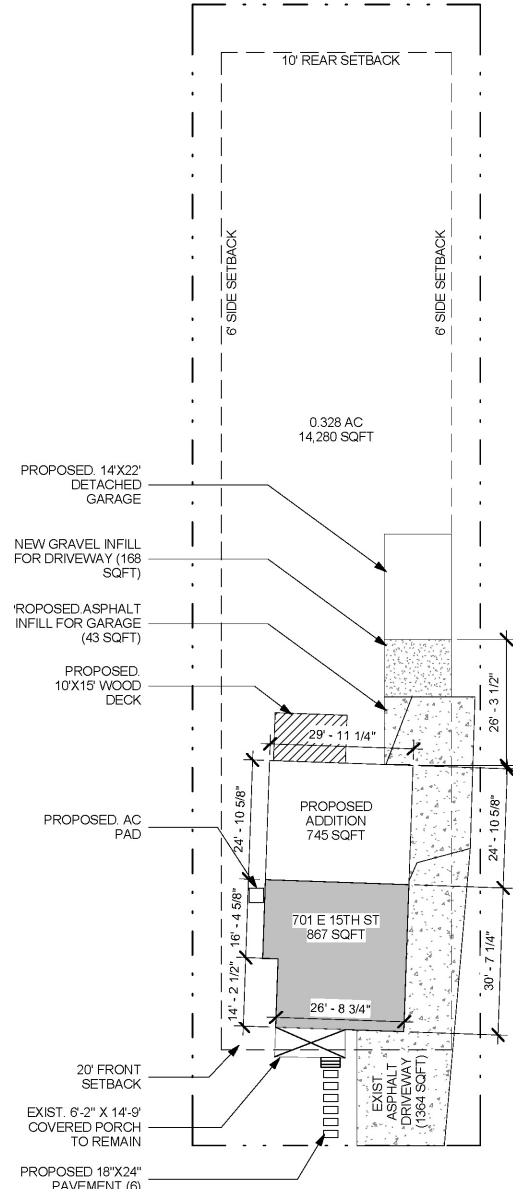
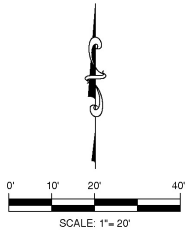




# Survey & Site Plan



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ADDRESS: 701 E 15TH STREET  
 ZONING: RS - OLD TOWN OVERLAY

FOR IMPERVIOUS COVER:

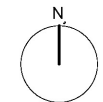
MAXIMUM IMPERVIOUS COVER: 45%  
 LOT SIZE: 14,280.00 SF  
 MAX ALLOWED IMPERVIOUS COVER: = 14,280.00 x 45%  
 = 6,426 SF

EXISTING IMPERVIOUS COVER:  
 EXISTING BUILDING: 867 SF  
 EXISTING ASPHALT DRIVEWAY: 1364 SF  
 EXIST. FRONT PORCH: 88.19 SF  
 ENTRY STAIRS: 8 SF  
**TOTAL EXIST. IMPERVIOUS COVER: 2,327.2 SF**

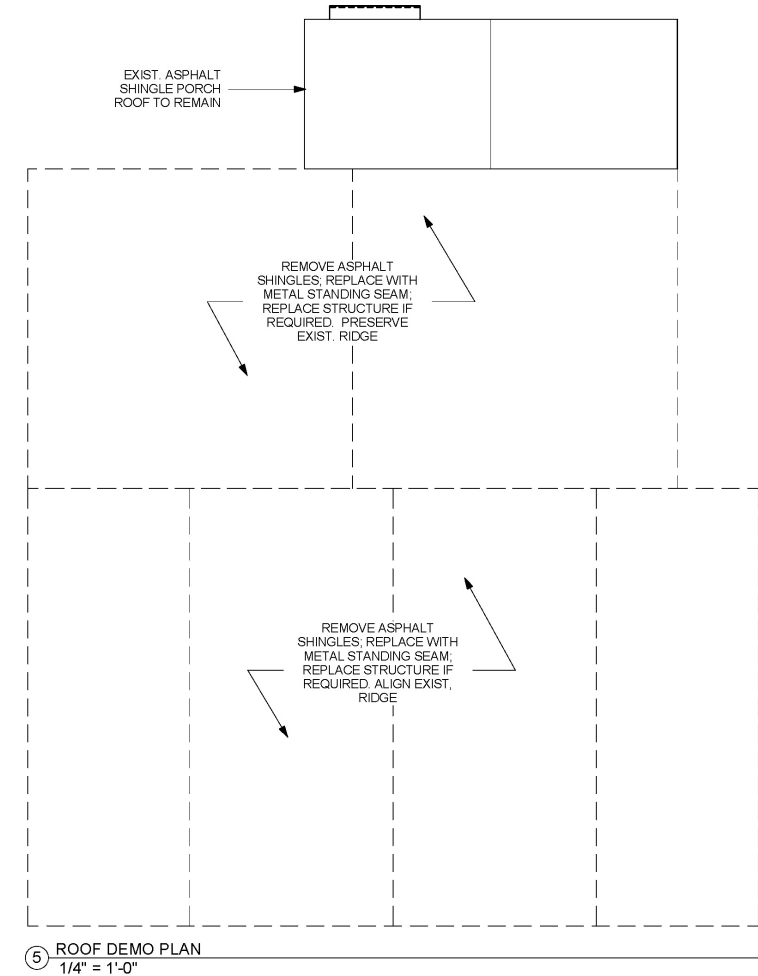
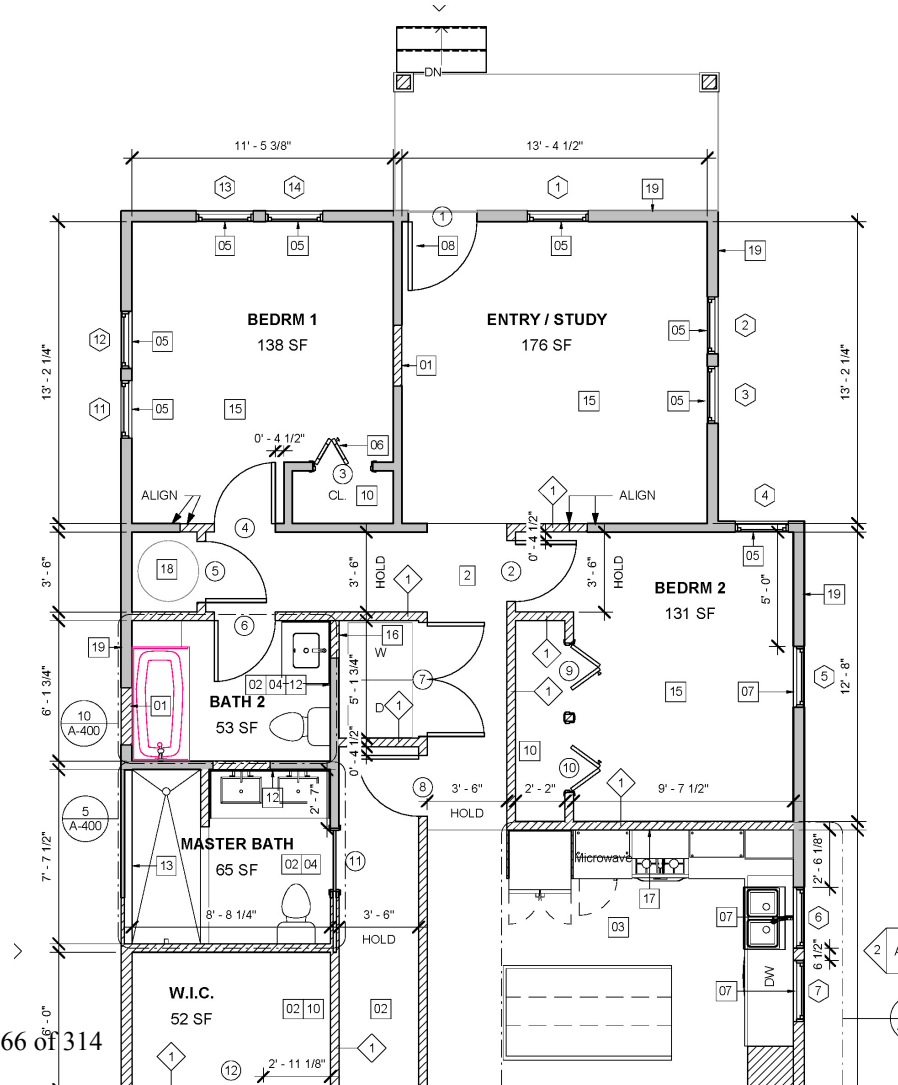
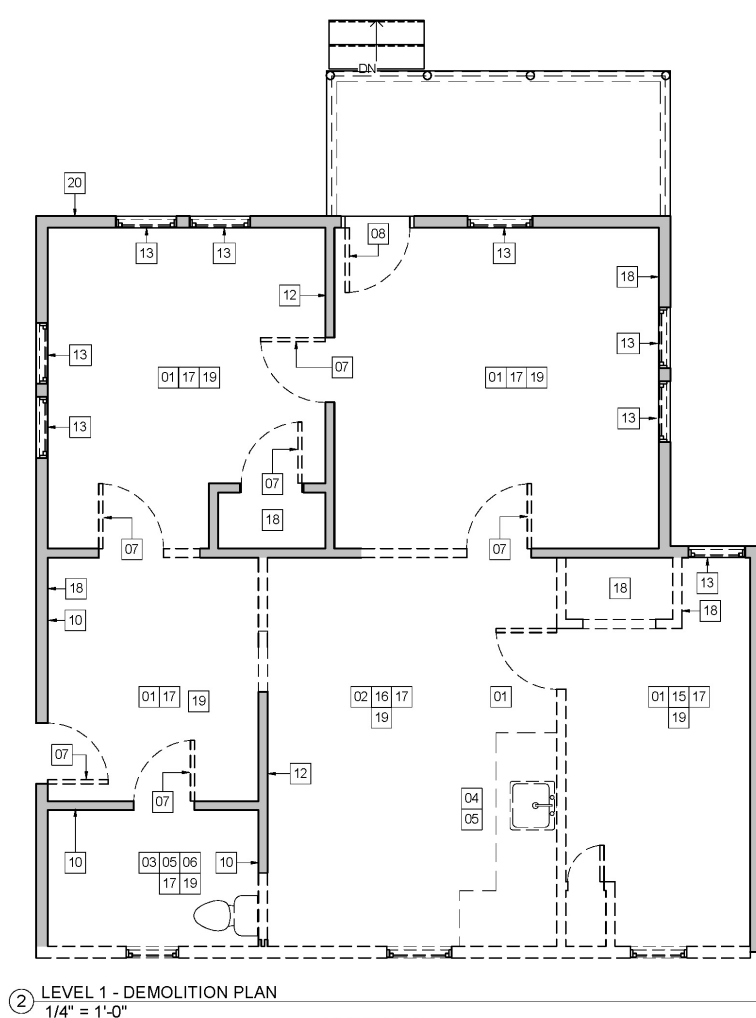
NEW IMPERVIOUS COVER:  
 PROPOSED ADDITION: 745 SF  
 AC PAD: 9 SF  
 PROPOSED WOOD DECK (50%): 75 SF  
 PROPOSED DETACHED GARAGE: 308 SF  
 PROPOSED ASPHALT DRIVEWAY: 43 SF  
 PROPOSED ENTRY PAVEMENT: 27 SF  
**TOTAL NEW IMPERVIOUS COVER: 1,207 SF**

PROPOSED IMPERVIOUS COVER:  
 2,327.2 SF (EXIST.) + 1,207 (NEW) = 3,534.2 SF

**3,534.2 SF < 6,426 SF PROPOSED IMPERVIOUS COVERAGE  
 IS WITHIN ALLOWABLE LIMIT.**

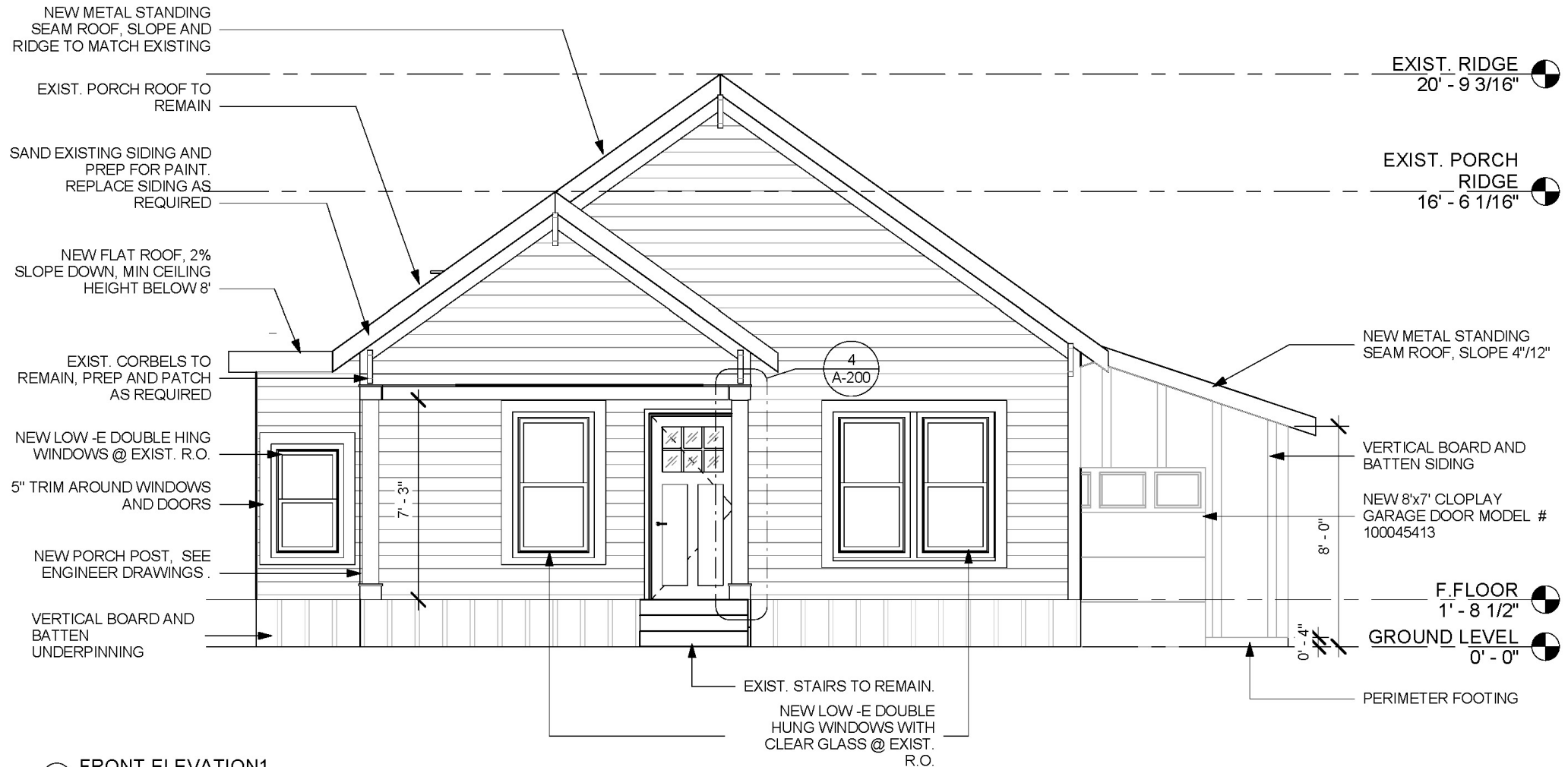


# Proposed Plans

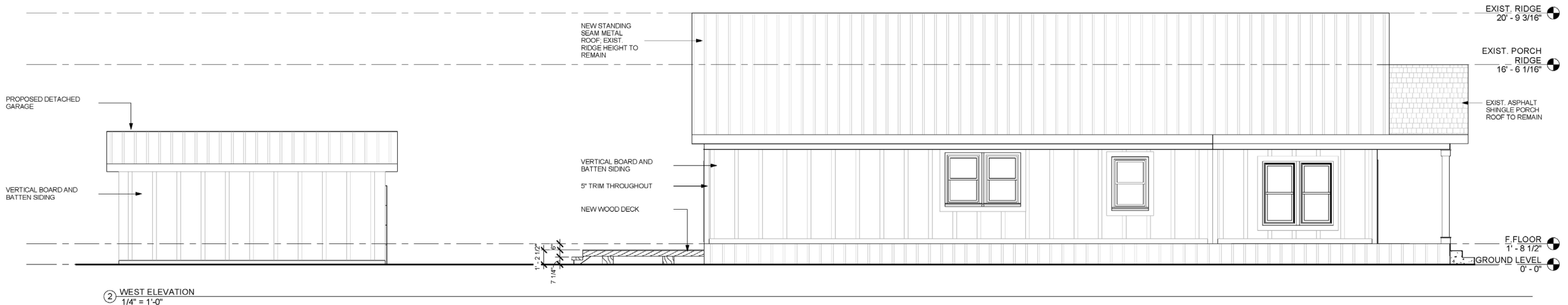
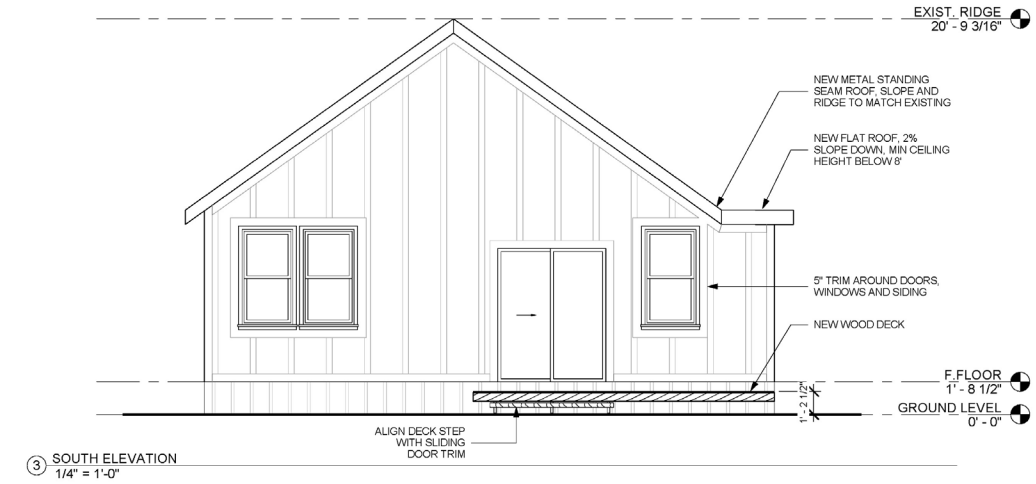
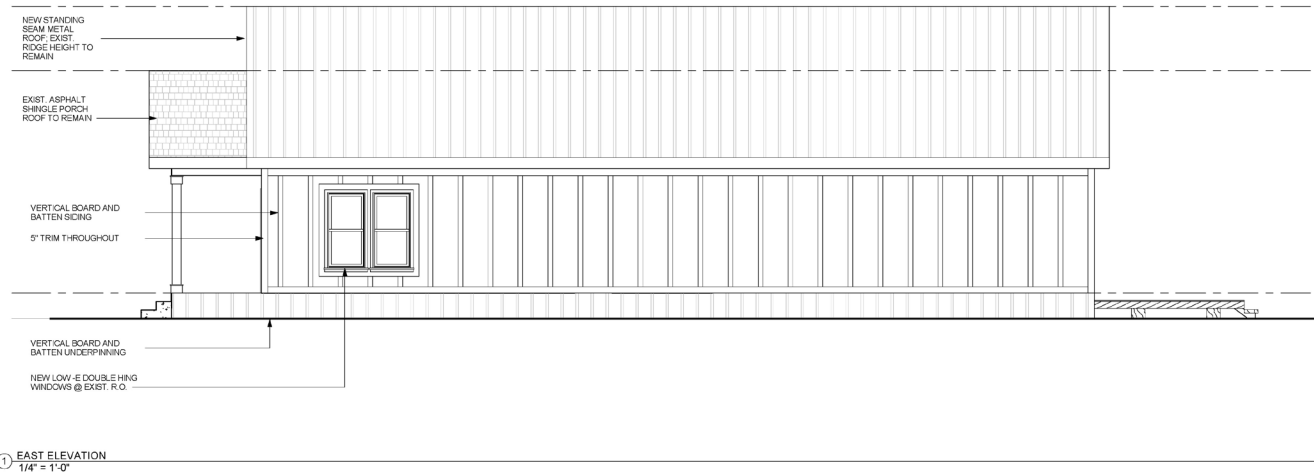




# Proposed Front Elevation



# Proposed Side & Rear Elevations





# Proposed Materials

Krosswood Doors 42 in. x 96 in. Craftsman 2-Panel 6-Lite Clear Low...Unfinished Wood Front Door Slab-KA.550.36.80.134 - The Home Depot 6/16/21, 8:49 AM

Front Door to be replaced

Ship to Store  
 Pickup  
 Jun 23 -  
 Jun 28  
**FREE**

Ship to Home  
 Expect it  
 Jul 7 -  
 Scheduled  
 Delivery

Scheduled  
 Delivery  
 Not  
 available for  
 this item

We'll send up to 23 to Temple for free pickup  
 Curbside pickup available.  
 Change Store

- 1 + Add to Cart

Hover Image to Zoom

## Product Overview

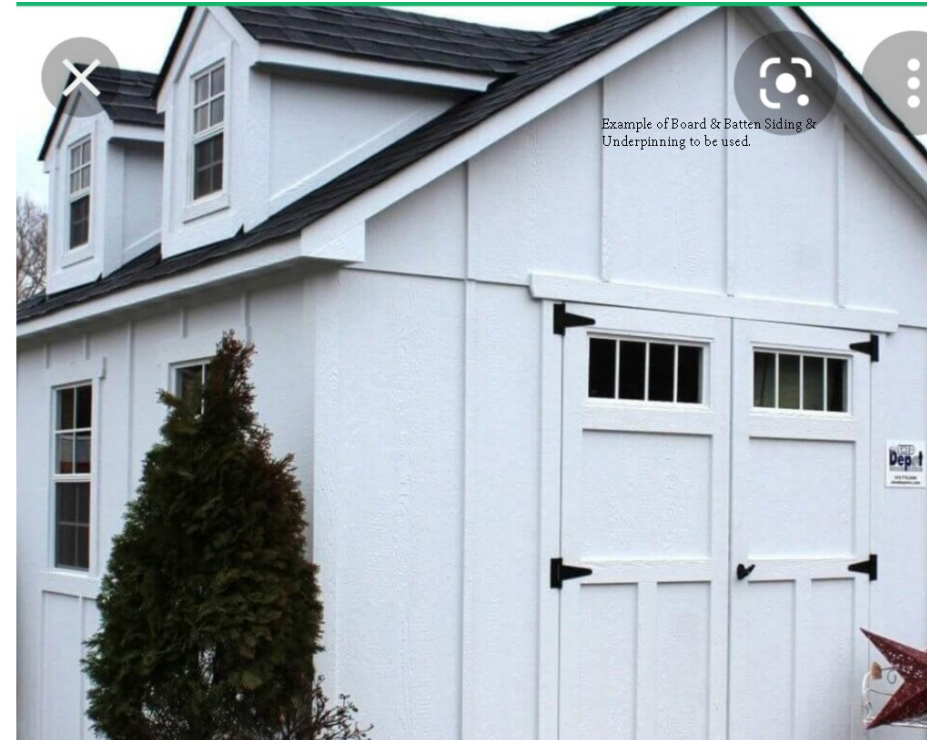
This warm Krosswood 42 in. x 96 in. Craftsman 6 Lite Knotty Alder exterior slab door, is the perfect front door for your Farmhouse cottage or Craftsman bungalow. With a neutral grain pattern and tight knots throughout, it makes a gorgeous rustic centerpiece for your entryway.

### Info & Guides

You will need Adobe® Acrobat® Reader to view PDF documents. [Download a free copy from the Adobe Web site.](#)

<https://www.homedepot.com/p/Krosswood-Doors-42-in-x-96-in-Craftsman-6-Lite-Knotty-Alder-exterior-slab-door-KA-550-36-80-134/308301791#overlay> Page 2 of 10

Page 269 of 314



# Approval Criteria – UDC Section 3.13.030

Criteria	Staff's Finding
1. The application is complete and the information contained within the application is correct and sufficient enough to allow adequate review and final action;	<b>Complies</b>
2. Compliance with any design standards of this Code;	<b>Complies</b>
3. Compliance with the Secretary of the Interior's Standards for the Treatment of Historic Properties to the most extent practicable;	<b>Complies</b>
4. Compliance with the adopted Downtown and Old Town Design Guidelines, as may be amended from time to time, specific to the applicable Historic Overlay District;	<b>Complies</b>
5. The general historic, cultural, and architectural integrity of the building, structure or site is preserved;	<b>Complies</b>
6. New buildings or additions are designed to be compatible with surrounding properties in the applicable historic overlay district;	<b>Complies</b>
7. The overall character of the applicable historic overlay district is protected; and	<b>Complies</b>
8. The Master Sign Plan is in keeping with the adopted Downtown and Old Town Design Guidelines and character of the historic overlay district.	<b>N/A</b>



# Public Notification

- One (1) sign posted
- 0 comments in favor and 0 opposed

# Recommendation

Staff recommends ***approval*** of the request.



# HARC Motion – 2021-30-COA

- Approve (as presented by the applicant)
- Deny (as presented by the applicant)
- Approve with conditions
- Postpone

City of Georgetown, Texas  
Historic and Architectural Review  
July 22, 2021

**SUBJECT:**

**Public Hearing** and **Possible Action** on a request for a **Certificate of Appropriateness** (COA) for the replacement of a historic architectural feature with a non-historic architectural feature at the property located at 110 E. 7th Street, bearing the legal description 0.0826 acres being the north part of Lot 2, Block 40, City of Georgetown. – Britin Bostick, Downtown and Historic Planner

**ITEM SUMMARY:**

**Overview of Applicant's Request:**

The Applicant is requesting HARC approval for the addition of light fixtures to illuminate the previously approved replacement onion dome architectural feature that sits prominently atop the northwest corner of the building.

**Staff's Analysis:**

Staff has reviewed the request in accordance with the Unified Development Code (UDC) and other applicable codes. Staff has determined that the proposed request *meets 3 of the 8* criteria established in UDC Section 3.13.030 for a *Certificate of appropriateness*, as outlined in the attached Staff Report.

**Public Comments:**

As required by the Unified Development Code (UDC), two (2) signs were posted on-site. As of the publication date of this report, staff has received 0 written comments in favor and 0 in opposition of the request.

**FINANCIAL IMPACT:**

None. The applicant has paid the required application fees.

**SUBMITTED BY:**

Britin Bostick, Downtown & Historic Planner

**ATTACHMENTS:**

Description		Type
<input type="checkbox"/>	Staff Report	Cover Memo
<input type="checkbox"/>	Exhibit 1 - Location Map	Exhibit
<input type="checkbox"/>	Exhibit 2 - Letter of Intent	Exhibit
<input type="checkbox"/>	Exhibit 3 - Plans & Specifications	Exhibit
<input type="checkbox"/>	Exhibit 4 - Historic Photos	Exhibit
<input type="checkbox"/>	Staff Presentation	Presentation



# Planning Department Staff Report

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## Historic and Architectural Review Commission

Report Date: *July 16, 2021*

File Number: *2020-2-COA*

### AGENDA ITEM DESCRIPTION

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Public Hearing and Possible Action on a request for a Certificate of Appropriateness for the replacement of a historic architectural feature with a non-historic architectural feature at the property located at 110 E. 7th Street, bearing the legal description 0.0826 acres being the north part of Lot 2, Block 40, City of Georgetown.

### AGENDA ITEM DETAILS

---

Project Name: *110 E. 7<sup>th</sup> Rehabilitation Project*  
Applicant: *Michael Winot (NewRuf.com)*  
Property Owner: *Damon-Manriquez Partners LTD & Johanna E Damon*  
Property Address: *110 E. 7<sup>th</sup> Street*  
Legal Description: *0.0826 acres being the north part of Lot 2, Block 40, City of Georgetown*  
Historic Overlay: *Downtown Overlay District*  
Case History: *Dome replacement was approved with current application number 2020-2-COA*

### HISTORIC CONTEXT

---

Date of construction: *1900 (HRS)*  
Historic Resources Survey Level of Priority: *High*  
National Register Designation: *Within the Williamson County Courthouse National Register Historic District*  
Texas Historical Commission Designation: *N/A*

### APPLICANT'S REQUEST

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HARC:

- ✓ Addition of light fixtures to illuminate the replaced onion dome

### STAFF ANALYSIS

---

The applicant is requesting HARC approval for the addition of light fixtures to illuminate the dome that was approved and installed as a replacement of the non-original metal onion dome feature that sits atop the northwest corner of the building, which was installed in August of 1985. The masonic lodge onion dome is one of the most significant architectural features on the Courthouse Square. Previous illumination of the dome was accomplished through light fixtures installed in nearby trees, and as the new dome was planned for installation the best option to illuminate the feature was via the installation of fixtures integral to the replacement dome, rather than projecting from nearby structures or landscaping. As part of an ongoing building maintenance project the lights are proposed to have

# Planning Department Staff Report

## Historic and Architectural Review Commission

dimming capability, and the arms attaching the fixtures to the dome have been painted a color that coordinates with the building colors to minimize the appearance.

Charles Sanford Belford, known as C.S. Belford, was born in Newark, Ohio in 1857. He arrived in Georgetown in 1884 and married Mollie Carothers, who was the daughter of the president of First National Bank of Georgetown. Belford purchased the Irvine Lumber Co. in 1890 or 1891 with Moses Harrell, then bought Harrell out in 1892 with the help of other investors. The lumber yard was then renamed the Belford Lumber Company, and it was located on the west side of Rock Street, between 7<sup>th</sup> and 8<sup>th</sup> Streets. In addition to owning a lumber yard, Belford was a prominent builder, and the Belford Historic District was designated with his name because of the number of homes he built and their quality of design and construction. Belford is known for having built the Masonic Lodge and St. John's Methodist Church, designed the Georgetown Fire Station and City Hall Building (now the Georgetown Art Center) and built more than three dozen new homes and home remodels in Georgetown. Belford died in 1929 and is buried in the Georgetown Odd Fellows Cemetery.

Sanborn Fire Insurance maps show that this property had been the location of the Masonic Hall since at least 1885, when a two-story wood frame structure housed both the Hall and a confectionery. By 1889 the first floor was occupied by a furniture store, and in 1894 the Post Office was located on the first floor. When the new stone masonic lodge opened it housed additional uses on the ground floor, including the U. S. Post Office and a drug store. By 1916 the interior had been remodeled to include a balcony and the Post Office had relocated to the north side of the Square. In the middle of the 20<sup>th</sup> century it housed a furniture company, and in the late 1980s through 90s it housed a popular Chinese food restaurant.

The onion dome feature disappeared from the Masonic Lodge circa 1925 and was reportedly dismantled. It remained missing for nearly 6 decades until preservation efforts on the Square, spearheaded by the Main Street Program, supported the restoration of the Masonic Lodge in 1985. The owner at the time, Laura Weir-Clark, searched for the original dome and considered options for a replacement before deciding on a galvanized (treated with zinc to prevent rust) dome fabricated by Campbellsville Industries of Campbellsville, KY. The replacement dome was not an exact match, but was similar in design, character and proportion, and restored a significant part of the historic character of the building. In summer 2020 the applicant installed a new dome constructed of copper, which was painted to match the existing and which had light fixtures integrated into the dome to illuminate the feature at night.

### APPLICABLE DESIGN GUIDELINES

The following guidelines are applicable to the proposed scope of work in accordance with the adopted Downtown and Old Town Design Guidelines:

GUIDELINES	FINDINGS
<b>CHAPTER 4 – DESIGN GUIDELINES FOR ARCHITECTURAL FEATURES</b>	
<b>4.1 Avoid removing or altering any significant architectural detail.</b>	<b>Partially Complies</b> The replacement dome installed in summer 2020 was a replica of the dome installed in



# Planning Department Staff Report

## Historic and Architectural Review Commission

GUIDELINES	FINDINGS
<b>CHAPTER 4 – DESIGN GUIDELINES FOR ARCHITECTURAL FEATURES</b>	
✓ Do not remove or alter architectural details that are in good condition or that can be repaired in place.	the 1985 rehabilitation of the masonic lodge, with the alteration to add integrated light fixtures that illuminate the dome.
<b>4.2 Avoid adding elements or details that were not part of the original building.</b> ✓ For example, details such as decorative millwork or cornices should not be added to a building if they were not an original feature of that structure.	<b>Partially Complies</b> The lighting is not part of the original dome feature, however as part of the dome itself, the dome was part of the original building design, although the replacement dome is not an exact match to the original, according to available photographs.

GUIDELINES	FINDINGS
<b>CHAPTER 8 – DESIGN GUIDELINES FOR SITE DESIGN</b>	
<b>8.16 Use lighting for the following:</b> <ul style="list-style-type: none"><li>• To accent architectural details</li><li>• To accent building entrances</li><li>• To accent signs</li><li>• To illuminate sidewalks and pedestrian routes</li><li>• To illuminate parking and service areas, for safety concerns</li><li>• To illuminate a state or national flag</li></ul>	<b>Complies</b> The lighting fixtures illuminate the most prominent architectural feature of the building.
<b>8.21 Minimize the visual impacts of architectural lighting.</b> ✓ All exterior light sources should have a low level of luminescence. ✓ Wall-mounted floodlamps shall be shielded so that the light source is not visible off-site. Spotlights without shielding devices are not allowed. ✓ A lamp that conveys the color spectrum similar to daylight is preferred. For example, metal halide and color-corrected sodium are appropriate. <ul style="list-style-type: none"><li>• Lighting fixtures should be appropriate to the building and its surroundings in terms of style, scale, and intensity of illumination.</li></ul>	<b>Partially Complies</b> The lighting fixtures, including the attachment arms, are prominent on the building façade as they project from the dome. However, other illumination methods are limited given the location of the building at the property line (ground-mounted illumination is not feasible), and the fixtures and arms have been painted a color that coordinates with the building façade to minimize the appearance.

# Planning Department Staff Report

## Historic and Architectural Review Commission

GUIDELINES	FINDINGS
<b>CHAPTER 8 – DESIGN GUIDELINES FOR SITE DESIGN</b>	
✓ Wall-mounted light fixtures should not extend above the height of the wall to which they are mounted.	

### CRITERIA FOR APPROVAL

In accordance with Section 3.13.030 of the Unified Development Code, the HARC must consider the following criteria:

SECTION 3.13.030 CRITERIA	FINDINGS
1. The application is complete and the information contained within the application is correct and sufficient enough to allow adequate review and final action;	<b>Complies</b> The application was reviewed by staff and deemed complete.
2. Compliance with any design standards of this Code;	<b>Complies</b> Per UDC 7.04.010 – Lighting, light sources shall be fully shielded and not visible from any street right-of-way. The installed fixtures are shielded and are not currently known to produce glare on adjacent properties or the right-of-way.
3. Compliance with the Secretary of the Interior's Standards for the Treatment of Historic Properties to the most extent practicable;	<b>Partially Complies</b> The existing dome is not original to the building; however, it is historic in its own right. Because the replacement dome is a replication of the feature and manufactured by the same company with the same specifications, it meets the SOI standards. However, the addition of integrated and prominent light fixtures is not consistent with SOI Standard for Rehabilitation #2: The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.
4. Compliance with the adopted Downtown and Old Town Design Guidelines, as may be amended from time to time, specific to the applicable Historic Overlay District;	<b>Partially Complies</b> Lighting fixtures comply or partially comply with applicable Design Guidelines.
5. The general historic, cultural, and architectural integrity of the building, structure or site is preserved;	<b>Complies</b> The lighting is part of an architectural feature that required replacement as the original was



## Planning Department Staff Report

### Historic and Architectural Review Commission

SECTION 3.13.030 CRITERIA	FINDINGS
	lost, and does not affect the integrity of the building, although it is prominent on the façade.
6. New buildings or additions are designed to be compatible with surrounding properties in the applicable historic overlay district;	<b>Not Applicable</b> No new buildings or additions are proposed.
7. The overall character of the applicable historic overlay district is protected; and	<b>Partially Complies</b> The light fixtures mounted on arm extensions from the dome, one of the most prominent architectural features in the Downtown, change the historic character of the Downtown as such prominent fixtures were not known to be used historically. However, illuminating the dome at night provides a highlight of a character-defining feature, and the color change to a building color has reduced the visual impact during the daytime.
8. The Master Sign Plan is in keeping with the adopted Downtown and Old Town Design Guidelines and character of the historic overlay district.	<b>Not Applicable</b> No signage is included in the project.

#### STAFF RECOMMENDATION

Based on the findings listed above, staff recommends *APPROVAL* of the request, with the condition that the light be warm white light only.

#### PUBLIC COMMENTS

As of the date of this report, staff has received no written comments on the request.

#### ATTACHMENTS

Exhibit 1 – Location Map  
Exhibit 2 – Letter of Intent  
Exhibit 3 – Plans and Specifications  
Exhibit 4 – Photos

#### SUBMITTED BY

Britin Bostick, Downtown Historic Planner



# LOCATION

2020-2-COA

Exhibit #1

-  Site
-  Parcels
-  City Limits
-  Georgetown ETJ

N



0 100 200 Feet





01/06/2020

City of Georgetown  
Planning Department  
406 W. 8<sup>th</sup> St  
Georgetown, TX 78626


RE: 110 East 7<sup>th</sup> Street

Dear Sir or Madame:

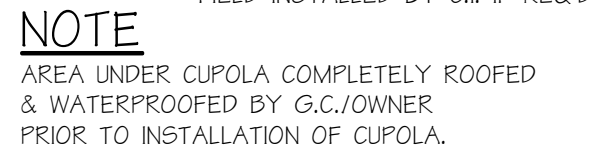
NewRuf, LLC plans to perform a storm restoration project for Damon Capital, LTD at 110 East 7<sup>th</sup> Street. The scope of work will include:

- Removing three layers of roofing materials and installing a new TPO roofing system.
- Removing, resetting and in some cases replacing (bringing up to code) electrical and mechanical equip on the roof. This may include A/C equipment and restaurant grease trap/ventilation equipment.
- Removing and replacing the ornamental dome on the roof.
- Removing and replacing gutters
- Repairing, repainting exterior windows and doors.

Kind Regards,

  
Mike Winot  
President  
NewRuf, LLC

ALL CLADDING TO BE .032 AL.  
W/ A NON-STOCK UNA-CLAD OR PAC-CLAD STANDARD  
KYNAR 500 BAKED-ON FINISH.  
\*EXCLUDING METALLICS  
\*EXCEPT DOME AND 2ND TIER TO BE .027 GARDEN ZINC  
\*EXCEPT FINAL AND CIRCLES TO BE PER OWNERS COLOR SELECTION  
**\*G.C./ARCH./OWNER SELECT COLOR.**



\*C.I. RESPONSIBLE FOR THE DESIGN  
OF CUPOLA FROM BASE & UP  
INCLUDING ANCHOR BOLTS.  
\*G.C. RESPONSIBLE FOR THE DESIGN  
OF STRUC. BELOW CUPOLA BASE &  
\*ANCHORAGE SHOWN SCHEMATICALLY  
AND FOR ILLUSTRATION ONLY.

6 = 6 - 3/8" DIA. AL. RIVETS PER END  
 5 = 5 - 3/8" DIA. AL. RIVETS PER END  
 4 = 4 - 3/8" DIA. AL. RIVETS PER END  
 3 = 3 - 3/8" DIA. AL. RIVETS PER END  
 5 = 5 - 5/16" DIA. AL. RIVETS PER END  
 4 = 4 - 5/16" DIA. AL. RIVETS PER END  
 3 = 3 - 5/16" DIA. AL. RIVETS PER END  
 2 = 2 - 5/16" DIA. AL. RIVETS PER END

POLYURETHANE INSULATION WILL BE ADDED  
TO THE INTERIOR SURFACE OF CUPOLA  
@ THE DISCRETION OF C.I.

ALL STR. AL. 6061-T6 AL. ALLOY  
ALL STR. RIVETS 5/16" DIA. 6061-T6  
ALLOY COLD DRIVEN W/ 1" MIN. SPACING.

CLASS II AL. LIGHTNING CABLE PIGTAIL  
(37 STRANDS OF 13ga. WIRE) BY C.I.  
\*C.I. NOT RESPONSIBLE FOR JOBSITE  
INSTALLATION OF LIGHTNING CABLE.  
\*G.C. CONNECT TO & CONT. TO GROUND

ALL ARCH. TO BE 1 1/2 x 1 1/2 x 1/8" AL  
\*UNLESS NOTED OTHERWISE

200W LIEON UNIVERSAL LED LIGHTS W/ AN ELECTRIC  
EYE CONTROLLER & WIRING IN CONDUIT TO JUNCTION  
BOX @ BASE OF CUPOLA.  
-G.C./OTHERS TO CONNECT TO POWER SOURCE.



THESE DRAWINGS ARE SUBMITTED FOR  
APPROVAL OF ARCHITECTURAL DESIGN  
& MEASUREMENTS. ONCE DRAWINGS ARE  
RETURNED TO C.I. MARKED "APPROVED",  
WE WILL DESIGN STRUCTURAL MEMBERS  
& SUBMIT DRAWINGS WITH A PROFESSIONAL  
ENGINEERING SEAL FOR YOUR RECORD.

ALL STRUCTURAL MEMBER  
SIZES ARE PENDING FINAL  
ENGINEERING ANALYSIS.



FINISH NOTE

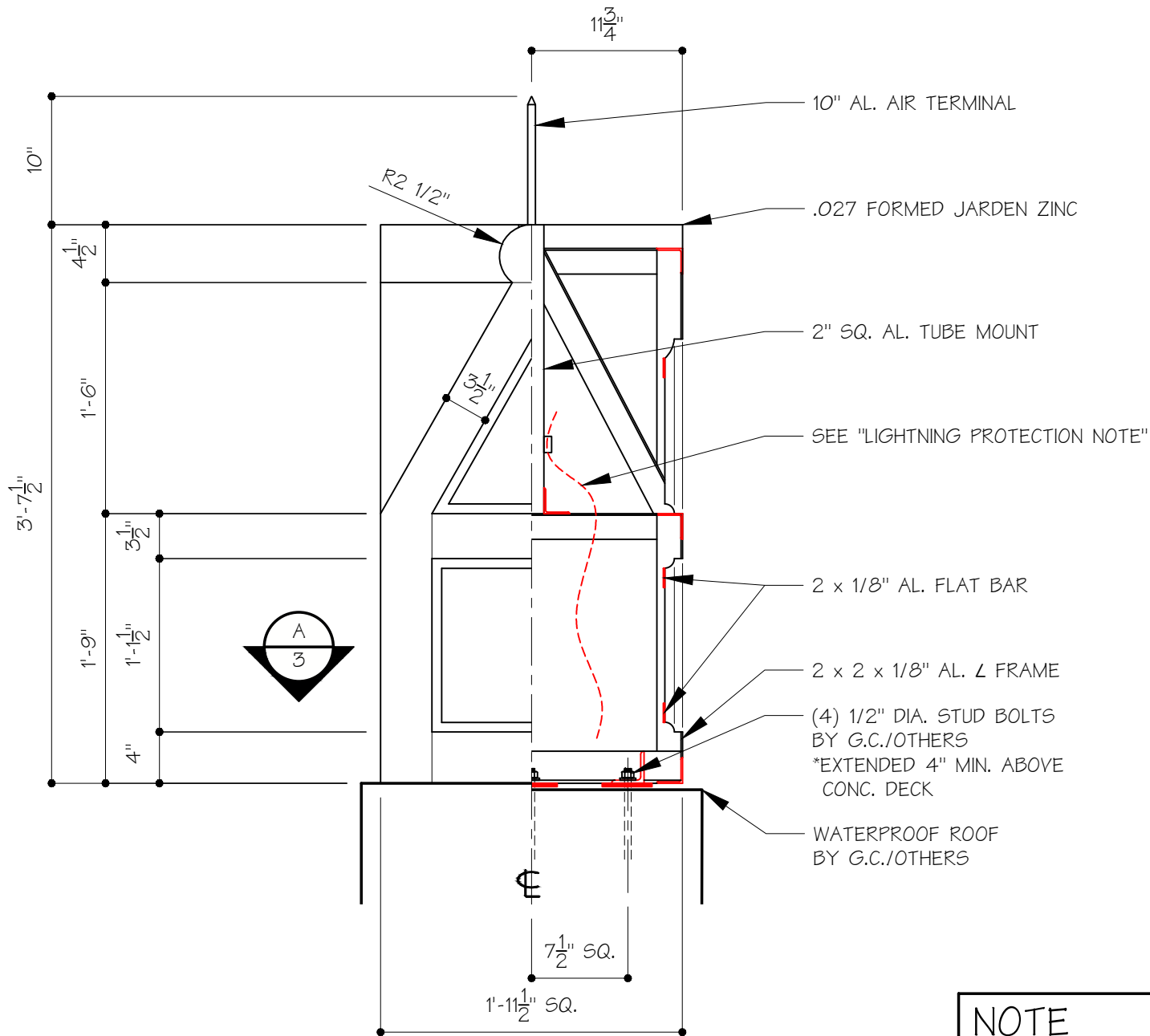
ALL CLADDING TO BE .027 JARDEN ZINC.

NOTE

ALL DISSIMILIAR METALS TO BE ISOLATED W/ A POLYKEN TAPE BY C.I. TO PREVENT ELECTROLYSIS.

LIGHTNING PROTECTION NOTE

CLASS II AL. LIGHTNING CABLE PIGTAIL (37 STRANDS OF 13ga. WIRE) BY C.I.  
\*C.I. NOT RESPONSIBLE FOR JOBSITE INSTALLATION OF LIGHTNING CABLE.  
\*G.C. CONNECT TO & CONT. TO GROUND.



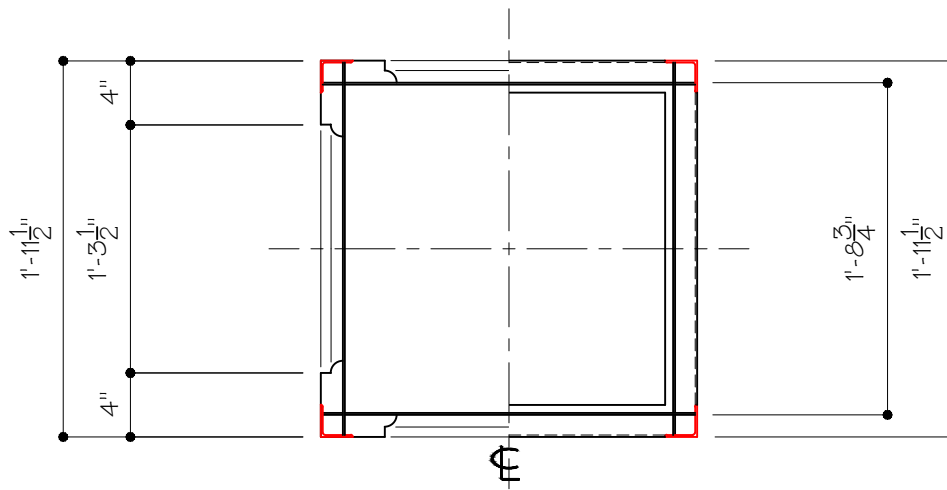
ELEVATION-SECTION

SCALE: 1" = 1'-0"

(2) LARGE ORNAMENTS REQ'D. THUS

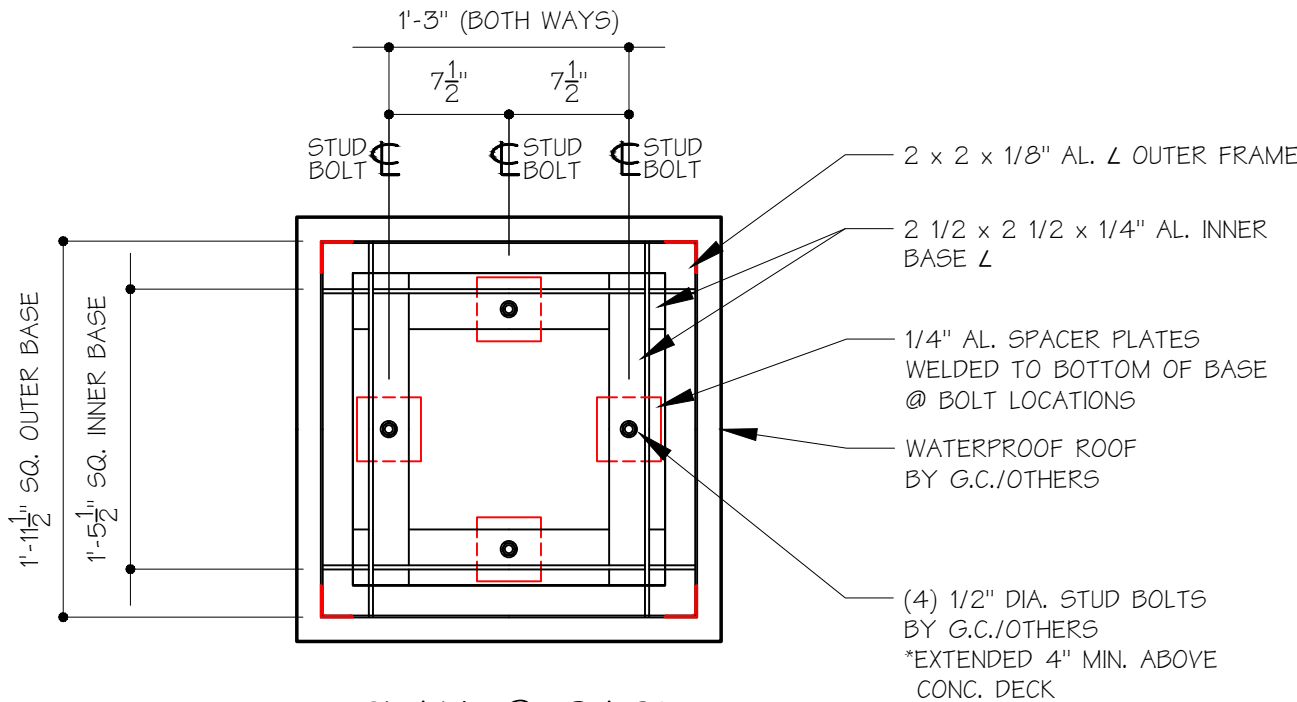
NOTE

(2) ORNAMENTS DELIVERED F.O.B. TO JOBSITE W/ INSTALLATION BY OTHERS



SECTION THRU

SCALE: 1" = 1'-0"



PLAN @ BASE

SCALE: 1" = 1'-0"

G.C./ARCHITECT/OWNER NOTE:

THESE DRAWINGS HAVE BEEN COMPLETED WITH THE MOST CURRENT INFORMATION WE HAVE ON YOUR PROJECT. FABRICATION WILL NOT BEGIN UNTIL ALL ROOF STRUCTURE & ANCHORING DIMENSIONS ARE APPROVED & CONFIRMED. CAMPBELLVILLE WILL NOT BE RESPONSIBLE FOR COSTS ASSOCIATED WITH IMPROPER ROOF DETAILS OR DIMENSIONS.

SIGNATURE \_\_\_\_\_ DATE: \_\_\_\_\_



# LEDXLFL

## XLARGE

### 135W,200W



## DESCRIPTION

The LEDXLFL luminaire is a high performance LED lighting solution designed with optical versatility and a slim, low profile design. Its rugged cast aluminum housing minimizes wind load requirements and features an integral, watertight LED driver compartment and high performance aluminum heat sink. This luminaire is available in 135W, 200W with trunnion, and slipfitter

## APPLICATION

Parking lots, walkways, campuses, car dealerships, office complexes, and internal roadways

LEDXLFL		3000K		4000K		5000K	
WATTAGE	VOLTAGE	LUMENS	LPW	LUMENS	LPW	LUMENS	LPW
135W	120-277VAC	17100lm	127lm/W	17500lm	130lm/W	17500lm	130lm/W
135W	347-480VAC	17000lm	127lm/W	17500lm	130lm/W	17500lm	130lm/W
200W	120-277VAC	24600lm	123lm/W	25600lm	128lm/W	25600lm	128lm/W
200W	347-480VAC	24600lm	123lm/W	25600lm	128lm/W	25600lm	128lm/W

## MOUNTING OPTIONAL



Slipfitter



Trunnion

## ACCESSORIES



WPPC

## ORDERING GUIDE

## EXAMPLE LEDXLFL

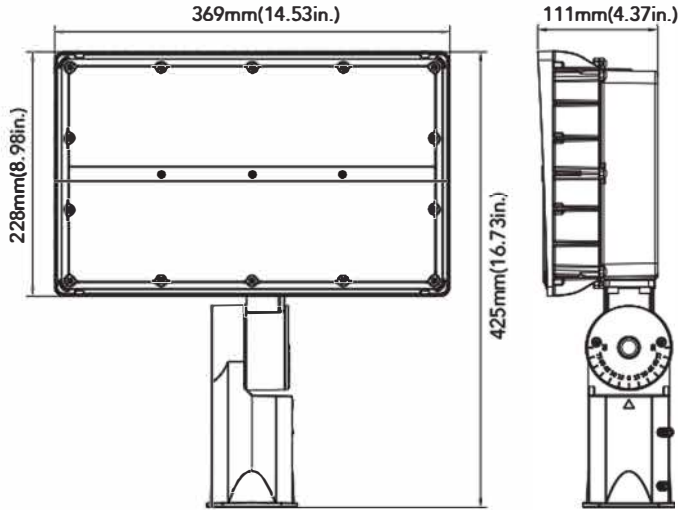
Series	Wattage	CCT	Voltage	Dimmable	Finishing	Photocell	MOUNTING (Optional)
LEDXLFL	<input type="checkbox"/> 135W 135WATT	<input type="checkbox"/> 30K 3000K	<input type="checkbox"/> Blank 120-277VAC	<input type="checkbox"/> BLANK 1-10V DIM	<input type="checkbox"/> Blank Dark Bronze	<input type="checkbox"/> Blank No Photocell	<input type="checkbox"/> -TM Trunnion Mount
	<input type="checkbox"/> 200W 200WATT	<input type="checkbox"/> 40K 4000K	<input type="checkbox"/> HV 347-480 VAC		<input type="checkbox"/> -BK Black	<input type="checkbox"/> -PC Internal Photocell	<input type="checkbox"/> -SP Slipfitter Mount
		<input type="checkbox"/> 50K 5000K			<input type="checkbox"/> -WH White		

- \* 135W, 200W dimmable
- \* 135W, 200W suitable for 347-480V input voltage
- \* Custom color lead time is 8-10 weeks

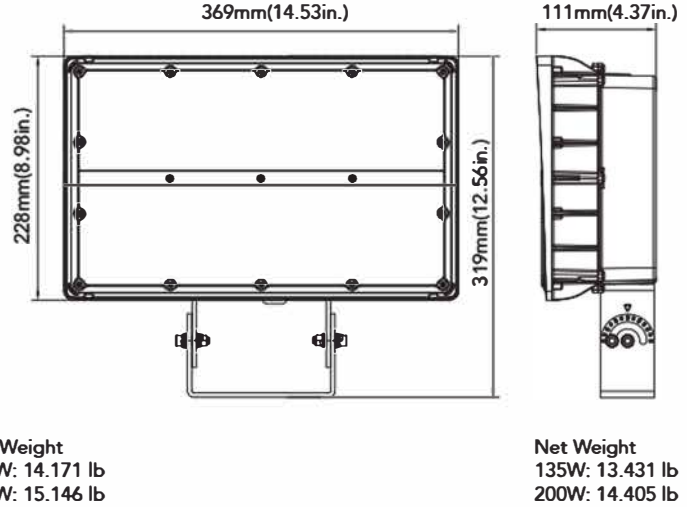


## DIMENSIONS

### 135W&200W(Slipfitter Mount)



### 135W&200W(Trunnion Mount)



Net Weight  
135W: 14.171 lb  
200W: 15.146 lb

Net Weight  
135W: 13.431 lb  
200W: 14.405 lb

## OPTIONAL ACCESSORIES

### Photocell



WPPC - INTERNAL PHOTOCELL

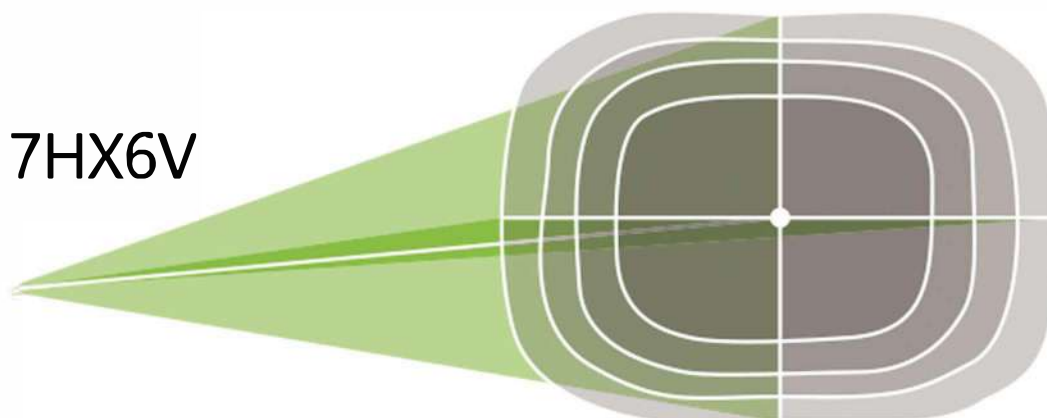
### INTERNAL PHOTOCELL

- Dusk to dawn photocell sensor
- Internally installed in the fixture.
- Reduce maintenance cost and energy consumption
- UL Listed global safety certification

VOLTAGE	DELAY TIME	OPERATING TEMP	FUNCTION
120/277VAC	Up to 15 sec	40°F to 158°F	Dusk to dawn switch



## PHOTOMETRY



## PERFORMANCE DATA

### ELECTRICAL DATA

NUMBER OF DRIVER	WATTAGE	120V	208V	240V	277V	347V	480V
2	135W	1.13	0.65	0.56	0.49	0.39	0.28
2	200W	1.67	0.96	0.83	0.72	0.58	0.42

LEDXLFL				3000K		4000K		5000K	
WATTAGE	VOLTAGE	DIST. TYPE	CRI	LUMENS	LPW	LUMENS	LPW	LUMENS	LPW
135W	120-277VAC	7HX6V	70	17100lm	127lm/W	17500lm	130lm/W	17500lm	130lm/W
135W	347-480VAC	7HX6V	70	17000lm	127lm/W	17500lm	130lm/W	17500lm	130lm/W
200W	120-277VAC	7HX6V	70	24600lm	123lm/W	25600lm	128lm/W	25600lm	128lm/W
200W	347-480VAC	7HX6V	70	24600lm	123lm/W	25600lm	128lm/W	25600lm	128lm/W

Specification:	
Efficacy	≤130lm/W
CRI	70
Lumens	17500 - 25600lm
CCT	3000K/4000K/5000K
Electrical	120-277V/347-480V
Dimming	1-10V Dimable
Ambient Temperature	-40°F - 104°F
Warranty	5 Year



**Photocell(Optional)**

Allows for security and energy saving

**Lens**

Polycarbonate as an outer coating is used for our LED flood light to achieve an optimal lighting performance and durability. The door frame is sealed with an extruded silicone gasket to prevent moisture from accumulating.


**Housing**

Electrical compartment and fitter are all made from die case aluminum that is pre-treated and powder-coated to meet the most rugged industry standard.

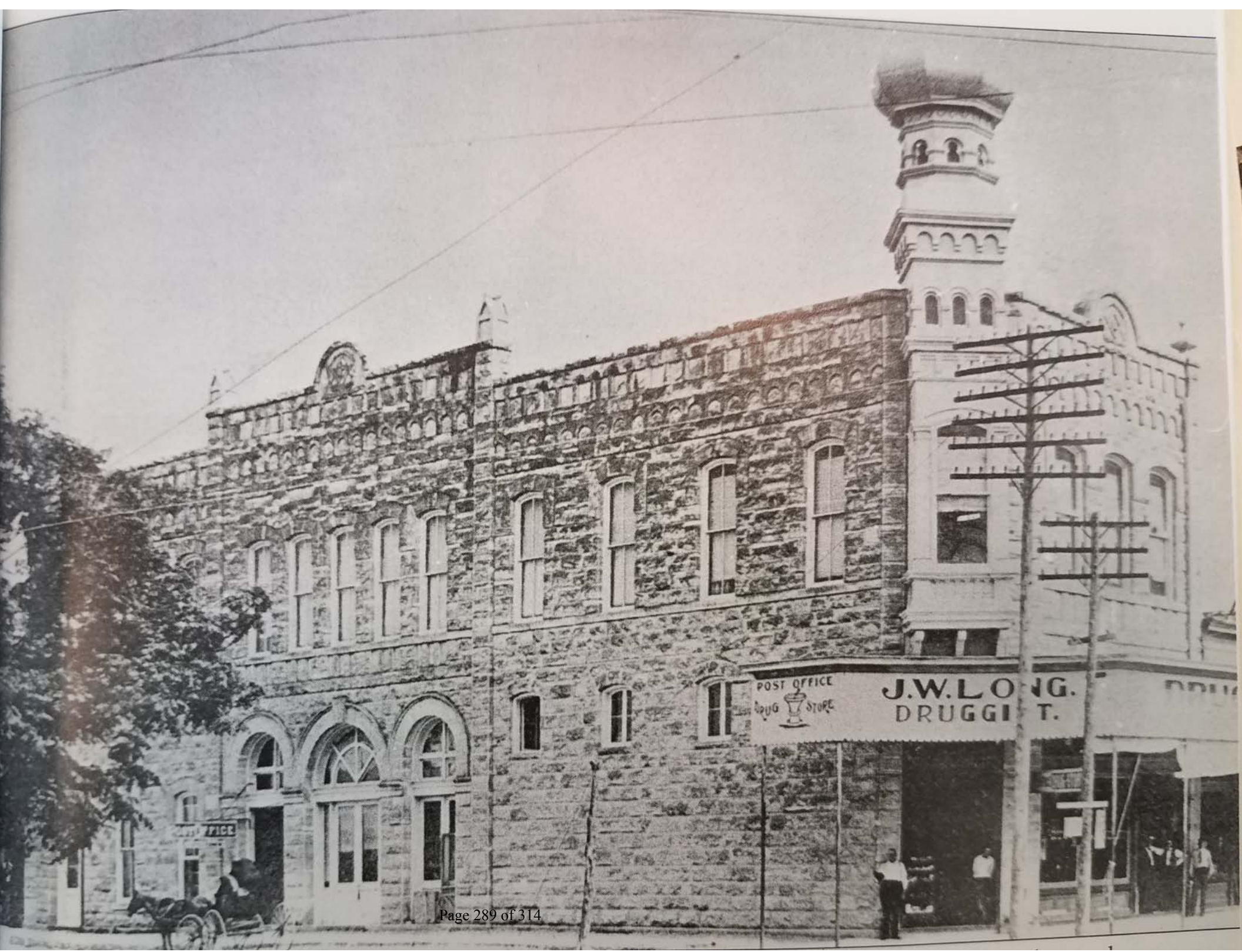
**Mounting Option**

Trunnion  
Slipfitter

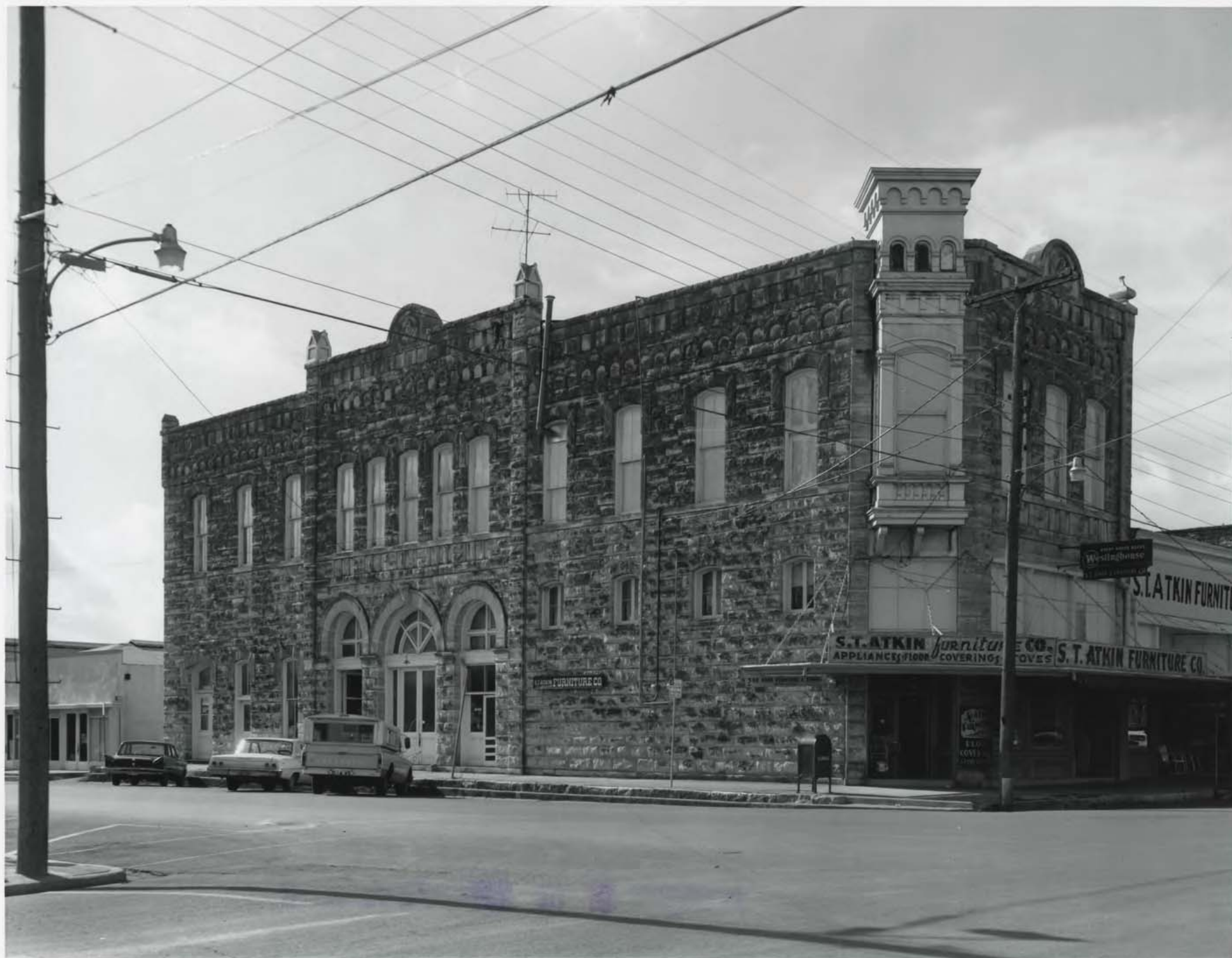


Old Main Street East Side Of Courthouse  
Georgetown, Williamson County, Texas











Williamson County Courthouse  
Historic District

Georgetown, Texas

FEB 11 1977

*Williamson County, TX*

Texas Historical Commission, 1970  
THC

Northwest oblique of the Masonic  
Temple, 701 Main St. (11)

Photo #7 *of 20*

JUL 26 1977

PROPERTY OF THE NATIONAL REGISTER

# Whirligig

The Sunday Sun

August 11, 1985



The 31-foot, five-meter, clay up from Georgetown sidewalks to take its rightful place atop the Masonic Lodge building.

## DOMEDAY



An early morning crowd gathers in the dome's shadow with building owner Laura West-Clarke, near center in black, to watch the hoisting and hooking of the top.

By Linda Latham Welch

It's an onion. It's a turnip! No, it's something out of a 1930's science fiction movie. Make that's what

The Masonic Lodge building in Georgetown, got back its turn-of-the-century look early Wednesday morning when workers gingerly plopped a custom-made ear replica of the original dome, built in 1900.

Building owner Laura West-Clarke will be the first to tell you it's all magic. She spent a couple of years hunting for someone to construct a new one, and the last set of eight tons was delivered last week. It cost \$25,000 when it was put to look like

"It's gorgeous. I am amazed and very pleased," she said Wednesday as she snapped pictures after picture of the dome during its hoisting and hooking.

"Did anyone bring champagne?" asked architect Dennis Barthelemy. "No, I'll have to order it. I don't want it to get some."

Mark Trobridge with the Texas Historical Foundation, on his way to photograph the sight, said he knew he was running late when he looked out his car window and saw the dome going up all the way from Interstate 55, about 100 pounds, with a diameter of eight feet, is made of pre-weathered microcline and gold leaf.

It came in three pieces on a trailer Tuesday from Campbellville Industries in Campbellville, Kentucky. It spent the night in front of its new home and was pieced together and fitted right on schedule.

The dome, which cost \$25,000, compared to other domes, especially the copper ones, says West-Clarke said.

"That's all the company makes, and apparently there is a big market for domes, steeples and cupolas, especially onion-shaped domes, because West-Clarke ordered hers right out of the catalog.

"Anybody could just pick up a catalog, place an order and have a dome," she said. She put her order in about eight months ago and it took about a week and a half to make the top.

The soil, charcoal gray and gold, onion-shaped decoration sits on a steel substructure and is considered cheap compared to fiberglass, heavy-gauge aluminum or copper domes.

"I thought about copper, but after looking at the courthouse . . . I decided Georgetown didn't need two copper domes," West-Clarke said.

The onion, complete with its very own gold-leaf spin, stands some 65 to 67 feet from the sidewalk and much higher than the original dome, which was removed and replaced around 1921.

Harold von Michael, brought the covering to Georgetown, and he's been putting domes in their old places for 15 years and has never done a one.

"This one's pretty routine, not complicated. We do about two to 10 a week. We're building a 220-foot steeple now for a church in Huntsville, Alabama," Heaton said as he prepared to take a crane ride to the top

to put on the spiral.

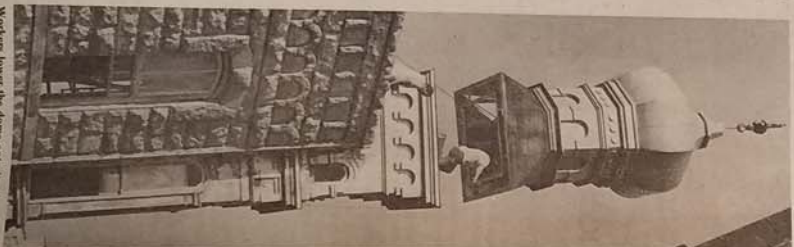
Now, to Dennis Barthelemy with the Doug L. Anderson Construction Company, scoring fees for the building, dome business is too

"I've never done a dome. It's all new to me. It's interesting," he said.

As she watched the 35-ton crane, with its 85-foot boom, hoist the dome being lowered by help would make West-Clarke choke.

"It won't blow over," Doug Anderson assured her. "It's being fastened down real good."

Once the rest of the building is complete, it will house a Culture Center, an art studio, a draftman studio or a teen club upstairs.



Workers lower the dome onto its platform where it will sit about 65 feet above street level.



Silhouetted workers position the near-replica of the Masonic Lodge dome built in 1900 and apparently dismantled and destroyed in 1925-26.



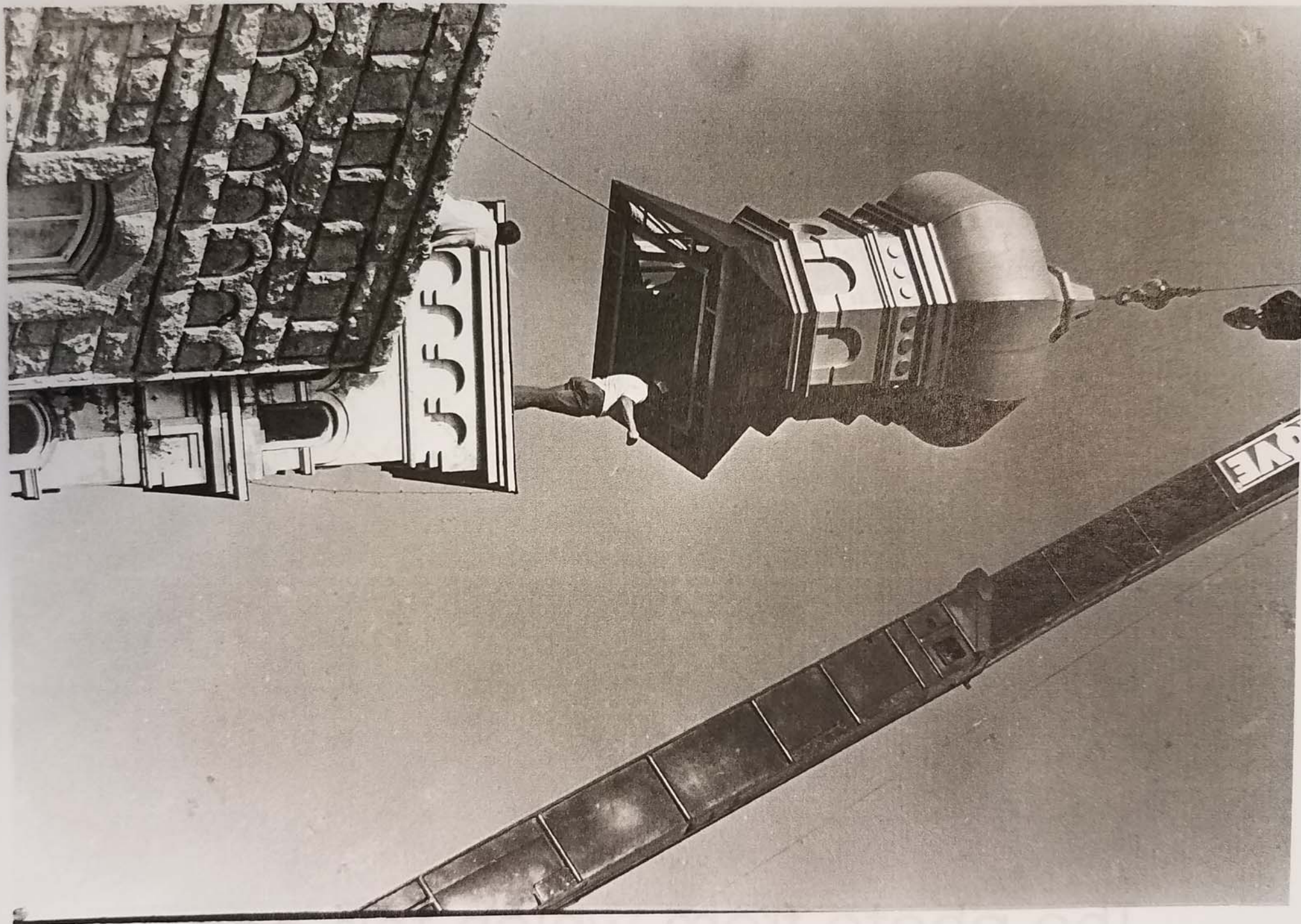
Photos by David Sprague

A construction worker, left, takes direction from crane installer Burr Heaton who is inside the onion-shaped top.















## **PRESERVATION PROJECT IN GEORGETOWN TO REVITALIZE AN OLD RELIC**

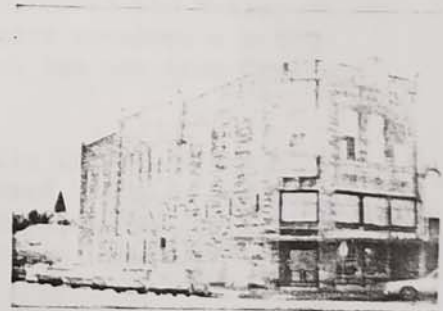
An exciting restoration project in Georgetown, which was a beneficiary of the Preservation Revolving Fund of the Texas Historical Foundation, is underway and will result in the rescue of the 1901 Masonic Lodge in the Historic District of downtown Georgetown. The Lodge was built by the San Gabriel Masons in 1900. For years the Masons had occupied temporary buildings and decided that they wanted a more substantial lodge for themselves. After the building was completed the Masons occupied the upper level until the building was sold in January of 1982. At various times throughout the years, the lower level of this building housed the J. W. Long Drug Store, the city post office, several doctors' offices,

and the Atkin and, later, Phillips Furniture Store.

Renovation of this handhewn limestone building, with its unique architectural features which include a corner battlement, will begin this summer. The extensive restoration plans include reconstruction of all doors, windows, and wood trim, which will be repainted in the original colors. The masonry will be repaired and repointed where needed. A new canopy will replace the deteriorated old one and the crowning touch will be the placement of a newly fabricated cupola on the corner battlement. The old "onion dome" was removed in the 1920s. The interior of the building will be renovated for reuse as a retail and office center. Upon completion of this project, the Masonic Lodge building will be a charming and unique place for its tenants to work and those people who will have the fortunate opportunity

of visiting and shopping in this wonderful historic building.

Both public and private entities may apply to the Foundation for loans from the Preservation Revolving Fund for sites listed in the National Register, recorded as Texas Historic Landmarks, or regarded as eligible for either designation. Applications for loans are reviewed quarterly by the Foundation's Revolving Fund Committee. For more information, contact the Foundation's office in Austin.



## **REGIONAL AND COUNTY NETWORK**

The THF, in an effort to make communication with its members more effective and efficient, is establishing a Regional and County Network. The network will allow the THF Board of Directors, staff, and advisory committees to maintain more effective two-way communication with local and regional historic associations, individual members, and the public at large. The system will not only make it easier and more cost efficient to alert the

state of issues affecting historical preservation but also provide a better means of informing the Foundation about matters of local interest and concern. Such a method will establish clear lines of communication, facilitate joint activities, and increase the strength of all participants.

If you are interested in becoming a part of this preservation network or you know someone in your county who might be interested, call or write for more information to Tanya Fain, at the THF offices in Austin.



701 Main St.  
Masonic Temple

Notes on information compiled by Clara Scarbrough:

Belford Lumber Company contracted to build this structure for \$8,100 late in April of 1900. By that September, the four exterior walls were in place. When the famous Galveston storm hit the Texas coast that month, Georgetown citizens were concerned that the terrific hurricane winds would damage or tumble the Temple's walls.

But throughout the storm, "the four sheer walls of the Temple" stood firm, enhancing the already excellent reputation of the Belford firm.

The upstairs of the building was always reserved for the use of the Masonic Lodge. At various times, the lower portion has been occupied by the post office and later by a drug store. (The drug store boasted one of the earliest soda fountains in town.) The Lodge also rented out offices at different times to three doctors.

One of these doctors, Dr. Price, got into an argument with the town night watchman, Alvin Townsley. Townsley shot the physician, but Price recovered -- apparently because he was extremely overweight and his "padding" deflected the bullet which otherwise might have killed him. (The night watchman later received a prison sentence for another shooting at a football game in which two men from Giddings were shot.)

A double tragedy occurred at the door of the building while it housed the post office. A prominent Georgetown man, J. T. Sneed, collected his mail and then stepped outside. He was shot and killed by a man who stood across the street, about at the spot where the Georgetown Public Library is now. Sneed's assailant then turned the gun on himself and took his own life.

But many happier events took place in these surroundings. The soda fountain was a popular meeting place for townspeople and for visitors from out of town who came to Georgetown on business at the Courthouse, or who were attending one of the "First Monday" events -- which included an all-day sale on the Courthouse grounds and picnics on the lawn.

The San Gabriel Masonic Lodge, chartered on May 18, 1851, was the first Masonic Lodge to be organized in Williamson County.

In 1925 S. T. Atkin Furniture acquired the lease for the first floor.

Note from Scrapbook:

The Masonic insignia is worked in stone at the top center of the facade facing west, and repeated on the north side... An early photograph shows the turreted corner having an onion shaped decorative top, giving it an oriental flavor.

701

MAIN





# 110 E. 7<sup>th</sup> St. (Masonic Lodge) 2020-2-COA

**Historic Architectural Review Commission**  
July 22, 2021

# Item Under Consideration

## **2020-2-COA – 110 E. 7<sup>th</sup> Street**

- Public Hearing and Possible Action on a request for a Certificate of Appropriateness for the replacement of a historic architectural feature with a non-historic architectural feature at the property located at 110 E. 7th Street, bearing the legal description 0.0826 acres being the north part of Lot 2, Block 40, City of Georgetown.



# Item Under Consideration

## HARC:

- Addition of light fixtures to illuminate the replaced onion dome

# Item Under Consideration







## LOCATION

2020-2-COA

Exhibit #1

-  Site
-  Parcels
-  City Limits
-  Georgetown ETJ



0 100 200  
Feet



# Current Context

**Historic Properties Map** HARC Website

701 s main

Show search results for 701 s main

100ft

TX Orthoimagery Program, Williamson Co

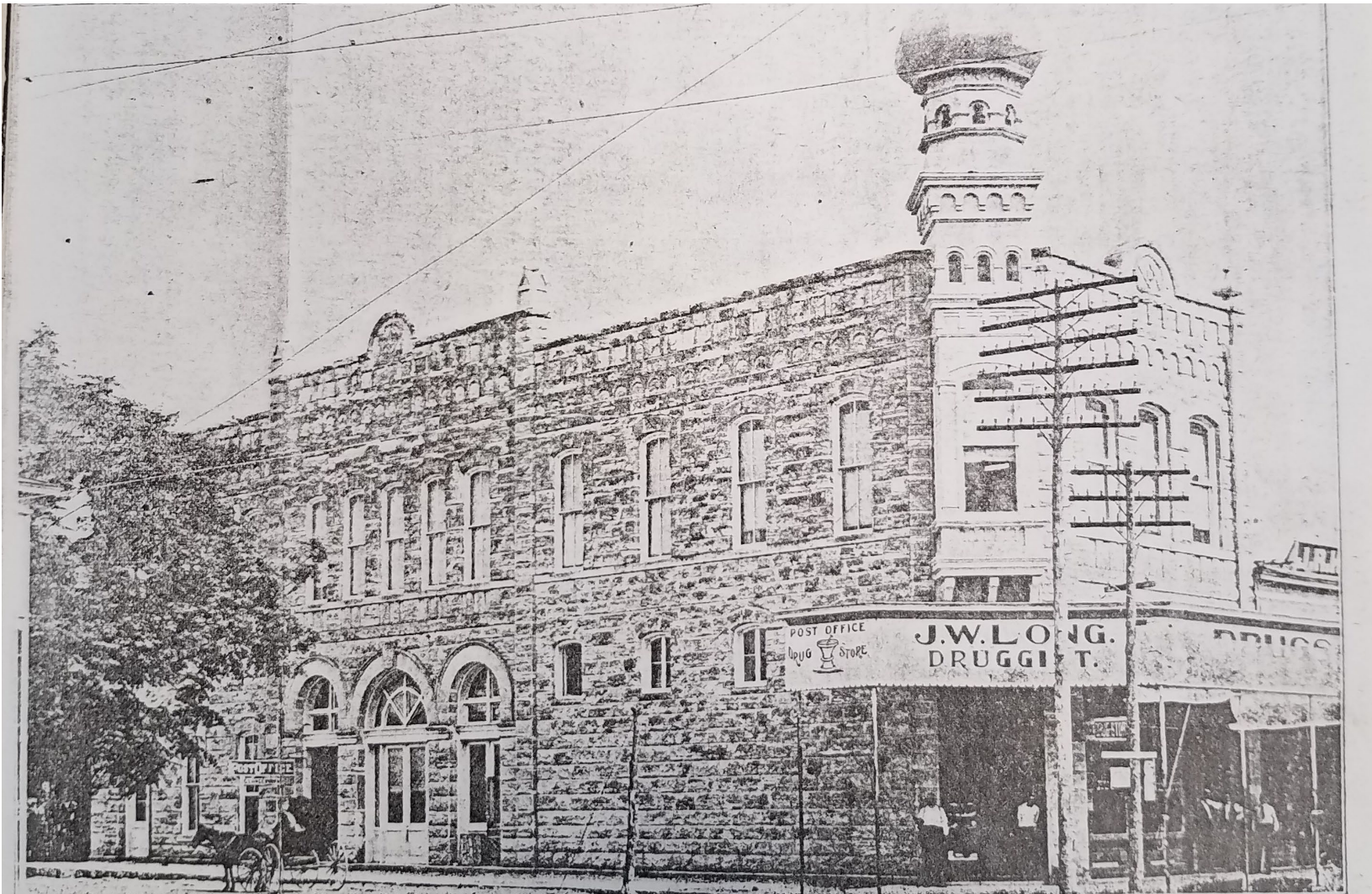
**Layer List**

**Layers**

- ☒ Map Layers
- ☒ Priority Designation
  - ☒ 2016 High Priority
  - ☒ 2016 Medium Priority
  - ☒ 2016 Low Priority
- ☒ Historic Overlays
  - ☒ Downtown Overlay District
  - ☒ Old Town Overlay
- ☐ National Register Districts
  - ☐ Olive Street Nat. Reg. Dist.
  - ☐ Williamson County Courthouse Nat. Reg. Dist.
  - ☐ Belford Nat. Reg. Dist.
  - ☐ University-Elm Nat. Reg. Dist.
- ☐ Other Historical Designations

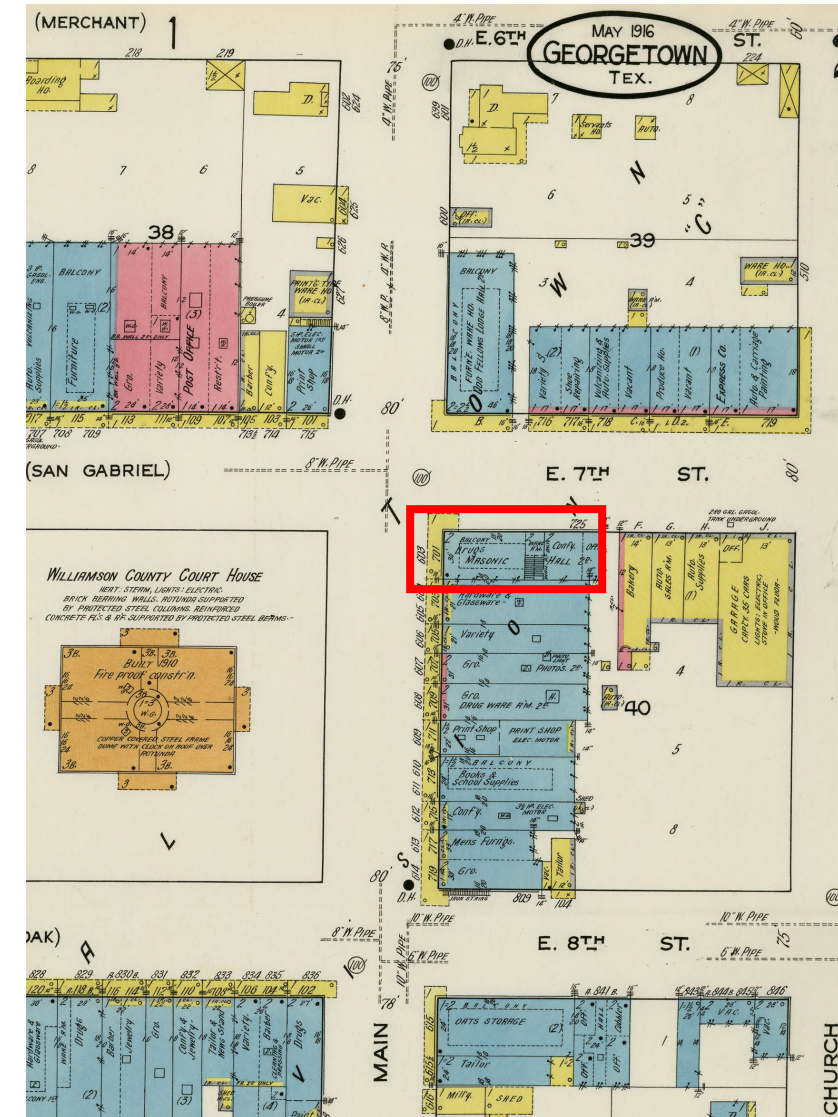


# Historic Photo – c. 1908



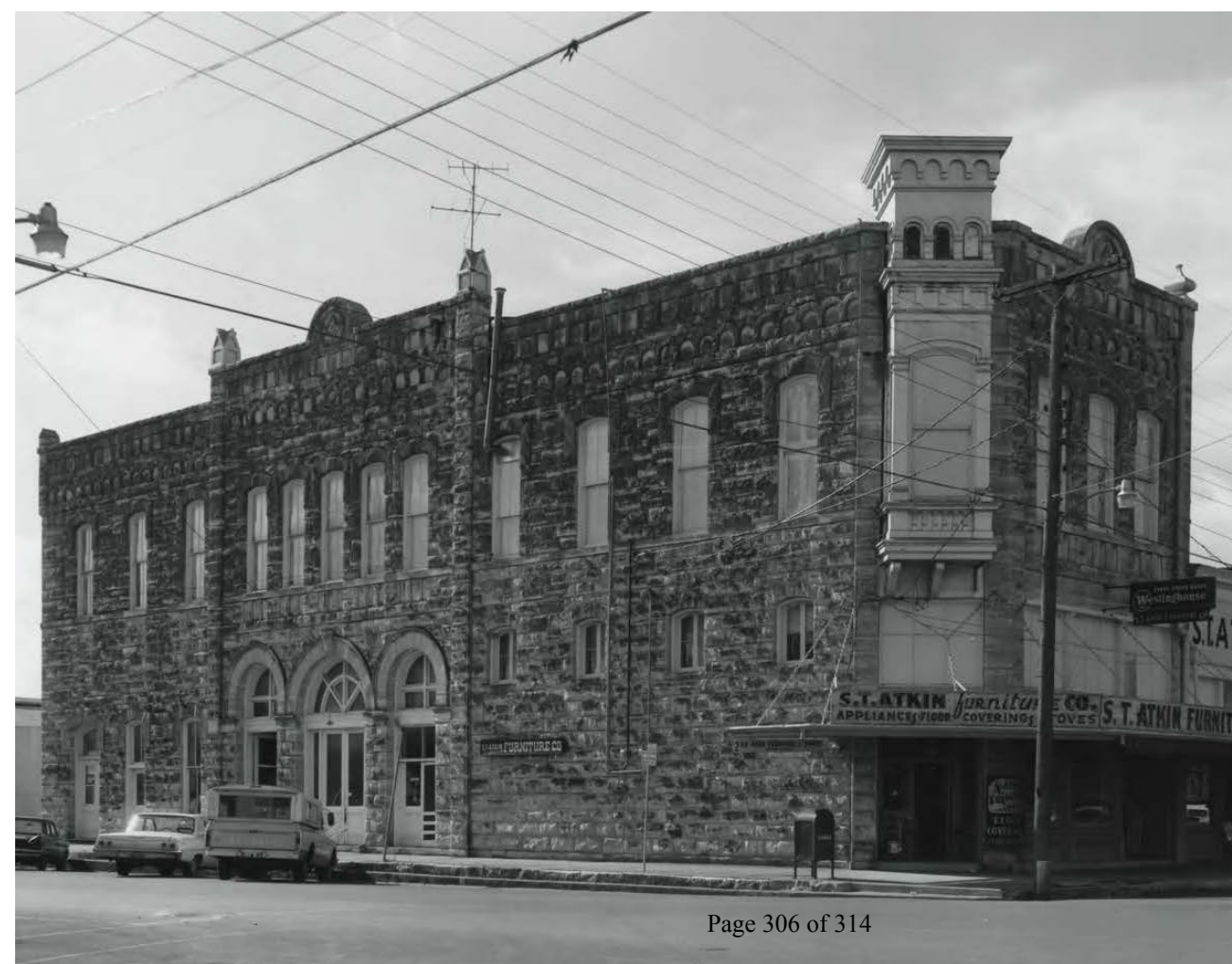
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GEORGETOWN MASONIC TEMPLE





# Historic Photo – 1977 (NR) / 1983 (HRS)





# Historic Photos - 1985



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# Dome Lighting



PROJECT: \_\_\_\_\_  
 CATALOG: \_\_\_\_\_  
 FIXTURE TYPE: \_\_\_\_\_  
 NOTES: \_\_\_\_\_



## LEDXLFL XLARGE 135W, 200W



### DESCRIPTION

The LEDXLFL luminaire is a high performance LED lighting solution designed with optical versatility and a slim, low profile design. Its rugged cast aluminum housing minimizes wind load requirements and features an integral, watertight LED driver compartment and high performance aluminum heat sink. This luminaire available in 135W, 200W with trunnion, and slipfitter

### APPLICATION

Parking lots, walkways, campuses, car dealerships, office complexes, and internal roadways

LEDXLFL		3000K		4000K		5000K	
WATTAGE	VOLTAGE	LUMENS	LPW	LUMENS	LPW	LUMENS	LPW
135W	120-277VAC	17100lm	127lm/W	17500lm	130lm/W	17500lm	130lm/W
135W	347-480VAC	17000lm	127lm/W	17500lm	130lm/W	17500lm	130lm/W
200W	120-277VAC	24600lm	123lm/W	25600lm	128lm/W	25600lm	128lm/W
200W	347-480VAC	24600lm	123lm/W	25600lm	128lm/W	25600lm	128lm/W

### MOUNTING OPTIONAL



### ACCESSORIES



### ORDERING GUIDE

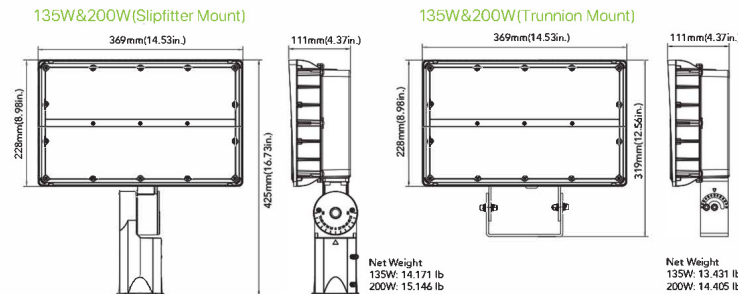
### EXAMPLE LEDXLFL

Series	Wattage	CCT	Voltage	Dimmable	Finishing	Photocell	MOUNTING (Optional)
LEDXLFL	<input type="checkbox"/> 135W 135WATT	<input type="checkbox"/> 30K 3000K	<input type="checkbox"/> Blank 120-277VAC	<input type="checkbox"/> BLANK 1-10V DIM	<input type="checkbox"/> Blank/Dark Bronze	<input type="checkbox"/> Blank No Photocell	<input type="checkbox"/> -TM Trunnion Mount
	<input type="checkbox"/> 200W 200WATT	<input type="checkbox"/> 40K 4000K	<input type="checkbox"/> HW 347-480 VAC		<input type="checkbox"/> -BK Black	<input type="checkbox"/> -PC Internal Photocell	<input type="checkbox"/> -SP Slipfitter Mount
		<input type="checkbox"/> 50K 5000K			<input type="checkbox"/> -WH White		

- \* 135W, 200W dimmable
- \* 135W, 200W suitable for 347-480V input voltage
- \* Custom color lead time is 8-10 weeks



### DIMENSIONS



### OPTIONAL ACCESSORIES

#### Photocell



WPPC - INTERNAL PHOTOCELL

#### INTERNAL PHOTOCELL

- Dusk to dawn photocell sensor
- Internally installed in the fixture.
- Reduce maintenance cost and energy consumption
- UL listed global safety certification

VOLTAGE	DELAY TIME	OPERATING TEMP	FUNCTION
120/277VAC	Up to 15 sec	40°F to 158°F	Dusk to dawn switch



**Photocell (Optional)**  
 Allows for security and energy saving

**Lens**  
 Polycarbonate as an outer coating is used for our LED flood light to achieve an optimal lighting performance and durability. The door frame is sealed with an extruded silicone gasket to prevent moisture from accumulating.

**Housing**  
 Electrical compartment and fitter are all made from die-cast aluminum that is pre-treated and powder-coated to meet the most rugged industry standard.

**Mounting Option**  
 Trunnion  
 Slipfitter





# Photos of Existing - Daytime





# Photos of Existing - Night





# Approval Criteria – UDC Section 3.13.030

Criteria	Staff's Finding
1. The application is complete and the information contained within the application is correct and sufficient enough to allow adequate review and final action;	<b>Complies</b>
2. Compliance with any design standards of this Code;	<b>Complies</b>
3. Compliance with the Secretary of the Interior's Standards for the Treatment of Historic Properties to the most extent practicable;	<b>Partially Complies</b>
4. Compliance with the adopted Downtown and Old Town Design Guidelines, as may be amended from time to time, specific to the applicable Historic Overlay District;	<b>Partially Complies</b>
5. The general historic, cultural, and architectural integrity of the building, structure or site is preserved;	<b>Complies</b>
6. New buildings or additions are designed to be compatible with surrounding properties in the applicable historic overlay district;	<b>N/A</b>
7. The overall character of the applicable historic overlay district is protected; and	<b>Partially Complies</b>
8. The Master Sign Plan is in keeping with the adopted Downtown and Old Town Design Guidelines and character of the historic overlay district.	<b>N/A</b>

# Public Notification

- Two (2) signs posted on the property.
- Staff has received 0 comments in favor and 0 opposed.



# Recommendation

Staff recommends ***approval*** of the request, with the condition that the light be warm white light only.

# HARC Motion – 2020-2-COA

- Approve (as presented by the applicant)
- Deny (as presented by the applicant)
- Approve with conditions
- Postpone