

Notice of Meeting of the Governing Body of the City of Georgetown, Texas January 12, 2021

The Georgetown City Council will meet on January 12, 2021 at 6:00 PM at Virtual Meeting

The City of Georgetown is committed to compliance with the Americans with Disabilities Act (ADA). If you require assistance in participating at a public meeting due to a disability, as defined under the ADA, reasonable assistance, adaptations, or accommodations will be provided upon request. Please contact the City Secretary's Office, at least three (3) days prior to the scheduled meeting date, at (512) 930-3652 or City Hall at 808 Martin Luther King Jr. Street, Georgetown, TX 78626 for additional information; TTY users route through Relay Texas at 711.

To join from a PC, Mac, iPad, iPhone or Android click this URL to join:

[https://georgetowntx.zoom.us/j/96433876389?](https://georgetowntx.zoom.us/j/96433876389?pwd=WXdWNmtFNFJCaGh1YUNUZ1pPU2lFdz09)

pwd=WXdWNmtFNFJCaGh1YUNUZ1pPU2lFdz09

Webinar ID: 964 3387 6389

Passcode: 574467

Description: City Council Workshop and Regular Meeting for January 12, 2021

Or join by phone:

(346)248-7799 OR (669)900-6833 OR (253)215-8782 OR (301)715-8592

OR (312)626-6799 OR (929)205-6099

Toll Free (888)475-4499 OR (833)548-0276 OR (833)54800282 OR (877)853-5257

Webinar ID: 964 3387 6389

Passcode: 574467

Citizen comments are accepted in three different formats:

Submit the following form by 12:00 p.m. on the date of the meeting and the City Secretary will read your comments into the recording during the item that is being discussed –

<https://records.georgetown.org/Forms/AddressCouncil>

You may log onto the meeting, at the link above, and “raise your hand” during the item. If you are unsure if your device has a microphone please use your home or mobile phone to dial the toll free number. To Join a

Zoom Meeting, click on the link and join as an attendee. You will be asked to enter your name and email address – this is so we can identify you when you are called upon. At the bottom of the webpage of the Zoom Meeting, there is an option to Raise your Hand. To speak on an item, simply click on that Raise Your Hand option once the item you wish to speak on has opened. When you are called upon by the Mayor, your device will be remotely un-muted by the Administrator and you may speak for three minutes. Please state your name clearly upon being allowed to speak. When your time is over, your device will be muted again.

City Council Chamber will be open to the public and a member of the public may make a comment on an agenda item in the Chambers. Social Distancing will be strictly enforced. Audience capacity is limited to 41 attendees. Face masks are required and will be provided onsite. Use of profanity, threatening language, slanderous remarks or threats of harm are not allowed and will result in you being immediately removed from the meeting.

If you have questions or need assistance, please contact the City Secretary's office at cs@georgetown.org or at 512-930-3651.

Regular Session

(This Regular Session may, at any time, be recessed to convene an Executive Session for any purpose authorized by the Open Meetings Act, Texas Government Code 551.)

A Call to Order

Pledge of Allegiance

Comments from the Mayor

Announcements

Action from Executive Session

Public Wishing to Address Council

On a subject that is posted on this agenda: Please fill out a speaker registration form which can be found on the table at the entrance to the Council Chamber. Clearly print your name and the letter of the item on which you wish to speak and present it to the City Secretary on the dais, prior to the start of the meeting. You will be called forward to speak when the Council considers that item. Only persons who have delivered the speaker form prior to the meeting being called to order may speak. Speakers will be allowed up to three minutes to speak.

On a subject not posted on the agenda: An individual may address the Council at a regular City Council meeting by contacting the City Secretary no later than noon on the Wednesday prior to the Tuesday meeting, with the individual's name and a brief description of the subject to be addressed. Only those persons who have submitted a timely request will be allowed to speak. Speakers will be given up to three

minutes to address the City Council. The City Secretary can be reached at (512) 931-7715 or cs@georgetown.org. Speakers will be allowed up to three minutes to speak.

B At the time of posting no one had signed up to speak.

Statutory Consent Agenda

The Statutory Consent Agenda includes non-controversial and routine items that may be acted upon with one single vote. An item may be pulled from the Consent Agenda in order that it be discussed and acted upon individually as part of the Regular Agenda.

- C Consideration and possible action to approve the **minutes** of the Workshop and Regular Meetings held on December 8, 2020 and Special Meeting held on December 22, 2020 -- Robyn Densmore, City Secretary
- D Consideration and possible action to **appoint Jim Salyer as a regular member to the Planning and Zoning Commission to fill a vacancy** -- Mayor Josh Schroeder
- E Consideration and possible action to approve a Resolution confirming the **appointment of Luis Zamot** to a term on the Fire Fighters' and Police Officers' **Civil Service Commission** -- Tadd Phillips, Director of Human Resources
- F Consideration and possible action to ratify and approve the **annual estimated expenditures** with **Amazon.com** to provide a variety of **supplies** and **equipment** through the **Omnia Purchasing Cooperative, Contract R-TC-17006**, in an amount not to exceed **\$100,000.00** -- Leah Neal, Purchasing Manager
- G Consideration and possible action to accept a **grant award** and **revenue** in the amount of **\$55,463.78** for the Coronavirus Aid, Relief, and Economic Security (**CARES**) **Act funding through Williamson County, Texas** -- Leigh Wallace, Finance Director
- H **Forwarded from General Government and Finance Advisory Board (GGAF):**
Consideration and possible action to approve issuance of a **Purchase Order** for **utility bill printing** and **mailing services** through **February 21, 2022** to **Dataprose LLC** pursuant to a **piggyback** clause in an agreement with the **City of Plano** at an annual cost of **\$315,840.00** -- Leticia Zavala-Jones, Director of Customer Care
- I **Forwarded from the Library Advisory Board:**
Consideration and possible action to approve a **Special Projects grant application** to **Texas State Library and Archives Commission** from Georgetown Public Library for **\$25,000.00** in funding toward the **Georgetown Remembers project** -- Eric P. Lashley, Library Director
- J **Forward from the General Government and Finance Advisory Board:**
Consideration and possible action to approve of an **annual dedicated support contract** for **facility access control** and **video surveillance** to be provided by **Convergint Technologies** of Austin, TX for the annual amount of **\$92,040.00** per **IAW Sourcewell Contract No: 031517-CTL** -- Eric Johnson – Facilities Director
- K **Forwarded from the Georgetown Electric Utility Board:**
Consideration and possible action to approve **annual task orders** (**MEI-21-001** in the amount of **\$200,000.00**; **MEI-21-002** in the amount of **\$250,000.00**; **MEI-21-003** in the amount of **\$590,000.00**) with **McCord Engineering Inc.**, of College Station, Texas for **professional engineering services** -- Mike Westbrook, Electric Operations and Engineering Manager
- L **Forwarded from the Georgetown Electric Utility Board:**
Consideration and possible action to **renew the Annual Electric System Underground Construction and Maintenance Bid for labor services** to **Pedro S.S. Services, Inc.** of Austin, Texas, in the not to exceed amount of **\$2,000,000.00** -- Mike Westbrook, Electric Operations and Engineering Manager
- M **Forwarded from the Georgetown Electric Utility Board:**
Consideration and possible action to continue utilizing the **annual agreement** for **LCRA Material Acquisition** to purchase **electric distribution, fiber, water, safety, and substation materials, hardware, and tools** for **Fiscal Year 2021** from **Techline Ltd.** under their **contract** with the Lower Colorado River Authority ("**LCRA**") **Electric Material Acquisition Program**

in the not to exceed amount of **\$4,000,000.00** -- Mike Westbrook, Electric Operations and Engineering Manager

- N **Forwarded from the Georgetown Economic Development Corporation (GEDCO):**
Consideration and possible action to approve an **economic development agreement** with **Texas Outdoor Power Equipment** -- Michaela Dollar, Economic Development Director

Legislative Regular Agenda

- O **Public Hearing and First Reading** of an Ordinance for a **Zoning Map Amendment** to **rezone** approximately **4.658 acres** being a part of Lots 1, 2 and 3, River Road Subdivision, and part of a 5-acre tract in the William Roberts Survey, Abstract 524, **from the Agriculture (AG) zoning district to the General Commercial (C-3) zoning district** for the property generally located **southeast of the intersection of SH 195 and Shell Rd within the 1900 block of SH 195** -- Sofia Nelson, CNU-A, Planning Director
- P **Public Hearing and First Reading** of an Ordinance on a request for a **Zoning Map Amendment** to **rezone** approximately **49.31 acres** out of the John Berry Survey, Abstract No 51, **from the Agriculture (AG) and Residential Single-Family (RS) zoning districts to the General Commercial (C-3) zoning district (approximately 13.001 acres) and High Density Multi-Family (MF-2) zoning district (approximately 36.306 acres)** for the property generally located at **2800 N IH 35** -- Sofia Nelson, CNU-A, Planning Director
- Q **Public Hearing and First Reading** of an Ordinance for a **Zoning Map Amendment** to **rezone 25.093 acres** being all of Lot 1, Shadow Canyon Commercial Sec 3, and a portion of Lot 1, Shadow Canyon Commercial Section 2, **from the High Density Multi-Family (MF-2) and General Commercial (C-3) districts to the Low Density Multi-Family (MF-1) district**, for the property generally located at **2801 W University Ave** -- Sofia Nelson, CNU-A, Planning Director
- R **Public Hearing and First Reading** of an Ordinance on a request for a **Special Use Permit (SUP)** for the **Fuel Sales specific use** in the **Local Commercial (C-1) zoning district**, for the property located at **301 FM 971**, bearing the legal description of Lot 52, Block F, Park View Estate, Section 9, to be known as **Parkview Market** -- Sofia Nelson, CNU-A, Planning Director
- S **Public Hearing and First Reading** of an Ordinance on a request for a **Zoning Map Amendment** to **rezone 13.00 acres** out of the Joseph Robertson Survey, Abstract No. 545, **from the Agriculture (AG) zoning district to the Low Density Multi-Family (MF-1) zoning district**, for the property generally located at **3225 Westinghouse** -- Sofia Nelson, Planning Director
- T **Public Hearing and First Reading** of an Ordinance for an **Executive Text Amendment** to **amend Chapter 16** of the Unified Development Code (UDC) relative to the **definition** of an **Electric Utility Services Availability Letter** -- Wesley Wright, PE, Systems Engineering Director
- U **First Reading** of an Ordinance **amending section 10.12.090** of the Code of Ordinances regarding the **rate of speed on SE Inner Loop from SH-29 to IH-35 and on Rockride Lane from Sam Houston Avenue to SE Inner Loop** -- Ray Miller, Jr., Director of Public Works
- V **First Reading** of an Ordinance of the City of Georgetown, TX, **amending the FY2021 Annual Budget** due to **conditions** that resulted in **new program requirements** in the current year, due to the timing of **capital projects** and **other expenditures** approved in the prior year; **appropriating** the various amounts thereof; and repealing all ordinances or parts of ordinances in conflict therewith -- Nathan Parras, Assistant Finance Director
- W **First Reading** of an Ordinance of the City Council of the City of Georgetown, Texas, **amending Ordinance 2020-58 extending the duration of a temporary license to encroach process for expanded downtown seating and retail areas** within city right of way and parking as a result of the COVID-19 pandemic; repealing conflicting ordinances and resolutions; providing a severability clause; and setting an effective date -- Travis Baird, Real Estate Services Manager

- X Consideration and possible action to approve a **Consultation Agreement, No. 21-0051-CC**, between **NewGen Strategies and Solutions, LLC** and the City of Georgetown, to provide **Comprehensive Electric Utility Cost of Service Study and Rate Design Study**, in the amount of **\$79,160.00** -- Leticia Zavala-Jones, Customer Care Director and Daniel Bethapudi, General Manager of Electric
- Y Consideration and possible action to approve a Resolution to set a **Public Hearing Date** on the imposition of a **Transportation Impact Fee** -- Wesley Wright, PE, Systems Engineering Director
- Z Consideration and possible action to approve **temporary employee Policy and Procedures** for **Families First Coronavirus Response Act (FFCRA)** -- Tadd Phillips, Human Resources & Organizational Development Director
- AA **Second Reading** of and Ordinance for a **Zoning Map Amendment** to **rezone** approximately **0.36-acres** out of the Nicholas Porter Survey, Abstract No. 497, **from the Residential Single-Family (RS) zoning district to the Office (OF) zoning district**, for the property generally located at **2405 Oak Lane** -- Sofia Nelson, CNU-A, Planning Director
- AB **Second Reading** of an Ordinance for a **Zoning Map Amendment** to **rezone** approximately **2.50 acres** of land, out of the James Wright Survey, Abstract Number 13, **from the Industrial (IN) zoning district to the General Commercial (C-3) zoning district**, for the property generally located at **2501 N. IH-35** -- Sofia Nelson, CNU-A, Planning Director
- AC **Second Reading** of an Ordinance for the **voluntary annexation** of an approximate **36.20-acre** tract of land out of the F. Hudson Survey, Abstract No. 295, and a portion of Rabbit Hill Road, a right-of-way of varying width of record described to Williamson County, with an **initial zoning designation** of **Business Park (BP)** for approximately **16.56 acres** and **Low Density Multi-Family (MF-1)** for approximately **19.65 acres**, for the property generally located at **1051 Rabbit Hill Rd** -- Sofia Nelson, CNU-A, Planning Director
- AD **Second Reading** of an Ordinance **amending the FY2020 Annual Budget** for **-end obligations** that were not known at the time the budget was adopted; **appropriating** the various amounts thereof; and repealing all ordinances or parts of ordinances in conflict therewith -- Nathan Parras, Assistant Finance Director

Executive Session

In compliance with the Open Meetings Act, Chapter 551, Government Code, Vernon's Texas Codes, Annotated, the items listed below will be discussed in closed session and are subject to action in the regular session.

- AE **Sec. 551.071: Consultation with Attorney**
Advice from attorney about pending or contemplated litigation and other matters on which the attorney has a duty to advise the City Council, including agenda items
 - Litigation Update
 - PEC Franchise
 - Rockride Lane Proposed WWTP
 - GRR WW Capacity Agreement
- Sec. 551.072: Deliberations about Real Property**
 - Berry Creek Interceptor 1-3, Parcels 15 and 17 -- Travis Baird, Real Estate Services Manager
- Sec. 551.086: Certain Public Power Utilities: Competitive Matters**
 - Competitive Matters -- Daniel Bethapudi, General Manager of the Electric Utility
- Sec. 551.087: Deliberations Regarding Economic Development Negotiations**
 - Project Bradshaw
 - Rivery TIRZ Update
- Sec. 551.089: Deliberations Regarding Security Devices or Security Audits**
 - Update on risk assessment related to HIPAA security and protocols

Adjournment

Certificate of Posting

I, Robyn Densmore, City Secretary for the City of Georgetown, Texas, do hereby certify that this Notice of Meeting was posted at City Hall, 808 Martin Luther King Jr. Street, Georgetown, TX 78626, a place readily accessible to the general public as required by law, on the _____ day of _____, 2021, at _____, and remained so posted for at least 72 continuous hours preceding the scheduled time of said meeting.

Robyn Densmore, City Secretary

City of Georgetown, Texas
City Council Regular Meeting
January 12, 2021

SUBJECT:

Consideration and possible action to approve the **minutes** of the Workshop and Regular Meetings held on December 8, 2020 and Special Meeting held on December 22, 2020 -- Robyn Densmore, City Secretary

ITEM SUMMARY:

FINANCIAL IMPACT:

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SUBMITTED BY:

Robyn Densmore, City Secretary

ATTACHMENTS:

CC Workshop Minutes 12.08.2020

CC Reg Minutes 12.08.2020

CC Spec Minutes 12.22.2020

**Notice of Meeting of the
Governing Body of the
City of Georgetown, Texas
Tuesday, December 8, 2020**

The Georgetown City Council will meet on Tuesday, December 8, 2020 at 3:00 PM at Teleconference

The City of Georgetown is committed to compliance with the Americans with Disabilities Act (ADA). If you require assistance in participating at a public meeting due to a disability, as defined under the ADA, reasonable assistance, adaptations, or accommodations will be provided upon request. Please contact the City Secretary's Office, at least three (3) days prior to the scheduled meeting date, at (512) 930-3652 or City Hall at 808 Martin Luther King Jr. Street, Georgetown, TX 78626 for additional information; TTY users route through Relay Texas at 711.

Mayor Schroeder called the meeting to order at 3:00 p.m. The following Council Members were in attendance: Mayor Josh Schroder; Mary Calixtro, Council Member District 1; Mike Triggs, Council Member District 3; Steve Fought, Council Member District 4; and Rachael Jonrowe, Council Member District 6; and Tommy Gonzalez, Council Member District. Kevin Pitts, Council Member District 5 was absent, and Council District 2 is vacant. All Council Members were present via videoconferencing and a roll call was performed.

Policy Development/Review Workshop – Call to order at 3:00 PM

- A. Presentation and discussion regarding the creation of a Public Improvement District (PID) for the proposed Bluffview Subdivision -- Seth Gipson Performance Management Program (PMP) Manager

Gipson presented the item and provided an overview and purpose for the presentation. He continued that the Bluffview Development is approximately 91 acres at FM2243 and Southwest Bypass (northeast corner) being developed by Lamy 2243, Ltd. with 44.3 acres for residential, 22.6 acres for multi-family, and approximately 37 acres of parkland/open space. Gipson reviewed parts of the 2030 Comprehensive Plan and highlighted the following: Goal 3: "...fiscally responsible growth..., and provides for effective provision of public services and facilities;" Goal 6: "...diverse housing options...;" Goal 7: "Maintain high quality infrastructure...and community facilities;" Goal 9: "Maintain and add to the existing quality parks and recreation;" Policy LU.10 – "Operationalized through the use of Development Agreements and Special Purpose Districts;" and Policy LU.14 – "Use the subdivision process to ensure access to parks, open space." He provided a PID Policy compliance evaluation for the developer criteria and noted the following: developer thresholds of Lamy 2243, Ltd. which was formed in 2013 and based in Austin with relevant experience in the Lake Creek Village and Barton Creek West developments and the financial capability to agree to front costs, receive reimbursement on completion; and this development exceeds UDC standards with parkland dedication 37 acres and the minimum requirement is 4 acres, parkland improvements totaling \$1.15 million with a minimum requirement of \$302,000, housing diversity with two distinct zoning types with a minimum requirement of none; and

architectural standards being required with a minimum requirement of none. Gipson provided the PID Policy compliance evaluation for enhanced parks for a total estimated cost of \$1.15 million, 37 acres of parkland/open space, and enhanced parkland improvements of: parkland entry road; trailhead parking; Bluffview trail; and connection to regional trail. He reviewed the PID Policy Compliance evaluation for enhanced housing diversity and noted that there are two zoning district types, residential of 44.3 acres and multi-family of 22.6 acres with the residential areas having three lot sizes and multi-family to not to exceed 14 units per acre being comprised of apartments, townhomes, condominiums, etc. Gipson reviewed the 2030 Housing Element - Subarea Profiles and noted that is: provides defined areas for more focused analysis; groups areas of similar housing characteristics, as well as evaluating U.S. Census tract boundaries and elementary school boundaries; establishes a baseline for understanding the existing conditions within the planning area (City + ETJ); and serves as the basis for making policy recommendations. He then noted the Subarea 12 for Bluffview PID as follows:

Figure 1. Subarea 12 Housing Profile

| Vacant Land Analysis | | |
|---------------------------------------|-----------|---------------|
| Vacant acres | 8,906 | |
| Vacant acres outside floodplain | 8,121 | |
| Housing and Household Characteristics | | |
| | Subarea | Planning Area |
| Multi-family (%) | 0 | 17 |
| Renters (%) | 6 | 22 |
| Median household income | \$124,799 | \$81,219 |
| Area median income (%) | 145 | 94 |
| Tenure - owner | 3 | 9 |
| Tenure - renter | 2 | 3 |
| Household size | 2.46 | 2.47 |
| Median lot size | 1.07 | 0.23 |
| Price per sq. ft. | \$149 | \$146 |

Gipson added that the Williamson Central Appraisal District for 2018 showed a median value of \$494,000 and for 2018 showed an average value of \$568,000. He stated the PID Policy compliance evaluation for enhanced architecture and noted: PID Policy requires quality development that meets or exceeds intent of the design standards outlined in City Codes; and Special Purpose Districts (MUDs and PIDs) traditionally require masonry standards. These are illustrated here:

| Special Purpose Districts | |
|---|-------------------------------|
| Materials | Brick, stone, or stucco |
| % Coverage (front, street, public parkland) | 85% |
| % Coverage (side & rear) | 50% |
| Front elevation features | Minimum of two design options |

| Proposed Bluffview PID | |
|--------------------------------|---|
| Materials | Class I: brick, rock, or stone; Class II: stucco, fiber cement/hardi, or synthetic wood. |
| % Coverage (front & street) | Option 1: 50% with 2 architectural elements. Option 2: 30% with 3 architectural elements |
| % Coverage (all other facades) | Will be constructed using Class II masonry |

Gipson reviewed the PID Policy compliance evaluation for financial requirements and noted the following financial thresholds: PID Reimbursement sought for offsite wastewater improvements, park access drive, Bluffview Drive and shared-use path, park improvements, and administrative costs for professional services fees, management fees, engineering, City fees, etc.; City policy for PID assessment \leq \$0.55 per \$100 assessed value and the project is \$0.5488 per \$100 assessed value; the City policy requires a minimum assessed value to lien ratio for PID Bonds to be 4:1 and the project is at 14.59:1; City policy requires prepayment of assessments for multi-family rental units and the developer may be requesting a deviation; the City policy requires a maximum PID Bond maturity of 25 years after issuance and the project is the same with one issuance; and the City policy requires a maximum PID Bond limit equal to actual costs (plus reserves, capitalized interest, financing costs) and the project is \$6.4 million PID funded and \$1,067,075 developer funded. He provided the PID Policy compliance evaluation for a PUD and noted that the Planning Department is currently processing the PUD for this development and the schedule for review is: December 15, 2020 Planning and Zoning Review; January 12, 2021 First Reading at City Council; January 26, 2021 Second Reading at City Council; and February or later have City Council official action on PID formation. Gipson noted that staff is seeking Council feedback and direction on a

proposed Public Improvement District (PID) for the Bluffview development and answers to the following questions: Does Council support the creation of a PID for the Bluffview development; and Does Council support the financial terms, architectural standards, and the enhanced park, trails and open space improvements? He noted the next steps as follows: City to review developer supplied financial feasibility study utilizing City's Bond Counsel, Financial Advisor and Bond Underwriter; City staff and consultants to continue negotiating and drafting needed resolutions, agreements, plans, ordinances; City Council to hold a public hearing on PID creation and then consider resolution approving creation of PID; and Council to adopt an ordinance levying special PID assessments and approving supporting plans and agreements (e.g., Service and Assessment Plan, Assessment Roll, Development, Financing and Reimbursement Agreement, and similar).

Pitts asked about the park improvements and PID portion of funded bonds and what those bond funds would be spent on. Gipson responded that those funds would be for offsite wastewater improvement, Bluffview drive, park access drive, share use path, and trail. Pitts asked about the eligibility of offsite wastewater improvements for PID funds. Gipson responded that statute does allow for those types of improvements. He continued that the City prefers that those dollars go towards above and beyond development, but PID dollars can be used. Pitts asked if the only above and beyond areas of the proposed development are related to the parks. Gipson responded parks and shared use path. Pitts asked about developer costs versus PID costs for improvements. Gipson responded that staff had received updated financial and the develop would now be contributing just over one million. Pitts as asked if the PID amount would go down. Gipson said it would not. Pitts noted that the developer is asking for the PID to fund 90% of the improvements. He then asked if the development would have ingress and egress off of Southwest Bypass. Gipson said that it will connect via Leander Road. Pitts asked why the developer is seeking a deviation from the multi-family assessment. Gipson responded that it would be a lot of capital upfront and that the developer has not decided what type of multi-family will be part of the development. Rick Rosenberg, developer, addressed the Council and noted with the developer associated costs, the amount does not include internal improvements the developer would fund. He continued that the deviation for multi-family, the City if the only one in the area to require a prepayment of multi-family is not standard and would not make the project economical. Chris Whitworth, real estate for the project, noted the main drive being installed, total costs being included in the project would be closer to \$8 million total, and cost associate with multi-family.

Gonzalez asked what the options for multi-family were. Whitworth responded that multi-family is feasible, but if it was removed the project would lose its density. He continued that this project is competing with MUDs and to be competitive they need some sort of reimbursement district. Gonzalez asked for Plan B if multi-family is not possible. Whitworth responded that one of the options would be condos and the project needs density.

Calixtro asked if it was possible to add more single family. Whitworth responded that it would not be financially feasible. He continued that this need is not likely specific for this project but is due to market. Whitworth discussed lots size and the land plan for the project.

Gonzalez asked about the ability to make part of the multi-family section used for commercial or retail. Whitworth responded that there is an access issue that prevent it being used for commercial or retail. Gonzalez asked that staff look into access for that area to allow for other uses. David Morgan, City Manager, responded that the Southwest Bypass was designed to be used with limited access points. He continued that the way the Bypass looks today is the first phase and there are future plans.

Mayor Schroeder asked how the one-time initial assessment on multi-family effect the cost of single-family lots. Rosenberg noted a \$6.2 million total assessment with \$3.5 million allocated for multi-family. He noted that changes in the percentages of single-family and multi-family would lead to changes in funding distributions that could negatively impact funding. Mayor Schroder asked if there was a way to have different maximum bond maturities for the bonds for single-family and multi-family. Gipson responded that it could be reviewed and considered for the financing agreement. Mayor Schroeder asked that staff follow-up.

Talley Williams, with the project, noted the trail piece that would be provided in the project to connect City trails. Gipson responded that is correct. Whitworth noted that the rendering shows a straight line, but there is a bluff that will be navigated for trial access.

Pitts asked of the offsite water improvements would benefit others outside the PID. Gipson responded that the improvements would be connected to the two adjoining commercial lots on the South end of the property and owned by another entity. Pitts asked about administrative costs. Gipson replied that administrative cost could also be applied to the handling of bond issuances. Pitt stated that he likes the PID concept, but he did not like that the water improvements would benefit other areas even though they needed to be done. He continued that if there was a way to have all parties benefitting from the water improvement pay for it, he would prefer that. Pitts stated that he supported the architectural standards.

Fought noted the issue at hand is if this fits as a PID. He continued that it does, and he generally supports it. Fought asked that future presentations show visuals of what the products would look like.

Gonzalez stated that moving forward the City needs to decide about funds up front for multi-family and how those are handled.

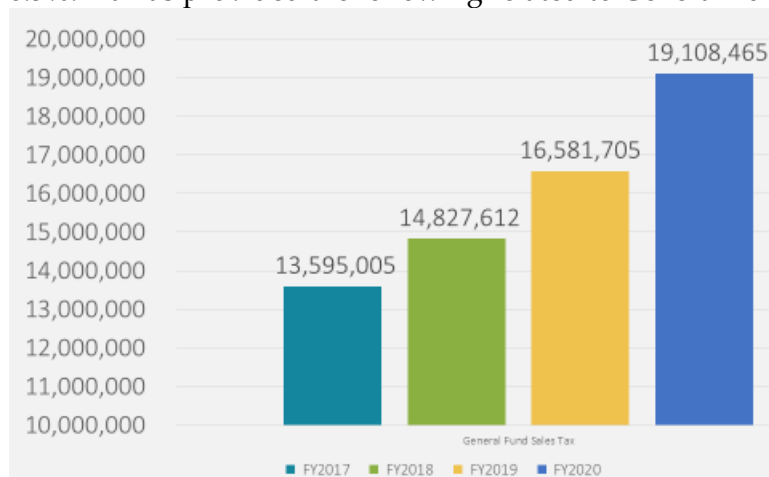
Gipson noted that staff will provide a clear explanation of overall benefit at a future presentation asked if Council wanted more information about payment up front on multi-family. Mayor Schroeder asked that staff bring forward more information. Fought stated that Council needs to review the existing policy related to this a see why it was determined to operate in its current state.

There were no other comments from Council or citizens.

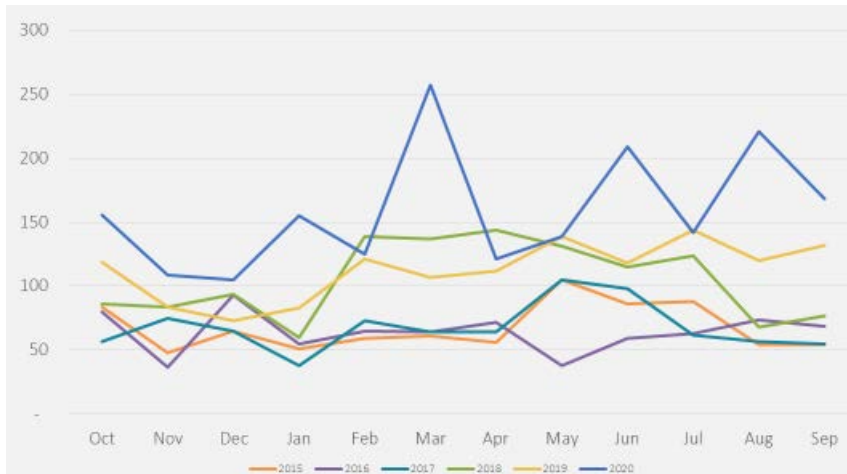
- B. Presentation and discussion regarding the City's Quarterly Financial Report, which includes the Investment Reports for the City of Georgetown, Georgetown Transportation Enhancement Corporation (GTEC), and the Georgetown Economic Development

Corporation (GEDCO) for the quarter ending September 30, 2020 -- Nathan Parras, Assistance Finance Director

Parras presented the item and noted the FY2020 Financial Condition as follows: fourth quarter report is preliminary and unaudited; all major funds are at or below budgeted expenses; conservative forecasting has helped mitigate the impact of unforeseen pressures from COVID-19; and that staff will evaluate overall financial conditions of funds with the City audit complete in January and staff will look at reserve levels in major funds. He reviewed the General Fund stating that overall revenue in the General Fund totals \$79 million, or 103.6% of budget and the year to date expenses in the General Fund total \$72.12 million, or 93.4% of budget. Parras stated that the General Fund revenues total \$79 million, or 103.6% of budget and during the Budget process, staff projected revenue to finish at \$76 million. He provided the General Fund Sales Tax and noted that: the sales tax revenue represents 23% of budgeted revenue; through the fiscal year sales tax revenue totals \$19.1 million or 107% of budget; and staff projected this segment of revenue to finish at \$17.9 million, a variance from actuals of 6.5%. Parras provided the following related to General Fund Sales Tax history:



Parras reviewed the Property Tax and noted: property tax represents 20% of the general fund revenues; through the fiscal year property tax revenue totals \$15.1 million or 101.1% of budget; and property tax was projected to finish at \$14.9 million, a variance from actuals of 1%. He noted Development Revenue stating that: development related revenue represents 5% of budget; through the fiscal year development revenue totals \$5.5 million or 146% of budget; and development related revenue was projected to finish at \$4.5 million, a variance from actuals of 21.82%. Parras then provided the number of Residential Building Permits as follows:



Parras reviewed the Fire/EMS Revenue and noted that: this revenue group represents 9.4% of the general fund; is comprised of ESD 8 Contract (\$3.7 million), EMS transport revenue (\$2.6 million), and SAFER & TASPP grants (\$806,032); FY2020 finished at \$7.4 million, or 103% of budget; and projected \$6.8 million in the Budget process, a variance of 8% with conservative EMS projections and additional grant revenue. He reviewed the return on investment (ROI) and noted that: revenue represents 11% of total general fund revenues; is comprised of a transfer from the Electric, Water, and Stormwater funds; finished FY2020 at \$8.5 million, or 105.5% with a cap on Electric ROI; and projected to end FY2020 at \$8.1 million, a variance from actuals of 5.51% due to higher water sales. Parras explained the franchise fees projections noting that: Franchise Fees represent 8% of the general fund revenues; the City collects franchise fees on electric, water, cable TV, gas, telephone (land lines), stormwater, and irrigation; through the fiscal year franchise fee revenue totals \$5.8 million or 97.4% of budget; and it is projected this segment of revenue to finish at \$5.9 million, a variance from actuals of 2.61%. He provided the General Fund Park and Rec Fees noting: Park and Rec fees represent 3.7% of the general fund revenues; through the fiscal year parks and rec fee revenue totals \$1.5 million or 55% of budget and corresponding expense reductions were also implemented due to cancelled programming; and it is projected this segment of revenue to finish at \$1.47 million, a variance from actuals of 5%. Parras provided the General Fund Revenues summary noting: overall, revenues finished within 4.3% of projections, \$3.3 higher the projected; the two largest streams of revenue property tax and sales finished within 4% of projections; and the development related revenue was 21.82% variance due to continued growth with significant one-time revenue of \$627,736 and an increase in residential permits and inspections. He reviewed the General Fund expenses noting: expenses total \$72.1 million, or 93.4% of budget; projected total expenses to finish at \$74.5 million, a variance from actuals of 3.2%; various departments experienced significant savings on expenditures. Some savings such as equipment are eligible to roll forward into FY2021. Staff is working to identify these items and will bring them to Council as part of the FY2021 CIP Rollforward; Fire Division - \$581,471 in personnel and operational savings; Recreation Programs - \$261,261 in operational savings due to the impacts of COVID-19 on recreational programs; Public Works and Streets - \$441,738 of operational and capital savings from the impact of COVID-19 with many of these items are eligible to as part of the FY2021 Roll Forward Amendment; and Police Administration - \$247,207 operational savings from utilities and fuel. He provided the following visual:

| | FY2020 Budget | FY2020 Actuals | % of FY2020 Budget | FY2019 Budget | FY2019 Actuals | % of FY2019 Budget | YTD Variance | % Variance |
|--|-------------------|-------------------|-----------------------|-------------------|-------------------|-----------------------|------------------|--------------|
| Expenditure | | | | | | | | |
| Administrative Services | | | | | | | | |
| Personnel Expense | 2,190,818 | 2,106,733 | 96.2% | 1,967,951 | 2,002,556 | 101.8% | 104,177 | 5.2% |
| Operations Expense | 739,924 | 523,515 | 70.8% | 671,827 | 573,246 | 85.3% | (49,731) | -8.7% |
| Administrative Services Total | 2,930,742 | 2,630,249 | 89.7% | 2,639,778 | 2,575,802 | 97.6% | 54,447 | 2.1% |
| Community Services and Finance | | | | | | | | |
| Personnel Expense | 8,859,056 | 8,041,458 | 90.8% | 7,146,124 | 6,983,468 | 97.7% | 1,057,990 | 15.1% |
| Operations Expense | 6,105,582 | 5,038,941 | 82.5% | 5,288,877 | 4,854,380 | 91.8% | 184,561 | 3.8% |
| Community Services and Finance Total | 14,964,638 | 13,080,399 | 87.4% | 12,435,001 | 11,837,848 | 95.2% | 1,242,551 | 10.5% |
| Development & Planning | | | | | | | | |
| Personnel Expense | 2,446,509 | 2,348,105 | 96.0% | 2,308,625 | 2,194,687 | 95.1% | 153,417 | 7.0% |
| Operations Expense | 837,719 | 615,296 | 73.4% | 714,668 | 412,273 | 57.7% | 203,022 | 49.2% |
| Development & Planning Total | 3,284,228 | 2,963,400 | 90.2% | 3,023,293 | 2,606,961 | 86.2% | 356,440 | 13.7% |
| Fire Services* | | | | | | | | |
| Personnel Expense | 16,051,814 | 15,477,595 | 96.4% | 15,104,380 | 14,516,204 | 96.1% | 961,391 | 6.6% |
| Operations Expense | 4,049,632 | 3,689,892 | 91.1% | 3,632,363 | 3,572,437 | 98.4% | 117,455 | 3.3% |
| Fire Services Total | 20,101,446 | 19,167,487 | 95.4% | 18,736,742 | 18,088,642 | 96.5% | 1,078,845 | 6.0% |
| General Gov't Contracts | | | | | | | | |
| Personnel Expense | (1,200,000) | 30 | 0.0% | (1,145,000) | - | 0.0% | 30 | |
| Operations Expense | 4,643,750 | 4,202,610 | 90.5% | 4,575,401 | 4,384,232 | 95.8% | (181,621) | -4.1% |
| General Gov't Contracts Total | 3,443,750 | 4,202,640 | 122.0% | 3,430,401 | 4,384,232 | 127.8% | (181,592) | -4.1% |
| Public Works and Environmental Services | | | | | | | | |
| Personnel Expense | 1,888,823 | 1,536,651 | 81.4% | 1,875,598 | 1,739,166 | 92.7% | (202,515) | -11.6% |
| Operations Expense | 11,555,613 | 10,726,734 | 92.8% | 10,275,620 | 9,772,322 | 95.1% | 954,412 | 9.8% |
| Public Works and Environmental Services | 13,444,436 | 12,263,384 | 91.2% | 12,151,218 | 11,511,487 | 94.7% | 751,897 | 6.5% |
| Police Services | | | | | | | | |
| Personnel Expense | 12,733,919 | 12,528,970 | 98.4% | 12,502,781 | 12,510,831 | 100.1% | 18,139 | 0.1% |
| Operations Expense | 3,613,811 | 3,170,642 | 87.7% | 3,657,400 | 3,537,481 | 96.7% | (366,839) | -10.4% |
| Police Services Total | 16,347,730 | 15,699,612 | 96.0% | 16,160,181 | 16,048,312 | 99.3% | (348,700) | -2.2% |
| Expense Total | 74,516,969 | 70,007,171 | 93.9% | 68,576,615 | 67,053,283 | 97.8% | 2,953,887 | 4.4% |
| *Fire Services Division includes EMS | | | | | | | | |

Parras then reviewed the following General Fund summary:

| | Projected | Actuals | Variance Fav/(Unfav) |
|----------------------------|------------|------------|-------------------------|
| Beginning Balance | 14,263,750 | 14,263,750 | - |
| Revenues | 75,675,607 | 78,928,145 | 3,252,534 |
| Expenses | 74,495,624 | 72,120,656 | 2,374,968 |
| Ending Balance | 15,443,733 | 21,071,239 | 5,627,506 |
| Contingency Reserve | 11,414,340 | 11,414,340 | - |
| Economic Stability Reserve | 1,759,446 | 1,759,446 | - |
| Benefit Payout Reserve | 340,000 | 340,000 | - |
| Available Fund Balance | 1,929,947 | 7,557,453 | 5,627,506 |

Parras provided the General Fund Ending Balance Summary noting excess revenues or expense savings are one-time sources of available funds; FY2021 budget was adopted with planned uses of one-time funds; staff will update Council on final available funds in March; and provided the following visual:

| | |
|--|-------------------|
| Final FY 2020 ending balance | 21,071,239 |
| less FY 2021 90 day contingency | 12,626,752 |
| less FY 2021 economic stability reserve | 1,759,446 |
| less FY 2021 benefit payout reserve | 340,000 |
| less FY 2021 budgeted transfer to CSRF | - |
| less FY 2021 budgeted use of balance | 312,883 |
| less FY 2021 GF Roll Forward Needs | 283,729 |
| FY 2021 additional transfer to CSRF | 5,748,429 |

Pitts asked why general government contracts is over budget every year. Parras responded this is where the City houses its vacancy factor so it always looks a little squirrely.

Parras explained the Electric Fund noting that overall revenue in the Electric Fund totals \$111.5 million, or 116% of budget and year to date expenses in the Electric Fund total \$90 million, or 96% of budget. He provided the Electric Fund Operating Revenues noting operating revenue in the Electric Fund totals \$95 million through the fiscal year, or 105% of budget and 6.8% over projections; Electric sales revenue, the largest component of operating revenue, totals \$86.2 million. 101% of budget and 4 % over projections; developer contributions total \$4.5 million which is \$2.5 million more than projected; and other revenues, which is comprised of penalties, fees, and the utility allocation for shared services, totals \$4.5 million. Parras explained the Electric Fund Operating Expenditures noting: operating expenses in the Electric Fund total \$81.5 million through the quarter with budgeted Purchase power expenses total \$59.5 million and net of Purchase Power, Congestion Revenue Rights (CRRs) and Sale of Renewable Energy Credits* (RECs); actual Purchase Power expenses total \$58.5 million with Purchase Power being \$61.54 million, CRR being \$1.85 million, and REC sales* being \$1.13 million; and actual purchase power expenses were \$951,454 less than budgeted. He added that the Electric Fund report shows REC sales under non-operating revenues. Parras provided the Electric Fund Non-Operating Revenues noting non-operating revenue in the Electric Fund totals \$16.4 million through the fiscal year, or 105% of budget and 7% over projections; proceeds from power transformer sale to LCRA: \$9.7 million; and bond proceeds total \$5.1 million. He provided the Electric Fund Non-Operating Expenditures noting total non-operating expenses total \$8.2 million, or 88.61% of budget; CIP expense totals \$4.2 million, or 82.74% of budget with unused bond proceed revenue or CIP budget that may roll forward; and debt service payment of \$3.9 million. Parras provided the Electric Summary as follows:

| | Projected | Actuals | Variance Fav/(Unfav) |
|------------------------|-------------|-------------|-------------------------|
| Beginning Fund Balance | 6,614,742 | 6,614,742 | - |
| Revenues | 104,826,619 | 111,547,150 | 6,720,531 |
| Expenses | 92,549,109 | 89,697,760 | 2,851,348 |
| Ending Fund Balance | 18,892,253 | 28,464,132 | 9,571,879 |
| Contingency Reserve | 4,190,234 | 4,190,234 | - |
| Non-Operating Reserve | 13,402,019 | 13,402,019 | - |
| Reserved Bond Proceeds | 1,300,000 | 3,477,046 | (2,177,046) |
| Available Fund Balance | - | 7,394,833 | 7,394,833 |

Pitts asked if the developer related revenue was due to increased development or the change is City policy to collect funds up front. Parras responded that it was due to the policy change. Pitts asked if staff expected that to flatten out over time. Morgan responded yes. Pitts asked if there was an element of that related to development increase as well. Morgan responded yes. Pitts congratulated Daniel Bethapudi, General Manager of the Electric Utility, oh job working with the Electric Fun.

Triggs asked what was subtracted from the proceeds of sale of equipment to get to the net number. Parras noted that accounting had to account for the total assets minus the sale. Triggs asked if there was debt payout associated with that too. Morgan responded no. Leigh Wallace, Finance Director, reviewed the bond proceeds and how a portion was kept to pay off remaining debt.

Parras reviewed the Water Fund noting that overall revenue in the fund totals \$98 million, or 115.52% of budget and the year to date expenses in the Water Fund total \$64.5 million, or 43% of budget. He provided the Water Fund Operating Revenues noting: Water operating revenue totals \$88 million, or 116.5% of budget with higher than projected water sales which has a positive impact on ROI and Franchise Fees in the General Fund; and Capital Recovery Fees finished FY2020 7.54% higher than budget and 7.95% higher than projected. Parras added that over the last three fiscal years, the City has seen strong growth in this revenue stream. He provided the Water Fund Operating Expenditures noting: Water operating expenses total \$45.1 million, or 92.5% of budget; ROI ended FY2020 \$815,327, or 24.71% higher than projections; and additional operations savings in utilities, legal services, and contracts. Parras explained the Water Fund Non-Operating Revenues noting that non-operating revenues in the water fund total \$10.1 million in FY2020 and non-operating revenues include bond proceeds which totals \$9.37 million and sale of assets which totals \$735,404. He provided the Water Fund Non-Operating Expenditures as follows: non-operating expenditures total \$19.4 million in FY2020; CIP expenditures total \$13 million, or 13.54% of budget with multi-year capital projects; early project expenditures often include preliminary design work or engineering. Significant construction cost typically comes in the 2nd-3rd year of a CIP project; and staff will bring the FY2021 Rollforward Amendment to Council in January. Parras provided the following Water Fund Summary:

| | Projected | Actuals | Variance Fav/(Unfav) |
|------------------------|-------------|-------------|-------------------------|
| Beginning Fund Balance | 92,139,373 | 92,139,373 | - |
| Revenues | 88,601,436 | 97,999,621 | 9,398,185 |
| Expenses | 148,794,754 | 64,458,588 | 84,336,167 |
| Ending Fund Balance | 31,946,055 | 125,680,406 | 93,734,351 |
| 90 Day Contingency | 9,480,045 | 9,480,045 | - |
| Non-Operational Con. | 10,000,000 | 10,000,000 | - |
| Available Fund Balance | 12,466,010 | 106,200,361 | 93,734,351 |

Parras reviewed the Water Fund and CIP noting that the FY2021 Capital Improvement Plan includes Water and Wastewater Projects totaling \$30 million, and staff will bring the FY2021 Rollforward Amendment in January with a list of FY2020 projects that need to be rolled into FY2021. He noted that the CVB Fund had overall revenue in the fund totaling \$1.1 million, or 76.5% of budget and year to date expenses in the Convention & Visitors Bureau Fund total \$1.0 million, or 69.41% of budget. Parras explained the CVB Fund Revenue and that Hotel Occupancy Tax total \$984,751 through the 4th quarter, or 76% of budget, which exceeds projections by 9.42%. He noted that the CVB Fund Expenditures have FY2020 expenditures totaling \$1.0 million which is 69.41% of budget, and 76.2% of projections and the fund experienced operational savings from the cancellation of many tourism related events, marketing, and travel, as well as the savings from one frozen staff position. Parras then provided the following CVB Summary:

| | Projected | Actuals | Variance Fav/(Unfav) |
|------------------------|-----------|-----------|-------------------------|
| Beginning Fund Balance | 1,551,889 | 1,551,889 | - |
| Revenues | 1,048,608 | 1,132,443 | 83,835 |
| Expenses | 1,323,580 | 1,008,276 | 315,304 |
| Ending Fund Balance | 1,276,917 | 1,676,057 | 399,139 |
| 90 Day Contingency | 273,376 | 273,376 | - |
| Reserved for Capital | 1,203,635 | 1,203,635 | - |
| Available Fund Balance | (200,094) | 199,046 | 399,139 |

Parras explained the Airport Fund Operating Revenues noting that the Airport operating revenue totals \$3.34 million which represents 86% of budget and fuel sales are less than budget. He added that with the depressed price on fuel, the City is selling gas at a lesser rate than budgeted, however, the cost of the fuel is also below the budgeted amount. Parras stated that the Airport Fund operating expenses in the Airport fund total \$3.08 million, or 77% of budget and non-operating expenses total \$146,562, or 90% of budget. He provided the following Airport Fund visual:

| | Projected | Actuals | Variance Fav/(Unfav) |
|------------------------|-----------|-----------|-------------------------|
| Beginning Fund Balance | 1,259,036 | 1,259,036 | - |
| Revenues | 3,614,100 | 3,343,320 | (270,780) |
| Expenses | 3,654,089 | 3,231,997 | 422,092 |
| Ending Fund Balance | 1,219,047 | 1,370,359 | 151,312 |
| 90 Day Contingency | 256,021 | 256,021 | - |
| Debt Service Reserve | 143,431 | 143,431 | - |
| Available Fund Balance | 819,595 | 970,907 | 151,312 |

Parras reviewed the City's investment report that shows total cash and investments decreased for City in 4th quarter for annual debt principal payments and interest rates declined sharply due to COVID economic conditions. He provided the following:

| CITY | Book Value | GTEC | | GEDCO | |
|---------------|---------------|--------------|--------------|-------------|-------------|
| 6/30/20 | 9/30/20 | 6/30/20 | 9/30/20 | 6/30/20 | 9/30/20 |
| \$249,992,313 | \$240,298,554 | \$29,222,450 | \$29,285,179 | \$9,347,002 | \$9,892,111 |
| .74% | .54% | .52% | .17% | .55% | .47% |

Parras reviewed the Unfunded Liabilities List as follows: per fiscal and budgetary policies, list included in quarterly report to Council and fourth quarter includes addition of all reserves impacted by FY2020 projections and FY2021 budget during conservative COVID planning for uncertainty. He noted the following next steps: acceptance of quarterly report on consent agenda; year-end budget amendment on legislative agenda; third-party independent audit of financial statements December through February; FY2021 Roll Forward Amendment in January; and discussion with Council about available one-time fund balances March.

Fought applauded Parras' presentation. There were no additional comments from Council or the public.

C. Presentation and discussion regarding the FY2020 Year-End Budget Amendment -- Nathan Parras, Assistance Finance Director

Parras presented the item and reviewed the Budget process noting: during the summer of 2020, staff and Council review revenues and spending, and make projections for how the fiscal year will end; projections and adjustments continue after the mid-year budget amendment; and for charter compliance, it is sometimes necessary to authorize appropriations in a year-end budget amendment. He reviewed the General Debt Service Fund noting the following: increase expense appropriation by \$433,000 for debt payments; debt payments from other funds pass through this fund; appropriation for payment in this fund was missed by mistake; revenue was always available, and payments were made on time; and staff updated check list to prevent future miss. Parras reviewed the Conservation Fund noting that: due to the economic conditions of the COVID-19 pandemic, Council authorized staff in May 2020 to offer a utility bill relief program; Electric fund's expenses for bill relief are to be reimbursed by the Conservation fund; and increase Conservation fund transfers out to Electric by \$4,200. He stated that the Court Security Fund: during the transition from the old financial software system to the new system, accounting practices were updated; previously, court collections contract revenues were posted as credits against expense; currently, since go live at mid-year, revenue posts as revenue and expense posts as expense; and a clean-up item to appropriate the contract expense of \$15,000, no negative impact to fund. Parras reviewed the Information Technology (IT) Fund and stated: to improve financial conditions in the Electric fund, staff are executing a multi-year plan for the Information Technology fund to buy the fiber infrastructure asset from Electric; the fiber serves facilities and network connections citywide; increase appropriation in the IT Fund by \$600,000 to buy a segment in FY2020; and the IT fund allocation revenue charges will need to be increased in the future to restore the capital equipment reserve. He reviewed the Electric

Fund and acknowledged new revenue from, noted a Conservation transfer in for utility bill relief program \$4,000, and the IT Fund purchase of fiber asset \$600,000. Parras then reviewed the next steps as follows: action item on tonight's agenda to approve 2020 year-end amendment on first reading; second reading on January 12, 2021 when accounting can then officially close the books and start the audit for 2020; and the first budget amendment of FY 2021, in January 2021 to roll forward large capital projects that span multiple years and approve adjustments for operating expenses not known during FY2021 budget development this past summer.

Pitts asked if the General Debt Service line item is in the budget book every year or only listed when it has an associated amount. Wallace responded by explaining where the funds were located in the documentation. She noted that staff has made a change to make sure this isn't missed in the future. Pitts asked if it was in the budget workbook. Morgan responded that it is easy to not notice the amount based on where things are located. Parras also noted the Workday financial system and the associated cleanup.

Gonzalez thanked Parras for the budget efforts.

There were no other comments or questions from Council or the public.

- D. Presentation and discussion regarding the update to the Downtown and Old Town Design Guidelines -- Britin Bostick, Downtown and Historic Planner and Nat Waggoner, Long Range Planning Manager

Bostick presented the item and provided the presentation agenda and noted the requested feedback from Council as, "Are there other stakeholders or topics that need to be included as part of the update to the Design Guidelines?" She then provided a map of the Historic Overlay Districts as follows:

Bostick noted the focus groups as follows: property and business owners; developers; design professionals; contractors; non-profits; and City boards and commissions. She noted that the topic updates include commercial infill and residential infill, which is a new review requirement; demolition/relocation; in-kind materials; and signage. Bostick then re-stated the question to Council of, "Are there other stakeholders or topics that need to be included as part of the update to the Design Guidelines?"

Pitts asked if this was cleanup and to assist with parts of the policy that conflict with each other. Bostick responded yes and that the guidelines have not been updated in eight years. She added that staff is looking at this as an audit and edit to help make the document more user friendly. Pitts asked about the stakeholder groups and if staff would consider reaching out to applicants that have recently gone through the process. He also supported Bostick's input to speak up on issues she sees.

Mayor Schroder suggested that staff get input from Sun City. Fought noted the need of handicap accessibility of sidewalks around downtown, and if there is a way to include, he would like for staff to do so. Bostick noted that the community as a whole cares for downtown and she enjoys her work.

Triggs stated that he seconds what Fought says and hears the same thing. He continued that better transportation to get to downtown is also needed.

Bostick reviewed the next steps as follows: Virtual Open House on December 16, 2020 at 3:00pm at historic.georgetown.org; Online Survey from December 16-23, 2020 at historic.georgetown.org; Main Street Breakfast Bites Program in March 2021; Virtual/In-Person Open House in April 2021; Annual Historic Preservation Month Letter in May 2021; and the document presented to City Council in June 2021. Bostick provided a thank you to the focus group, City staff, CMO, Economic Development, Communications & Public Engagement, Facilities, Library, Arts and Culture, Visitor and Tourism, and Planning. She noted that for more information people can reach out to staff in the following ways: visiting www.historic.georgetown.org, emailing historic@georgetown.org, and calling (512) 930-3581.

There were no additional comments from Council or the public.

Executive Session

In compliance with the Open Meetings Act, Chapter 551, Government Code, Vernon's Texas Codes, Annotated, the items listed below will be discussed in closed session and are subject to action in the regular session.

E. Sec. 551.071: Consultation with Attorney

Advice from attorney about pending or contemplated litigation and other matters on which the attorney has a duty to advise the City Council, including agenda items

- Litigation Update
- PEC Franchise

Sec. 551.072: Deliberations about Real Property

- Berry Creek Interceptor 1-3, Parcels 4 and 9-15 -- Travis Baird, Real Estate Services Manager

Sec. 551.086: Certain Public Power Utilities: Competitive Matters

- Competitive Matters -- Daniel Bethapudi, General Manager of the Electric Utility

Sec. 551.074: Personnel Matters

- City Attorney Check-in

Mayor Schroeder recessed into Executive Session at 4:41 p.m. noting that Executive Session will start at 4:55 p.m.

Adjournment

Approved by the Georgetown City Council on _____
Date

Josh Schroeder, Mayor

Attest: City Secretary

**Notice of a Meeting of the
Governing Body of the
City of Georgetown, Texas
Tuesday, December 8, 2020**

The Georgetown City Council will meet on Tuesday, December 8, 2020 at 6:00 PM via Teleconference

The City of Georgetown is committed to compliance with the Americans with Disabilities Act (ADA). If you require assistance in participating at a public meeting due to a disability, as defined under the ADA, reasonable assistance, adaptations, or accommodations will be provided upon request. Please contact the City Secretary's Office, at least three (3) days prior to the scheduled meeting date, at (512) 930-3652 or City Hall at 808 Martin Luther King, Jr Street for additional information; TTY users route through Relay Texas at 711.

Mayor Schroeder called the meeting to order at 6:25 p.m. The following Council Members were in attendance: Mayor Josh Schroeder; Mary Calixtro, Council Member District 1; Mike Triggs, Council Member District 3; Steve Fought, Council Member District 4; and Rachael Jonrowe, Council Member District 6; and Tommy Gonzalez, Council Member District. Kevin Pitts, Council Member District 5 was absent, and Council District 2 is vacant. All Council Members were present via videoconferencing and a roll call was performed.

Regular Session

(This Regular session may, at any time, be recessed to convene an Executive Session for any purpose authorized by the Open Meetings Act, Texas Government Code 551.)

A. Call to Order

Invocation

- Stephen Castleberry with Antioch Georgetown gave the invocation.

Pledge of Allegiance

- Pitts led both pledges.

Comments from the Mayor

City Council Regional Board Reports

Announcements

- District 2 Runoff Information

Action from Executive Session

Motion by Pitts to recommend 1) approval of the appraisals as presented and 2) authorization to make an initial offer to purchase real property on the terms discussed in Executive Session on Parcels 4, and 9-15 in connection with the Berry Creek Interceptor Project, Phases 1-3, second by Fought.

Calixtro – Yes

Triggs – Yes

Fought – Yes

Pitts – Yes

Jonrowe – Yes

Gonzalez – Yes

Approved 6-0 (District 2 vacant).

Public Wishing to Address Council

On a subject that is posted on this agenda: Please fill out a speaker registration form which can be found on the table at the entrance to the Council Chamber. Clearly print your name and the letter of the item on which you wish to speak and present it to the City Secretary on the dais, prior to the start of the meeting. You will be called forward to speak when the Council considers that item. Only persons who have delivered the speaker form prior to the meeting being called to order may speak. Speakers will be allowed up to three minutes to speak.

On a subject not posted on the agenda: An individual may address the Council at a regular City Council meeting by contacting the City Secretary no later than noon on the Wednesday prior to the Tuesday meeting, with the individual's name and a brief description of the subject to be addressed. Only those persons who have submitted a timely request will be allowed to speak. The City Secretary can be reached at (512) 931-7715 or cs@georgetown.org. Speakers will be allowed up to three minutes to speak.

B. At the time of posting no one had signed up to speak.

Statutory Consent Agenda

The Statutory Consent Agenda includes non-controversial and routine items that may be acted upon with one single vote. An item may be pulled from the Consent Agenda in order that it be discussed and acted upon individually as part of the Regular Agenda.

C. Consideration and possible action to approve the **minutes** of the Workshop and Regular Meetings held on November 24, 2020 -- Robyn Densmore, City Secretary

- D. Consideration and possible action to **appoint Mayor Josh Schroeder** to the Capital Area Metropolitan Planning Organization (CAMPO) **Transportation Policy Board** to **fill a vacancy** -- Robyn Densmore, City Secretary
- E. Consideration and possible action to approve an **Interlocal Agreement** with **Williamson County** for **roadway improvements** on **Ronald Reagan** at the **intersections** of **Silver Spur** and **Sun City Blvd** -- Wesley Wright, PE, Systems Engineering Director
- F. Consideration and possible action to authorize execution of **contract no. 21-0021-CC** with **P3 Works, LLC**, and an initial Task Order, to provide **public improvement district administration services**, for up a **term not to extend beyond September 30, 2025** -- Wayne Reed, Assistant City Manager
- G. Consideration possible action to accept the City's **Quarterly Financial Report**, which includes the **Investment Reports** for the City of Georgetown, Georgetown Transportation Enhancement Corporation (GTEC), and the Georgetown Economic Development Corporation (GEDCO) for the **quarter ending September 30, 2020** -- Nathan Parras, Assistant Finance Director
- H. Consideration and possible action to approve a Resolution authorizing **payment** of **\$213,595.00** for the **City's pro-rata portion**, and **\$2,647.00** for the Village Public Improvement District (GVPID) **pro-rata portion**, of the cost of **operation** of the Williamson Central Appraisal District (WCAD) -- Nathan Parras, Assistant Finance Director
- I. Consideration and possible action to approve the **purchase** of **pump repairs** from **WEISINGER INC.** from Conroe Texas in an amount not to exceed **\$81,812.00.00**, for **Fiscal Year** -- David Thomison Water Utility Manager
- J. **Forwarded from the General Government and Finance Advisory Board (GGAF):**
Consideration and possible action to approve a purchase of **replacement laptops** and **tablets**, associated docks and port replicators, and in-vehicle modems for **emergency service vehicles**, as well as **new ruggedized laptops** and **computer equipment** for **two new Police Officers** from **Ingram Technologies LLC** for an amount of **\$118,046.27** -- Chris Bryce, IT Director
- K. **Forwarded from the General Government and Finance Advisory Board (GGAF):**
Consideration and possible action to approve a purchase of **Zerto Orchestration Software** through **Sirius Computer Solutions** for a total of **\$84,247.00** -- James Davis, IT Operations Manager

Motion by Pitts to approve the Consent Agenda as presented, second by Gonzalez.

Calixtro – Yes

Triggs – Yes

Fought – Yes

Pitts – Yes

Jonrowe – Yes

Gonzalez – Yes

Approved 6-0 (District 2 vacant).

Legislative Regular Agenda

- L. **Public Hearing and First Reading** of an Ordinance for a **Zoning Map Amendment** to **rezone** approximately **2.50 acres** of land, out of the James Wright Survey, Abstract Number 13, **from** the **Industrial (IN)** zoning district **to** the **General Commercial (C-3)** zoning district, for the property generally located at **2501 N. IH-35** -- Sofia Nelson, CNU-A, Planning Director

Nelson presented the item and reviewed the Location Map, Aerial Map, Future Land Use/Overall Transportation Map, Zoning Map, Regional Center (RC) explanation, and General Commercial (C-3) uses permitted by right, with limitations, and with a Special Use Permit (SUP). She added that the request complies in all areas of the approval criteria for UDC Section 3.06.030. Nelson noted that at their November 17, 2020 meeting, the Planning and Zoning Commission recommended approval of the request with a 5-0 vote.

Nelson read the caption

Council had no questions.

Mayor Schroeder opened and closed the Public Hearing at 6:36 p.m. as there were no speakers.

Motion by Pitts, second by Fought.

Calixtro – Yes

Triggs – Yes

Fought – Yes

Pitts – Yes

Jonrowe – Yes

Gonzalez – Yes

Approved 6-0 (District 2 vacant).

- M. **Public Hearing and First Reading** of and Ordinance for a **Zoning Map Amendment** to **rezone** approximately **0.36-acres** out of the Nicholas Porter Survey, Abstract No. 497, **from** the **Residential Single-Family (RS)** zoning district **to** the **Office (OF)** zoning district, for the property generally located at **2405 Oak Lane** -- Sofia Nelson, CNU-A, Planning Director

Nelson presented the item and reviewed the Location Map, Aerial Map, Future Land Use/Overall Transportation Plan Map, Medium Density Mixed Housing Explanation, Zoning Map, Office (OF) uses permitted by right, with limitations, and with a SUP. She noted that the request complies with all areas of the approval criteria for UDC Section 3.06.030. Nelson stated that at their November 17, 2020 meeting, the Planning and Zoning Commission recommended approval with a 7-0 vote.

Nelson read the caption

Mayor Schroeder opened and closed the Public Hearing at 6:41 p.m. as there were no speakers.

Motion by Pitts, second by Gonzalez.

Calixtro – Yes

Triggs – Yes

Fought – Yes

Pitts – Yes

Jonrowe – Yes

Gonzalez – Yes

Approved 6-0 (District 2 vacant).

- N. **Public Hearing and First Reading** of an Ordinance for the **voluntary annexation** of an approximate **36.20-acre** tract of land out of the F. Hudson Survey, Abstract No. 295, and a portion of Rabbit Hill Road, a right-of-way of varying width of record described to Williamson County, with an **initial zoning designation** of **Business Park (BP)** for approximately **16.56 acres** and **Low Density Multi-Family (MF-1)** for approximately **19.65 acres**, for the property generally located at **1051 Rabbit Hill Rd** -- Sofia Nelscon, CNU-A, Planning Director

Nelson presented the item and provided the Location Map; Aerial Map; Future Land Use/Overall Transportation Plan Map; Land Use Ratios for Moderate Density Neighborhood; Zoning Map; Low Density Multi-Family (MF-1) explanation; MF-1 uses permitted by right, with limitations, and with a SUP; Business Park (BP) explanation; and BP uses permitted by right, with limitations, and with a SUP. She noted that the request either complies or partially complies in all areas of the approval criteria for UDC Section 3.06.030. Nelson noted that at their November 17, 2020 meeting the Planning and Zoning Commission recommended approval of the request with a 7-0 vote.

Nelson read the caption

Pitts asked if the zoning was determined when the Municipal Services Agreement was approved. Nelson responded yes. Pitts asked if this development would trigger a TIA (Traffic Impact Analysis). Nelson responded the need for a TIA would be based on the number of trips per day, but she did not have those numbers at the moment. Pitts asked if the developer would be required to do improvements to Rabbit Hill Road. Nelson responded that she can't answer that question at the time since the need for TIA has not been determined. Pitts asked about the total number of units. Nelson responded that it would be determined by site design and production selection of the applicant. Pitts asked if the property to the North of the project in the City Limits. Nelson responded no. Pitts noted that the same standards for abutting residential will be in place even with properties in the ETJ. Nelson responded that is correct.

Jonrowe asked when the Rabbit Hill widening project is happening. Nelson responded not sure. David Morgan, City Manager responded that staff is bidding the project in early 2021.

Gonzalez asked if there was consideration for all industrial or retail commercial for this area. Nelson responded that staff did consider the possibility. She continued that the goal is to create a transition of uses. Gonzalez asked about the overlying objection to the project. Nelson responded the possibility of use of multi-family and traffic.

Peter Verdicchio, representing the applicant, spoke to the Council about the project, the requested zoning, need for widening of roads, and transition of the site.

Pitts verified the process that this item will starting the annexation and zoning and the Second Reading of the item will confirm both. Nelson responded yes. Pitts asked if the property was not annexed, could the develop proceed as desired in the ETJ. Nelson asked for clarification and if Pitts was wanting to know if the applicant could develop as multi-family and business park. Pitts asked about zoning requirement in the County and how they could apply. Nelson stated that there are some triggers that would require annexation and if those were needed staff would ask that the property would be annexed. She added that if those services were not needed then he could develop in the ETJ. Pitts stated that he understands the concerns of the residents and part of his concern with the multi-family is that is would transfer to the next owner or developer. He asked if a PUD was considered. Verdicchio responded that there is no end user in place at this time and when a PUD is created it is with an end user in mind. Pitts thanked him for his answer. Verdicchio stated that Rabbit Hill Road will be improved with this project.

Mayor Schroeder opened and closed the Public Hearing at 7:07 p.m. as there were no speakers.

Motion by Pitts, second by Jonrowe.

Gonzalez asked if the multi-family family will be developed first and the business park later. Verdicchio responded that there are no purchasers at this point, and the owners consider this to be estate planning for the future of the land. Gonzalez stated that once it is zoned for family it should lead to multiple offers. Verdicchio responded that he agrees and encouraged the business park zoning for a noted need in the area for showroom types spaces.

Calixtro – No

Triggs – Yes

Fought – Yes

Pitts – Yes

Jonrowe – Yes

Gonzalez – No

Approved 4-2 (District 2 vacant; Calixtro and Gonzalez against; Triggs, Fought, Pitts, and Jonrowe for).

- O. **First Reading** of an Ordinance **amending** the **FY2020 Annual Budget** for **year-end obligations** that were **not known** at the time the **budget was adopted**; **appropriating** the **various amounts** thereof; and repealing all ordinances or parts of ordinances in conflict therewith -- Nathan Parras, Assistance Finance Director

Parras presented the item and noted that it was an action based on an item presented at the earlier Workshop meeting. He then did a brief review of the proposed changes.

Council had no questions.

Parras read the caption

Motion by Pitts, second by Gonzalez.

Calixtro – Yes

Triggs – Yes

Fought – Yes

Pitts – Yes

Jonrowe – Yes

Gonzalez – Yes

Approved 6-0 (District 2 vacant).

- P. **Forwarded from the General Government and Finance Advisory Board (GGAF):** Consideration and possible action to approve the purchase of **two Pierce Fire Engines** from **Siddons-Martin Emergency Group** through the **Buy-Board Contract #571-18** for a cost not to exceed **\$1,760,000.00** -- John Sullivan, Fire Chief

Sullivan presented the item and provided the following background information: all Fire Department apparatus are on a vehicle replacement schedule; these will replace the 2010 and 2011 Pierce Engines; budgeted within the FY2021/22 Fleet Replacement ISF; build/delivery time is estimated to be 10 – 11 months; cost not to exceed \$1.76 million from Siddons-Martin via Buy Board Contract #571-18; 2010 and 2011 apparatus planned to be sold; and proceeds from apparatus sale to be placed into Fleet ISF.

Sullivan read the caption.

Pitts asked if the 2010 and 2011 apparatuses will be sold. Sullivan responded that is that plan and that those two apparatuses have been high maintenance vehicles for the department. Pitts asked who buys these and if it is an auction. Sullivan responded that it is usually via auction. Pitts asked if the apparatuses don't have much value, can we consider selling them to nearby volunteer fire departments. Morgan responded that there are certain requirements for selling anything of value. He added that the City can notify nearby entities, but there is a prescribed process.

Motion by Pitts, second by Triggs.

Calixtro – Yes

Triggs – Yes

Fought – Yes

Pitts – Yes

Jonrowe – Yes

Gonzalez – Yes

Approved 6-0 (District 2 vacant).

- Q. **Forwarded from the General Government and Finance Advisory Board (GGAF):** Consideration and possible action to approve a Resolution formally **adopting** the City's **Investment Policies for Fiscal Year 2021** -- Leigh Wallace, Finance Director

Wallace presented the item noted that the item is required annually by State law. She provided a brief overview of what is included in the policies and noted that minor changes have been made for FY2021.

Wallace read the caption

Motion by Pitts, second by Gonzalez.

Calixtro – Yes

Triggs – Yes

Fought – Yes

Pitts – Yes

Jonrowe – Yes

Gonzalez – Yes

Approved 6-0 (District 2 vacant).

- R. Consideration and possible action to approve **amendments** to the City of Georgetown **Design Manual** for the **installation** of **network nodes** and **node support poles** -- Bridget Hinze Weber, Assistant to the City Manager

Weber presented the item and noted that it is a companion item to Item S. She explained pole spacing noting that new node support poles spacing requirement would be reduced from 300 feet to 200 feet and allows the City staff discretion to determine exemptions to this distance requirement; and must collocate on existing utility pole if available within 200 foot-radius. Weber stated that the proposed ground equipment changes eliminates requirement that ground equipment may not be placed within 250 feet of an intersection; must reduce visual clutter without producing visual or physical obstructions to vehicular or pedestrian traffic; and be a limited size to 3 feet and 6 inches. She noted that the changes for traffic signals are for industry standard radio frequency interference analysis must be completed with each permit application indicating that the network node will not interfere with the operations of the traffic signal or any City communication equipment. Weber noted that for replacements a permit is not required to replace or upgrade a network node or pole, however the Design Manual requirements still apply to replacements.

Weber read the caption.

Fought asked what this item actually does. Weber responded that it allows more flexibility for pole installation specifically with spacing. Fought asked if it would allow more competition for cell or internet providers. Weber responded that small cell nodes are specifically to boost capacity for cell phone coverage. Morgan added that staff has been very active related to citizen calls for broadband services. He continued that staff worked directly with AT&T on this item and the overall goal is to improve services throughout the City. Morgan stated that allows providers more flexibility for telecommunication companies. He added that this type of solution does not guarantee a change in providers for citizens. Fought stated that he wanted it to be clear for the citizens what the City is moving towards. He applauded staff's work and asked that staff simplify the message. Morgan stated that this absolutely helps with more cell coverage and the possibility of bringing about 5G coverage. Fought noted citizen comments related to the need for more competition for services.

Motion by Gonzalez, second by Fought.

Calixtro – Yes

Triggs – Yes

Fought – Yes

Pitts – Yes

Jonrowe – Yes

Gonzalez – Yes

Approved 6-0 (District 2 vacant).

- S. Consideration and possible action to approve a **license agreement** with **New Cingular Wireless PCS, LLC** -- Bridget Hinze Weber, Assistant to the City Manger

Weber presented the item and reviewed small cell infrastructure and noted: this is ideal where customers may experience connectivity issues, including heavily populated areas that need more network capacity and areas that can't effectively be served by a traditional macro cell; are precisely targeted solutions and can cover a radius of several hundred feet; provide enhanced voice and data services by helping to bolster network capacity to allow faster downloads and improved call quality within its coverage area; increases capacity or coverage in target areas thus allowing macro to provide overall improved service; and are critical for the path to 5G. She provided photographic examples of new small cell nodes in Round Rock. Weber explained the deployment of small cell nodes based on a two-year plan for Georgetown as follows: 20 planned to launch thru 2022; majority are expected to be collocations, mostly on Georgetown Utilities poles; few (if any) new poles expected; and additional future small cells may be announced in 2021. Weber provided the agreement terms as a ten-year agreement to begin upon adoption by City and acceptance by New Cingular Wireless, and an agreement shall automatically renew for an additional period of five (5) years and automatically renew for successive five-year periods unless either party gives written notice of termination not less than one year before the expiration of any renewal period.

Weber read the caption.

Pitts asked if citizen with AT&T should see improved services after the installation. Weber responded yes. Pitts asked what the City could do for AT&T to provide internet to the homes in Georgetown. Dan Gorman with AT&T responded that he does not work in that area, but typically what is needed is power and fiber. He added that AT&T would need to be a fiber provider. Gorman stated that it is a possibility, but he can't say anything definitely. Pitts stated that the citizens would appreciate another internet provider. Gonzalez supported Pitts comments.

Motion by Pitts, second by Gonzalez.

Calixtro – Yes

Triggs – Yes

Fought – Yes

Pitts – Yes

Jonrowe – Yes

Gonzalez – Yes

Approved 6-0 (District 2 vacant).

- T. Consideration and possible action to approve a Resolution recommending **initiation** of an **Executive Amendment** to the Unified Development Code (UDC) relative to the **definition** of an **Electric Utility Services Availability Letter** -- Sofia Nelson, CNU-A, Planning Director, and Wesley Wright, PE, Systems Engineering Director

Nelson presented the item and noted that staff came to Council in May related to this and is looking to provide changes for better practices. She continued that the executive amendment process is needed to make the change outside of the routine UDC updates and this request will not go to the UDC Advisory Committee. Nelson noted that should this be approved staff is looking at the following schedule: Planning and Zoning Commission on January 5th; First Reading on January 12th; and Second Reading on January 26th.

Motion by Pitts, second by Gonzalez.

Calixtro – Yes

Triggs – Yes

Fought – Yes

Pitts – Yes

Jonrowe – Yes

Gonzalez – Yes

Approved 6-0 (District 2 vacant).

- U. **Second Reading** of an Ordinance for a **Zoning Map Amendment** to **rezone** approximately **0.104 acre** out of the Nicholas Porter Survey, Abstract No. 497, **from the Townhome (TH)**

zoning district **to the General Commercial (C-3)** zoning district for the property generally located at **206 E Janis Dr** -- Sofia Nelson, CNU-A, Planning Director

Nelson presented the item and noted that there had been no changes since the first reading.

Nelson read the caption.

Motion by Pitts, second by Gonzalez.

Calixtro – Yes

Triggs – Yes

Fought – Yes

Pitts – Yes

Jonrowe – Yes

Gonzalez – Yes

Approved 6-0 (District 2 vacant).

- V. **Second Reading** of an Ordinance on a request for a **Zoning Map Amendment** to **rezone** approximately **7.51 acres** out of the L.J. Dyches Survey, Abstract No. 180, **from the Industrial (IN)** zoning district **to the General Commercial (C-3)** zoning district, for the property generally located on the **southeast corner** of **IH-35** and **Blue Ridge Boulevard** -- Sofia Nelson, CNU-A, Planning Director

Nelson presented the item and noted that there had been no changes since the first reading. She provided an update and noted that at the last meeting Council had asked what percentage of the future land district this project is equal for Employment Center. Nelson noted that is equal to 1.28% of that total.

Motion by Pitts, second by Gonzalez.

Calixtro – Yes

Triggs – Yes

Fought – Yes

Pitts – Yes

Jonrowe – Yes

Gonzalez – Yes

Approved 6-0 (District 2 vacant).

- W. **Second Reading** of an Ordinance for the **voluntary annexation** and the **initial zoning designation** of **Residential Estate (RE)** upon annexation, of an approximate **6.478 acre** tract of land located in the David Wright Survey, Abstract 13, being all of Lots 13 and 15, Serenada Country Estates Unit One Subdivison, generally located at **109 and 111 Serenada Drive** -- Sofia Nelson, CNU-A, Planning Director

Nelson presented the item and noted that there had been no changes since the first reading.

Nelson read the caption.

Motion by Pitts, second by Triggs.

Calixtro – Yes

Triggs – Yes

Fought – Yes

Pitts – Yes

Jonrowe – Yes

Gonzalez – Yes

Approved 6-0 (District 2 vacant).

- X. **Second Reading** of an Ordinance **amending Title 7 (Animals) and Chapter 8.05 (Intentional Feeding of Deer)** of the Code of Ordinances relating to the **regulation of animals** -- April Haughey, Animal Services Manager and Jack Daly, Community Services Director

Haughey presented the item and noted that there had been no changes since the first reading.

Haughey read the caption

Motion by Pitts, second by Triggs.

Calixtro – Yes

Triggs – Yes

Fought – Yes

Pitts – Yes

Jonrowe – Yes

Gonzalez – Yes

Approved 6-0 (District 2 vacant).

- Y. **Second Reading** of an Ordinance **extending the franchise agreement with Atmos Energy and Corporation, Mid-Tex Division and amending Chapter 14.04** of the Code of Ordinances relating to the terms and conditions of the franchise -- Bridget Hinze Weber, Assistant to the City Manager

Weber presented the item and noted that the first reading was on October 27, 2020. She noted that there was one changes since the First Reading related to insurance requirements for Atmos.

Weber read the caption.

Motion by Pitts, second by Fought.

Calixtro – Yes

Triggs – Yes

Fought – Yes

Pitts – Yes

Jonrowe – Yes

Gonzalez – Yes

Approved 6-0 (District 2 vacant).

- Z. **Second Reading** of an Ordinance **amending Ordinance No. 2019-69** and approving a **First Amendment** to and **Partial Assignment of Development Agreement** for **Parkside** on the **River Subdivision** -- Wayne Reed, Assistant City Manager

Reed presented the item and noted that staff has inserted the executed and recorded Partial Assignment and Assumption Agreement as Exhibit B.

Reed read the caption

Motion by Pitts to approve an Ordinance of the City Council of the City of Georgetown, Texas Amending Ordinance No. 2019-69 and approving a “First Amendment to and Partial Assignment of Development Agreement for Parkside on the River Subdivision,” repealing conflicting ordinances and resolutions; including a severability clause; and establishing an effective date and substituting the unexecuted Exhibit B (Partial Assignment and Assumption Agreement) with an executed version signed by Blake J. Magee on behalf of both entities, second by Gonzalez.

Calixtro – Yes

Triggs – Yes

Fought – Yes

Pitts – Yes

Jonrowe – Yes

Gonzalez – Yes

Approved 6-0 (District 2 vacant).

Executive Session

In compliance with the Open Meetings Act, Chapter 551, Government Code, Vernon’s Texas Codes, Annotated, the items listed below will be discussed in closed session and are subject to action in the regular session.

AA. Sec. 551.071: Consultation with Attorney

Advice from attorney about pending or contemplated litigation and other matters on which the attorney has a duty to advise the City Council, including agenda items

- Litigation Update

- PEC Franchise

Sec. 551.072: Deliberations about Real Property

- Berry Creek Interceptor 1-3, Parcels 4 and 9-15 -- Travis Baird, Real Estate Services Manager

Sec. 551.086: Certain Public Power Utilities: Competitive Matters

- Competitive Matters -- Daniel Bethapudi, General Manager of the Electric Utility

Sec. 551.074: Personnel Matters

- City Attorney Check-in

Adjournment

Motion by Fought, second by Calixtro.

Calixtro – Yes

Triggs – Yes

Fought – Yes

Pitts – Yes

Jonrowe – Yes

Gonzalez – Yes

Approved 6-0 (District 2 vacant).

Meeting adjourned at 7:54 p.m.

Approved by the Georgetown City Council on _____
Date

Josh Schroeder, Mayor

Attest: City Secretary

**Notice of a Meeting of the
Governing Body of the
City of Georgetown, Texas
Tuesday, December 22, 2020**

The Georgetown City Council will meet on Tuesday, December 22, 2020 at 6:00 PM at the Council Chambers at 510 West 9th St., Georgetown, Texas.

Mayor Schroeder called the meeting to order at 6:02 p.m. The following Council Members were in attendance: Mayor Josh Schroder; Mary Calixtro, Council Member District 1; Mike Triggs, Council Member District 3; Steve Fought, Council Member District 4; Kevin Pitts, Council Member District 5; and Rachael Jonrowe, Council Member District 6. Tommy Gonzalez, Council Member District was absent, and Council District 2 is vacant.

Regular Session

(This Regular session may, at any time, be recessed to convene an Executive Session for any purpose authorized by the Open Meetings Act, Texas Government Code 551.)

A. Call to Order – Canvass of December 15, 2020 Runoff Election and Swearing in Ceremony

Legislative Regular Session

B. Consideration and possible action to approve a Resolution canvassing the votes of the December 15, 2020 Runoff Election, declaring the results to be official -- Robyn Densmore, City Secretary

Densmore noted that the Council had been provided copies of the final tabulation of the results of the Runoff Election held December 15, 2020 from the Williamson County Elections office and that the results for the position of Council Member District 2 were that Lisa King received 452 votes and Shawn F. Hood received 870 votes. She added that Council's approval of the proposed resolution will declare these results to be true and accurate.

Densmore read the caption

Motion by Pitts, second by Triggs.

Calixtro – Yes

Triggs – Yes

Fought – Yes

Pitts – Yes

Jonrowe – Yes

Gonzalez – Absent
Approved 5-0 (Gonzalez absent and District 2 vacant).

- C. Swearing in of newly elected Council Member for District 2, Shawn F. Hood -- Robyn Densmore, City Secretary

Densmore administered the Statement of Appointed Officer and Oath of Office for Council Member Hood.

- D. Comments from newly elected Council Member for District 2, Shawn F. Hood -- Mayor Josh Schroeder

Hood thanked everyone who voted for and gave special consideration to his wife and mother.

Adjournment

Motion by Fought, second by Hood.

Calixtro – Yes

Triggs – Yes

Triggs – Yes

Fought – Yes

Pitts – Yes

Jonrowe – Yes

Gonzalez – Absent

Approved 6-0 (Gonzalez absent).

Meeting adjourned at 6:07 p.m.

Approved by the Georgetown City Council on _____
Date

Josh Schroeder, Mayor

Attest: City Secretary

City of Georgetown, Texas
City Council Regular Meeting
January 12, 2021

SUBJECT:

Consideration and possible action to **appoint Jim Salyer** as a **regular member** to the **Planning and Zoning Commission** to **fill a vacancy** -- Mayor Josh Schroeder

ITEM SUMMARY:

FINANCIAL IMPACT:

--

SUBMITTED BY:

RLD for Mayor Schroeder

City of Georgetown, Texas
City Council Regular Meeting
January 12, 2021

SUBJECT:

Consideration and possible action to approve a Resolution confirming the **appointment** of **Luis Zamot** to a term on the Fire Fighters' and Police Officers' **Civil Service Commission** -- Tadd Phillips, Director of Human Resources

ITEM SUMMARY:

The City of Georgetown held elections on November 5, 2002 and November 2, 2004, respectively for the purpose of seeking voter response to the propositions of "the adoption of the firefighters' civil service law" and "the adoption of the police officers' civil service law. The voters approved both propositions and pursuant to state law, the City of Georgetown has adopted Chapter 143 of the State Government Code.

The Fire Fighters' and Police Officers' Civil Service Commission consists of three (3) members appointed by the City Manager and confirmed by the City Council. The Fire Fighters' and Police Officers' Civil Service Commission oversees the hiring and promotion process and serves as a disciplinary appeal board for civil service employees in the Georgetown Fire and Police Departments.

The minimum requirements for consideration of appointment are as follows:

- Resident of Georgetown for more than three years
- Must be at least 25 years of age
- Must not have held public office in the past three years

This is a reappointment of Commissioner Zamot. The appointment is for 3 years, ending December 31st, 2023.

* Application can be made available upon request.

FINANCIAL IMPACT:

None

SUBMITTED BY:

Mike Watson

ATTACHMENTS:

Proposed Resolution for Luis Zamot

Section 143.006 of the Texas Local Government Code: Implementation: Commission

RESOLUTION NO. _____

A Resolution of the City Council of the City of Georgetown, Texas confirming the appointment of Luis Zamot to the Fire Fighters' and Police Officers' Civil Service Commission; and establishing an effective date.

WHEREAS, The City of Georgetown held elections on November 5, 2002 and November 2, 2004, respectively for the purpose of seeking voter response to the propositions of “the adoption of the firefighters’ civil service law” and “the adoption of the police officers’ civil service law; and

WHEREAS, the voters approved both propositions and pursuant to state law, the City of Georgetown has adopted Chapter 143 of the State Government Code establishing the Fire Fighters' and Police Officers' Civil Service Commission; and

WHEREAS, Chapter 143 of the Texas Local Government Code provides that the Civil Service Commission shall consist of three (3) members appointed by the city’s chief executive and confirmed by the City Council; and

WHEREAS The Civil Service Commission will oversee the hiring and promotion process and serve as a disciplinary appeal board for civil service employees in the Georgetown Fire and Police Departments, and perform such other duties as set forth in Chapter 143 of the Texas Local Government Code; and

WHEREAS, the City Council desires to appoint Luis Zamot to fill a three (3) year term on the Firefighters’ and Police Officers’ Civil Service Commission.

NOW, THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF GEORGETOWN, TEXAS, THAT:

SECTION 1. Findings. The facts and recitations contained in the preamble of this resolution are hereby found and declared to be true and correct, and are incorporated by reference herein and expressly made a part hereof, as if copied verbatim.

SECTION 2: Luis Zamot is hereby appointed to fill a three (3) year term on the City’s Firefighters’ and Police Officers’ Civil Service Commission that will expire on December 31, 2023.

SECTION 3: This Resolution shall be effective immediately upon its approval.

RESOLVED this 12th day of January, 2021.

APPROVED:

ATTEST:

Josh Schroeder
Mayor

Robyn Densmore
City Secretary

APPROVED AS TO FORM:

Skye Masson
City Attorney

Sec. 143.006. IMPLEMENTATION: COMMISSION. (a) On adoption of this chapter, the Fire Fighters' and Police Officers' Civil Service Commission is established in the municipality. The chief executive of the municipality shall appoint the members of the commission within 60 days after the date this chapter is adopted. Within 30 days after the date the municipality's first full fiscal year begins after the date of the adoption election, the governing body of the municipality shall implement this chapter.

(b) The commission consists of three members appointed by the municipality's chief executive and confirmed by the governing body of the municipality. Members serve staggered three-year terms with the term of one member expiring each year. If a vacancy occurs or if an appointee fails to qualify within 10 days after the date of appointment, the chief executive shall appoint a person to serve for the remainder of the unexpired term in the same manner as the original appointment.

(c) A person appointed to the commission must:

- (1) be of good moral character;
- (2) be a United States citizen;
- (3) be a resident of the municipality who has resided in the municipality for more than three years;
- (4) be over 25 years of age; and
- (5) not have held a public office within the preceding three years.

(c-1) Notwithstanding Subsection (c)(5), the municipality's chief executive may reappoint a commission member to consecutive terms. A commission member may not be reappointed to more than a third consecutive term unless the member's reappointment to a fourth or subsequent consecutive term is confirmed by a two-thirds majority of all the members of the municipality's governing body.

(c-2) Subsection (c)(5) does not prohibit the municipality's chief executive from appointing a former commission member to the commission if the only public office

held by the former member within the preceding three years is membership on:

(1) the commission; or

(2) the commission and the municipality's civil service board for employees other than police officers and firefighters through a joint appointment to the commission and board.

(c-3) Subsections (c-1) and (c-2) do not apply to a municipality with a population of 1.5 million or more.

(d) In making initial appointments, the chief executive shall designate one member to serve a one-year term, one member to serve a two-year term, and one member to serve a three-year term. If a municipality has a civil service commission immediately before this chapter takes effect in that municipality, that civil service commission shall continue as the commission established by this section and shall administer the civil service system as prescribed by this chapter. As the terms of the members of the previously existing commission expire, the chief executive shall appoint members as prescribed by this section. If necessary to create staggered terms as prescribed by this section, the chief executive shall appoint the initial members, required to be appointed under this chapter, to serve terms of less than three years.

(e) Initial members shall elect a chairman and a vice-chairman within 10 days after the date all members have qualified. Each January, the members shall elect a chairman and a vice-chairman.

(f) The governing body of the municipality shall provide to the commission adequate and suitable office space in which to conduct business.

(g) The chief executive of a municipality commits an offense if the chief executive knowingly or intentionally fails to appoint the initial members of the commission within the 60-day period prescribed by Subsection (a). An offense under this subsection is a misdemeanor punishable by a fine of not less than \$100 or more than \$200. Each day after the 60-day period

that the chief executive knowingly or intentionally fails to make a required appointment constitutes a separate offense.

(h) The chief executive of a municipality or a municipal official commits an offense if the person knowingly or intentionally refuses to implement this chapter or attempts to obstruct the enforcement of this chapter. An offense under this subsection is a misdemeanor punishable by a fine of not less than \$100 or more than \$200.

Acts 1987, 70th Leg., ch. 149, Sec. 1, eff. Sept. 1, 1987.

Amended by:

Acts 2005, 79th Leg., Ch. 475 (H.B. [150](#)), Sec. 1, eff. June 17, 2005.

City of Georgetown, Texas
City Council Regular Meeting
January 12, 2021

SUBJECT:

Consideration and possible action to ratify and approve the **annual estimated expenditures** with **Amazon.com** to provide a variety of **supplies** and **equipment** through the **Omnia Purchasing Cooperative, Contract R-TC-17006**, in an amount not to exceed **\$100,000.00** -- Leah Neal, Purchasing Manager

ITEM SUMMARY:

Approval of annual purchase agreement with Amazon.com through the Omnia Purchasing Cooperative will allow the City to take advantage of the discounts available through this national cooperative contract. Items will be ordered by the various City departments during the term of 10/01/2020– 09/30/2021.

On October 22, 2019 Council approved annual expenditures with Amazon from 10/22/2019 – 9/30/2020. Purchasing is requesting ratification of supply procurements from 10/1/2020 – 12/28/2020 in the amount of \$28,263.76.

This action requests approval for a not-to-exceed amount of \$100,000 for the FY 2021.

FINANCIAL IMPACT:

Budget for supplies is available throughout the various departments and funds.

SUBMITTED BY:

Sharon Parker

ATTACHMENTS:

Contract - Amazon



Prince William County

PUBLIC SCHOOLS

Providing A World-Class Education

CONTRACT NUMBER: R-TC-17006

This Contract entered into this 19th day of January 2017 by, **Amazon Services, LLC, Amazon Business, 325 9th Avenue N., Seattle, WA 98109**, hereinafter referred to as the "Contractor" and **Prince William County School Board, P.O. Box 389, Manassas, VA 20108**, hereinafter referred to as the "Prince William County Public Schools", "Purchasing Agency" or "PWCS".

WITNESSETH that the Contractor and PWCS, in consideration of the mutual covenants, promises and agreements herein contained, agree as follows:

1. **SCOPE OF CONTRACT:** Contractor shall provide an On-Line Marketplace for the Purchase of Products and Services in accordance with the Statement of Needs, General Terms and Conditions and Special Terms and Conditions stated herein.
2. **CONTRACT DOCUMENTS:** The contract documents shall consist of the following:
 - 2.1. This signed Contract document;
 - 2.2. Memorandum of Negotiations dated January 19, 2017.
3. **CONTRACT TERM AND RENEWAL:**
 - 3.1. The initial term of this contract shall be from the date of award, January 19, 2017 to January 18, 2022, with the option to renew for three (3) additional two (2)-one-year periods, upon mutual written consent of the parties to the contract. Proposed prices shall remain firm for the initial term of the contract.
4. **CONTRACT ADMINISTRATOR/PROJECT MANAGER:** The following PWCS employees are identified to use all powers under the contract to enforce its faithful performance:
 - 4.1. **CONTRACT ADMINISTRATOR:** As the Contract Administrator, the following individual, or his/her designee, shall serve as the interpreter of the conditions of the contract and shall use all powers under the contract to enforce its faithful performance.



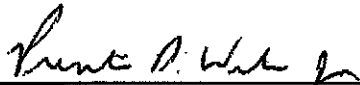
- 4.2. **PROJECT MANAGER:** The following individuals shall work directly with the Contractor in scheduling and coordinating work, answering questions in connection with the scope of work, and providing general direction under the resulting contract:
5. **TIME OF PERFORMANCE:** In accordance with Contractor's proposal, Section 4.2.2. and 5.3.2.
6. **PRICING:** In accordance with Contractor's proposal, Section 4.2.1.
7. **PAYMENT TERMS:** In accordance with Contractor's proposal, Section 5.3.6.
-

Prince William County does not discriminate against faith-based organizations in accordance with the *Code of Virginia*, §2.2-4343.1 or against a bidder or offeror because of race, religion, color, sex, national origin, age, disability, or any other basis prohibited by state law relating to discrimination in employment.

This contract shall constitute the whole agreement between the parties. There are no promises, terms and conditions, or obligations other than those contained herein, and this contract shall supersede all previous communications, representations, or agreements, written or verbal, between the parties hereto related to the provision of goods (including leases thereof), services and/or insurances described herein.

IN WITNESS THEREOF, the parties have caused this Contract to be executed by the following duly authorized officials:

CONTRACTOR:


Authorized Signature
Prentiss D. Wilson, Jr.
Type Name
Vice President
Title
Jan 27, 2017
Date

PURCHASING AGENCY:


Authorized Signature
Jim Totty, CPPO, C.P.M.
Type Name
Supervisor of Purchasing
Title
1-31-17
Date





Prince William County

PUBLIC SCHOOLS

Providing A World-Class Education

MEMORANDUM OF NEGOTIATIONS

R-TC-17006

Dated: January 19, 2017

Prince William County Schools (hereinafter called PWCS) and Amazon Services, LLC (hereinafter called the Contractor) hereby agree to the following in the execution of Contract R-TC-17006 for On-Line Marketplace for the Purchases of Products and Services. The final Contract contains the following documents listed in the order of precedence:

- a. Contractor's proposal dated October 14, 2016;
- b. Contractor's response to Clarification Questions dated October 31, 2016, attached;
- c. PWCS's Request for Proposal, R-TC-17006 and all Addendum #1;
- d. Contractor's Business Accounts Terms and Conditions (currently available at <https://www.amazon.com/gp/help/customer/display.html?nodeId=201613180>), attached;
- e. PWCS's General Terms and Conditions, Section 11 (RFP – Revised 12/16/16), attached;
- f. This Memorandum of Negotiations;
- g. Any subsequent modifications to the Contract.

1. The contract term shall remain as originally issued in the RFP, as follows:

- 9.1. The initial term of this contract shall be five years (5) from the date of award to **December 30, 2021**, with the option to renew for three-two (2) year periods, upon mutual written consent of the parties to the contract.

2. Amazon Whispercast is not being offered upon award but will remain in scope for future offerings by the Contractor. In addition, all new Amazon business opportunities may be modified to the Contract by mutual agreement between the Contractor and PWCS.



3. The following provision is added to PWCS Special Terms and Conditions:

10.7 NOTICE OF DEFERRAL UNDER FEDERAL GRANT UNIFORM GUIDANCE:

As permitted under the rule published at 80 FR 54407, Prince William County Schools is electing to defer until July 1, 2017, the implementation of the procurement provisions of the Uniform Guidance, as detailed in 2 CFR 200 subsections .317 through .326. During this period, we will continue to operate under the guidance of 44 C.F.R. § 13.36(a)-(i) (States, Local and Tribal governments) and 2 C.F.R. 215.40-48 (Institutions of Higher Education, Hospitals, and Private Non-Profits). This provision shall constitute the documentation of this decision as required, and shall be deemed incorporated into our internal procurement policies.

4. Contractor's response to Clarification Questions dated October 31, 2016, Question #1: The State of Iowa is hereby removed as an excluded state and allowed use of the Master Agreement award.

ACCEPTED BY:

Prince D. Wilson
Contractor Authorized Signature

Jan 27, 2017
Date

Vice President
Title

Jim Totty
Jim Totty, C.P.M., CPPO
Supervisor of Purchasing

1/31/17
Date



City of Georgetown, Texas
City Council Regular Meeting
January 12, 2021

SUBJECT:

Consideration and possible action to accept a **grant award** and **revenue** in the amount of **\$55,463.78** for the Coronavirus Aid, Relief, and Economic Security (**CARES**) **Act funding through Williamson County**, Texas -- Leigh Wallace, Finance Director

ITEM SUMMARY:

On June 9, 2020, Council authorized staff to apply for grant funding to reimburse unplanned expenses related to the COVID-19 pandemic according to the Governor's direction for cities within counties with populations of 500,000.

Williamson County's process is to reimburse eligible expense to cities in phases, starting in July 2020 and ending in December 2020. The Commissioner's Court discussed and approved the plan at their meeting on June 2, 2020. Recently, CAREs Act reimbursements were extended through December 2021.

To date, staff has submitted five packets of expenses for reimbursement to Williamson County. These packets included expenses for public safety overtime, personnel protective equipment, enhanced disinfection services, and various other COVID-19 pandemic related supplies and services. The submissions totaled approximately \$178,000. The City has received payment already for submissions 1 and 2 for \$107,000. The purpose of this agenda item is to accept submissions 3 and 4 in the amounts of \$38,315.27 and \$17,148.51, respectively.

The total reimbursement revenue to accept on this action item is \$55,463.78. These revenues will be deposited in the following funds consistent with where they were originally spent: General, Facilities, Joint Service, Airport, Electric, and Stormwater.

Staff project a 6th submission for reimbursement for expenses in December 2020, as well as several items from earlier in the year that Treasury guidance has updated as qualifying expenses. Finance staff will continue coordinating with City departments to track and apply for reimbursements for qualifying expenses through December 2021, although the schedule of deadlines and estimated amounts are not yet known.

FINANCIAL IMPACT:

There is no match requirement for this grant. Staff projected a total of \$120,000 of grant revenue in FY2020. Accruals were booked on known submissions.

SUBMITTED BY:

Sharon Parker

City of Georgetown, Texas
City Council Regular Meeting
January 12, 2021

SUBJECT:

Forwarded from General Government and Finance Advisory Board (GGAF):

Consideration and possible action to approve issuance of a **Purchase Order** for **utility bill printing and mailing services** through **February 21, 2022** to **Dataprose LLC** pursuant to a **piggyback** clause in an agreement with the **City of Plano** at an annual cost of **\$315,840.00** -- Leticia Zavala-Jones, Director of Customer Care

ITEM SUMMARY:

The City awards the utility bill printing and mailing service contract by utilizing an inter-local agreement with the City of Plano. Georgetown has benefited from the extended volume pricing in the Plano contract in the past and this process satisfies the state procurement requirements. The City of Georgetown has had much success with Plano's vendor, Dataprose, and would like to continue utilizing their services for another year.

We anticipate printing and mailing 47,000 bills, notices, and account specific letters (on average/per month) in the next year. Postage costs increased \$0.007 in 2020 and are projected to increase again in 2021. Postage is the bulk of this contract so any increases will affect overall contract costs.

The average cost per bill is \$0.56 and the printing and insertion portion remained at \$0.14. The total estimated costs of the renewed contract are \$315,840 (calculated below). Postage is estimated to be \$236,880 and printing and insertion services is \$78,960.

Bills printed & delivered vis USPS: (47,000 (bills/month) x .56 (rate) x 12 (months) = \$315,840

FINANCIAL IMPACT:

Because of the large increase, we are in the process of releasing our own request for proposal (RFP) for bill print & mail services this year.

Staff recommends approval of this item. The funding for the \$315,840 is in the 2020/21 Customer Care Budget CC0321, Spend Category Consulting-Governmental. The total contract cost for 2020/2021 is \$315,840 which is an increase of 9% over prior year, or \$26,880.

SUBMITTED BY:

Leticia Zavala-Jones - Director of Customer Care

ATTACHMENTS:

Piggyback Agreement with Plano- Dataprose

**PIGGYBACK CONTRACT WITH
THE CITY OF GEORGETOWN, TEXAS**

THIS AGREEMENT is made and entered into this ____ day of _____, 2020 (“Effective Date”) by and between the **CITY OF GEORGETOWN, TEXAS**, a Texas home-rule municipality (the “CITY”) and **DATA PROSE, LLC**, (the “VENDOR”).

WHEREAS, pursuant to Chapter 791 of the Texas Government Code, the CITY has the legal authority to “piggyback” onto a contract procured by another governmental entity when seeking to utilize the same or similar services provided for in said contract in the interest of the public; and

WHEREAS, the CITY requires the services of a VENDOR that can provide utility bill printing and mailing and insert printing services, (the “SERVICES”); and

WHEREAS, the CITY entered into an Interlocal Agreement with the **CITY OF PLANO, TEXAS**, a home-rule municipality, under Resolution No. 010808-V on January 8, 2008; and

WHEREAS, the VENDOR has previously entered into a Contract dated January 31, 2017 with the CITY OF PLANO, TEXAS in response to the CITY OF PLANO, TEXAS Bid No. 2016-0370-C for SERVICES (the “CONTRACT”). A copy of the CONTRACT, Bid No. 2016-0370-C, VENDOR’S Response, and amendments to the Contract are attached hereto as Exhibit “A”; and

WHEREAS, the CITY desires to “piggyback” onto the above referenced CONTRACT between the VENDOR and THE CITY OF PLANO, TEXAS dated January 31, 2017 for SERVICES, and the VENDOR consents to the aforesaid “piggybacking.”

NOW THEREFORE, in consideration of the mutual covenants contained herein, and for other valuable consideration received, the receipt and sufficiency of which are hereby acknowledged, the parties agree as follows:

1. The above stated recitals are true and correct.
2. VENDOR affirms and ratifies the terms and conditions of the above referenced CONTRACT and agrees to perform the services set forth therein for the CITY in accordance with the terms of the CONTRACT.
3. The CITY agrees to utilize the SERVICES of the VENDOR in the manner and upon the terms and conditions as set forth in the CONTRACT.
4. This Agreement shall be effective on the date it is fully executed by the CITY and the VENDOR and shall terminate on February 21, 2022.
5. Except as otherwise stated herein, the terms and conditions of the CONTRACT shall form the basis of this Agreement with the CITY having the rights, duties and obligations of the CITY OF PLANO, TEXAS thereunder. The CONTRACT is hereby incorporated

into this Agreement, and if any provision of this Agreement conflicts with any provision of the CONTRACT, then the terms, conditions and provisions of this Agreement shall control.

6. The terms and conditions of the CONTRACT are modified, amended or supplemented as follows:

- A. Section IV. PAYMENT shall be amended as follows: "The CITY may not expend in excess of \$315,840 for VENDOR'S services."
- B. Section XVIII. MAILING OF NOTICES shall remain the same except for the Notice address for the CITY which shall be amended as follows:

Notice to CITY:

| | | |
|-----------------------------|-----------------|----------------------|
| City Manager | with a Copy to: | City Attorney |
| PO Box 409 | | PO Box 409 |
| Georgetown, Texas | | Georgetown, Texas |
| David.Morgan@georgetown.org | | Legal@georgetown.org |

7. This Agreement, with all exhibits, includes the entire agreement of the City and the Consultant and supersedes all prior and contemporaneous agreements between the parties, whether oral or written, relating to the subject of this agreement.

IN WITNESS WHEREOF, the Parties execute this Agreement.

DATA PROSE, LLC

CITY OF GEORGETOWN

By: William K. Murray
Printed Name: William K. Murray
Title: CEO
Date: 12/11/2020

By: _____
Printed Name: _____
Title: _____
Date: _____

ATTEST:

Robyn Densmore, City Secretary

APPROVED AS TO FORM:

Skye Masson, City Attorney

City of Georgetown, Texas
City Council Regular Meeting
January 12, 2021

SUBJECT:

Forwarded from the Library Advisory Board:

Consideration and possible action to approve a **Special Projects grant application** to **Texas State Library and Archives Commission** from Georgetown Public Library for **\$25,000.00** in funding toward the **Georgetown Remembers project** -- Eric P. Lashley, Library Director

ITEM SUMMARY:

The Georgetown Remembers project will make direct contact with residents of historically underserved neighborhoods and work with them individually to preserve and collect materials relevant to their history and architecture. The project will provide individual consultation and education about preserving their materials for future generations. Consultations will include teaching residents to use very user-friendly scanning equipment purchased with this grant. Residents who participate in the project will receive their digitized items on a new 16GB flash drive, an archival pen for labeling their photos, and educational materials related to preserving their materials.

FINANCIAL IMPACT:

Georgetown Public Library is applying for a \$25,000 grant from TSLAC. Funds will be used to purchase a 600 dpi patron-use digital scanner, 50 library logo 16 GB flash drives, 50 archival pens, worktable, and to cover printing, mailing, and Internet drop installation costs. Awards from TSLAC will be dispersed and expensed in FY22. The City would be responsible for an annual service contract charge, estimated at \$3,000, in subsequent fiscal years.

SUBMITTED BY:

Lawren Weiss

ATTACHMENTS:

Georgetown Remembers TSLAC draft application
Grant App. Review Form & Grant budget request

Texas State Library & Archives Commission

Special Projects Grant — “Georgetown Remembers” Application – DRAFT 12/30/20

Budget (20 points)

Maximum award = \$75,000. Enter whole numbers only. Amounts should be rounded to the nearest dollar. Do not use dollar signs, cents or commas. For example, enter “1250,” not \$1,249.87.

Capitalization Level: \$5,000

| Budget Category | Grant Funds* | Other Funds (if applicable)(\$) | Description* | Total Costs (\$) |
|-------------------------|---------------------|--|---|-------------------------|
| Salaries/Wages/Benefits | 0 | 11856 | City budget. Dedicated weekly salaries/wages/benefits by existing full-time staff 9/1/2021-8/31/2022: \$228. (Senior librarian 1 hr/week at \$28/hr; Librarian 4 hr/week at \$26/hr; Library Assistants 4 hr/week at \$18/hr; Marketing Coordinator 1 hr/week at \$24/hr.) (Source: City average pay for staff classifications) | 11856 |
| Consultant Fees | 0 | 0 | | 0 |
| Travel | 0 | 0 | | 0 |
| Supplies/Materials | 1521 | 0 | Work table for patrons using scanner (\$901; source: vendor website); 50 library logo 16GB flash drives for residents to take their digital files home on (\$500; source: vendor website); 50 archival pens for residents to take for use at home (\$120; source: vendor website) | 1521 |

Texas State Library & Archives Commission
2022 Special Projects Grant — Draft Application

| | | | | |
|--------------------------------------|-------|-------|--|-------|
| Equipment | 21934 | 0 | 600 dpi patron-use digital scanner with A2 sized scan area and flat or “V” cradle modes and foot pedal and USB port; must include software user interface and PC and remote installation assistance and staff training; must support standard output formats (PDF, Searchable PDF, Editable Rich Text (RTF), JPEG, PNG, Text-to-Audio (MP3), Save to QR Code, Save to Cloud) | 21934 |
| Services | 1545 | 189 | Printing, addressing, and postage for multiple direct mailings to all 500 neighborhood residents; printing of posters to post inside the library and in neighborhood churches/community centers; photo printing and materials to send home with patrons participating in the project; installation of a network drop for the scanner | 1734 |
| Indirect Costs | 0 | 0 | | |
| Rate | | | | |
| Base | | | | |
| Totals | 25000 | 12045 | | 37045 |
| Expected program income: None | | | | |

***mandatory fields**

Budget Category Descriptions

Capitalization Level

Capitalization threshold is a dollar amount assigned by your City/County/Board on items of property that have an estimated life of more than one year. If the library purchases an item that costs that amount or above, the City/County/Board requires you to report those items as inventory on an annual report. The state of Texas has assigned a dollar amount of \$5,000 as the capitalization threshold for items purchased by the State of Texas. The dollar amount assigned by your City/County/Board may be less but it cannot be higher. If the library purchases items that are less than the capitalization it is not reported on an annual financial report. **Example:** Your City requires you to put into inventory any item over \$500. You are buying a desk for \$550. This purchase will go under **Equipment**, and you will list your Capitalization Threshold at \$500. **Note: A letter stating your Capitalization Threshold must be submitted with your signed contract if an amount is budgeted in Equipment.**

Salaries/Wages/Benefits

Includes all salaries, wages, and fringe benefits paid to staff directly contributing to the project. Narrative should include position titles (but not names) and number of FTEs in description.

Consultant Fees

All expenses related to acquiring the services of a consultant for a specific activity within the project can be included in this category. Costs may include fees, travel, accommodation, and support services hired directly by the consultant. Narrative should include description of expertise of consultant along with actions/contributions to project. Include consultant name.

Travel

Travel costs must be related to the project activities and must be incurred by the staff working on the project. The costs include airfare, ground transportation, accommodation, meals, etc. For airfare, economy class must be used at all times. Narrative should include number of travelers and description of types of travel expenditures.

Supplies/Materials

Include costs for supplies and materials including computing devices (if the acquisition cost per unit is less than the lesser of the capitalization level established by the governmental unit for financial statement purposes, or \$5,000) purchased specifically for the project. **Narrative should include descriptions, quantities, and prices of supplies/materials requested.**

Equipment

Includes tangible personal property (including information technology systems) having a useful life of more than one year and a per-unit acquisition cost which equals or exceeds the lesser of the capitalization level established by the non-Federal entity for financial statement purposes, or \$5,000. (2 CFR 200.33)

Services

List the costs of project activities to be undertaken by a third-party contractor or vendor, including a formal partner. Narrative should include description of services provided. Databases should be described here and names of vendors included. All service providers will be required to register in the federal System for Award Management (www.sam.gov).

Indirect Costs

Incurred costs that cannot be readily isolated or identified with just one project or activity. These types of costs are often referred to as “overhead costs.” The amount is included as part of the total grant award. Typical examples of indirect costs are general telephone service, postage, office supplies, office space expenses, and administrative or financial operations for an entire organization. You may do one of the following:

1. Use a current indirect cost rate already negotiated with a federal agency;
2. Use an indirect cost rate proposed to a federal agency but not yet approved;
3. Use a rate not to exceed 10% of modified total direct costs if you have never had a federally negotiated indirect cost rate and you are not subject to other requirements (e.g., for States and Local Governments, and Indian Tribes); or
4. Not include any indirect costs.

Program Income

The gross income earned by a subrecipient from the activities supported by grant funds or from products resulting from grant activities. It includes, but is not limited to, income from fees for services performed and from the sale of items created under a grant, usage or rental fees for equipment or property acquired under a grant, and license fees and royalties from patents and copyrights. If income is expected to be earned during the grant period, please indicate to what budget category the income will be applied.

| Narrative |
|--|
| <p>Project Location: Georgetown is a town of 80,000 people and the seventh fastest growing city in the country according to the U.S. Census Bureau in 2020. Situated 27 miles north of Austin, the city rests on the San Gabriel River and is bisected by Interstate 35. Georgetown was founded in 1848 and is the Williamson County seat and the location of Sun City Texas and Southwestern University. The average age of residents is 50. The downtown square is a vital part of the town’s appeal and tourism industry. The Most Beautiful Town Square in Texas surrounds the county courthouse with architecture dating back as far as 1870 inhabited by unique shops, wineries, and restaurants.</p> <p>The Georgetown Public Library was awarded the National Medal for Museum and Library Service by the Institute of Museum and Library Services in 2018. The Library is one of the anchor organizations in a cultural district that includes the Georgetown Art Center,</p> |

Texas State Library & Archives Commission
2022 Special Projects Grant — Draft Application

Georgetown Palace Theater, Georgetown Cultural Citizen Memorial Association Shotgun House Museum, the Williamson Museum, and Preservation Georgetown. The library sits two blocks west of the square in a civic campus that includes City Hall and the Council and Court Building as well as public parking and the historic Light and Waterworks Building. The civic center includes public art, green space, and the historic Shotgun House, which is representative of the types of homes that were common in the neighborhood west of downtown.

The history of Georgetown's four residential historic districts, including the Downtown Historic District and Olive Street National District, are well documented, with images and documents held by the Georgetown Public Library, Preservation Georgetown, the Williamson Museum, and Southwestern University's Special Collections. But the histories of the historically Black and Hispanic neighborhoods have not been thoroughly documented, and photographs and documents from those populations are at risk. Addressing that gap is the primary goal of the "Georgetown Remembers" project.

(N.B.: A recent survey by the Williamson Museum revealed that the residents of these neighborhoods identified themselves as Black and Hispanic, so those are the terms we are using for this project and in this proposal.)

Project Title: Georgetown Remembers: Collecting and Preserving the Culture and History of Our Black and Hispanic Neighborhoods

Project Director (Name & Title): Sally Miculek, Interim Library Director as of 2-1-2020

New program? (Y or N) Yes

Please list the project partners (if applicable). While we are not formally partnering with them, throughout the project we will rely on guidance from the Georgetown Citizen and Cultural Memorial Association, the Southeast Georgetown Community Council, Williamson County Genealogical Association, Preservation Georgetown, the Williamson Museum, and the City of Georgetown Planning Department.

Project Abstract (750 characters)

The Georgetown Public Library's "Georgetown Remembers: Collecting and Preserving the Culture and History of Our Black and Hispanic Neighborhoods" project will preserve photographs and documents from two underserved neighborhoods. The Library will invite all households in our historically Black and Hispanic neighborhoods to access expertise and technology to preserve their materials for future generations. Working with the City's Planning Department and local nonprofits, we will offer four community scanning days to which each household may bring items for consultation and scanning. Residents may choose to allow the Library to retain digital copies with identifying information that can be made publicly available in a separate project.

1. Needs Assessment (15 points): Describe why the program is needed, the program goals and the audience. Describe the greater community to be served using demographic statistics, library records, or surveys to support these statements. Email or mail letters of cooperation demonstrating commitment to the project from agencies involved. See guidelines. (7500 characters)

This project will make direct contact with residents of historically underserved neighborhoods and work with them individually to preserve and collect materials relevant to their history and architecture. The project will provide individual consultation and education about preserving their materials for future generations. Consultations will include teaching residents to use very user-friendly scanning equipment purchased with this grant. Different versions of one example of a reliable and straightforward 600 dpi end-user scanner are in use in more than 35 Texas public libraries. Residents who participate in the project will receive their digitized items on a new 16GB flash drive, an archival pen for labeling their photos, and educational materials related to preserving their materials.

One specific strength the library has in this project is that we are very fortunate to have hired in 2020 a Reference Librarian with a strong background in museums, digitization, and local history who will work closely with the Adult Services Librarian and two Library Assistants in the library's Adult Services group to carry out this project.

One specific opportunity we are building on in this project is that the City's Planning Department is currently working to develop Neighborhood Plans for these neighborhoods, in response to a June 2020 vote by the Georgetown City Council. There is more information about the Planning Department's project here: <https://2030.georgetown.org/neighborhood-plans/>. The Library will work with the Planning Department to help strengthen connections between the City and the residents of these neighborhoods.

We anticipate the result of the year-long project will be threefold: 1) the Library will have a collection of digitized photographs and other documents representing these neighborhoods with identifying information and permission to share them with the public; 2) the residents of the neighborhoods will have a set of items digitized and also increased knowledge about how to preserve their materials for their families and future generations; and 3) the relationship between the Library, the City, and the residents of these neighborhoods will be strengthened.

The Georgetown Public Library serves all of Georgetown, a city with a population that is overall 4 percent Black, 21 percent Hispanic, and 75 percent non-Hispanic-identified white. The Library sits at the eastern boundary of a historic Georgetown neighborhood called the Track-Ridge-Grasshopper neighborhood--historically Black and dating back to the 1870s--and a few blocks north of the San Jose neighborhood--historically Hispanic and dating back to the 1940s.

Track-Ridge-Grasshopper (TRG) Neighborhood Overview

- 417 residential addresses (City of Georgetown Planning Dept.)
- Residents are 46 to 100 percent Black in areas inhabited by long term residents (<http://www.iusticemap.org/>; sourced from American Community Survey and Census Records. Accessed 12/18/2020)
- 32 percent of residents have lived in the neighborhood more than 20 years (2020 Planning Survey)
- 26 percent of residents have lived there more than 30 years (2020 Planning Survey)
- “Historic and cultural preservation of the neighborhood” is one of the top three concerns expressed by residents (2020 Planning Survey)

San Jose Neighborhood Overview

- 81 residential addresses (City of Georgetown Planning Dept.)
- Residents are 90 percent Hispanic throughout the neighborhood (<http://www.iusticemap.org/>; sourced from American Community Survey and Census Records. Accessed 12/18/2020)
- “Our history, because of its community leaders, businesses, and founding families” is one of the primary things residents are proud of (2020 Planning Survey)
- “Neighborhood, history, culture, and people” are uppermost concerns residents want future generations to remember (2020 Planning Survey)

The memories of residents of TRG and San Jose are crucial to understanding their historic neighborhoods as they change. Long-time residents are moving away and aging. Gentrification, higher taxes, redevelopment due to proximity to the town square, and lack of current preservation regulations all impact these neighborhoods. The Library’s location provides an opportunity to serve and connect with the residents of these communities, and it also positions us well to provide residents with the expertise and technology needed to preserve their history before growth and redevelopment lead to a loss of irreplaceable materials.

This project sits squarely within current City efforts to recognize, support, and preserve these neighborhoods. Small Area Neighborhood plans are currently being developed by the City’s Planning Department for the City Council based on issues, concerns and insights gained from surveys conducted in summer of 2020.

This project will help with the historic and cultural preservation of the neighborhoods. Providing technology to support this program is key, and our library lacks needed high quality, user-friendly scanning equipment. Many Texas public libraries have similar patron-use scanners available, including Amarillo, Brazoria County, Denton, Fort Worth, Houston, Little Elm, the Texas State Law Library, and all 28 branches of the Dallas Public Library.

Throughout the project we will rely on guidance from the Georgetown Citizen and Cultural Memorial Association, the Southeast Georgetown Community Council, Williamson County

Genealogical Association, the Williamson Museum, Preservation Georgetown, and the City of Georgetown Planning Department. Please find attached letters of support for this project from staff with the City of Georgetown Planning Department; Chuck Collins, Executive Director of the Southeast Georgetown Community Council, and Paulette Taylor or Regina Durden with the Georgetown Citizen and Cultural Memorial Association.

City of Georgetown 2030 Neighborhood Plans: <https://2030.georgetown.org/neighborhood-plans/>

Small Area Plan RFP: <https://www.planning.org/consultants/rfp/9207613/>

Press: <https://communityimpact.com/austin/georgetown/people/2020/09/17/city-looks-at-options-to-protect-two-historic-georgetown-neighborhoods/>

2. Program Design (20 points): Thoroughly describe the services, programs, and activities and the locations where they will be offered. Explain how these services will attract shared library users. Collaborative projects have priority and inclusion of relevant community organizations is encouraged. (7500 characters)

Program and Services

The project will include at least four community scanning days with ten, one-hour appointments available each day only for residents of the target neighborhoods. Additional appointments will be made available as needed. Patrons attending scanning days will receive one-on-one assistance to scan up to 50 items per visit and will go home with their scanned items on a new 16GB flash drive and an archival pen for labelling photos.

The Library will also go through an information worksheet with the patron documenting relevant information (dates, people, places) about the items. Patrons will receive copies of the worksheet for their own use and records. Patrons will also receive a short handout on basic preservation techniques and materials organization for both physical and digital items.

Staff will be available to assist with any other preservation questions. A sample of archival materials and techniques will also be on display during the community scanning days. If residents are willing to make their items publicly available, the library will obtain photographic material releases for future use of images. Future uses may include putting images online via resources like the Portal to Texas History where the materials would become even more widely accessible.

We will also utilize the community scanning days to identify residents who may be willing to conduct oral histories with the library.

Communication/Outreach

“This neighborhood matters” will be the overarching message in our communication with the residents of the TRG and San Jose neighborhoods. Over the course of the project, the Library

will send two direct mailers to each address in the TRG and San Jose neighborhoods advertising community scanning dates that are just for their neighborhoods, inviting them to make appointments, and providing basic information about preservation of materials. Additionally, the library will advertise on targeted social media, in the City newsletters, and via posters distributed to local churches and community centers.

Location

The community scanning days will take place inside the library. Patrons will come to our second-floor meeting rooms for initial consultation and information sharing, then proceed to our Texas History Room, where the scanner will be located, to work with staff on scanning and saving their items.

Collaboration

Throughout this project we will stay in touch with and rely on guidance from the Georgetown Citizen and Cultural Memorial Association, the Southeast Georgetown Community Council, Williamson County Genealogical Association, Preservation Georgetown, the Williamson Museum, and the City of Georgetown Planning Department. We will also work with neighborhood churches and community centers to ensure that we can reach as many residents as possible.

3. Project Impact (15 points): Describe the impact your project will have on library services and users locally, as well as regionally, or statewide. This may include how the proposed project is a model program that would benefit other communities. (7500 characters)

The process of collecting and organizing materials that will become an accessible digital archive of information about these neighborhoods' histories will first and foremost help preserve and promote these communities as places of culture and history, an objective of the City of Georgetown before these resources are lost to time and memory.

Preservation programming will give residents the information they need to create a sustainable stewardship model for their materials, further safeguarding these neighborhoods' histories.

It will also strengthen the library's relationship with individuals in these communities so we can build better awareness of our wide range of programs for all ages and improve our services to meet their specific needs.

Though the rate of growth in Georgetown is unique, the loss of local history resources from historically African American and Hispanic neighborhoods is not unique. We will plan to share templates for our handouts and worksheets that other libraries could use and will propose a conference session to talk about our project when it is over.

4. Personnel (5 points): Identify who will administer the funds and which positions will provide the services. List how much time will be spent in each position on assigned duties; list how the qualifications of each position relate to their job duties. Full job descriptions are required for new hires. (7500 characters)

Sally Miculek, Interim Library Director as of 2-1-2020, will administer the funds.

Adult Services Librarian Dana Hendrix will spend at least one hour per week to oversee and coordinate the project among the Adult Services staff and help with scanning days.

Reference Librarian Ann Evans will spend an average of four hours per week planning and implementing community scan days and additional appointments. She will also assist in the collection of information to aid in the creation of metadata for future projects.

Two Library Assistants, Joyce May and Robert Barber, will spend an average of four hours per week apiece assisting with scanning and collection of information.

Marketing Coordinator Rachael Pattillo will spend an average of one hour per week on design and marketing efforts for print and via social media.

5. Timetable (5 points): Present a timetable for project activities within the fiscal year (i.e., a list of actions with a date by which they will be accomplished); provide verification that facilities will be available, equipment and materials delivered; and explain how the staff will be hired and trained in time to carry out the services as planned. (7500 characters)

September 2021: Receive funds for FY 2022

October 2021: Purchase equipment and supplies and carry out our annual genealogy event, an opportunity to share information about the scanner and the project.

November-December 2021: Staff training and digitizing materials from the GCCMA Shotgun House Museum to provide the organization digitized copies of their materials.

January 2022: First mailing to neighborhoods and other publicity, Reporter newsletter, Library newsletter, posters to local organizations and churches in the area.

February 2022: First community scanning day event, continuing quarterly Black History Month events—provide handouts and speak at banquet (in person or virtual).

April 2022: April 24–April 30 is Preservation Week

May 2022: Preservation Month and second community scanning day

June 2022: Second mailing to neighborhoods and other publicity, including an outreach table at the annual Juneteenth event hosted by GCCMA.

July 2022: Third community scanning day

September 2022 (National Save Your Photos Month): Fourth community scanning day

October 2022 (Family History Month): Annual genealogy event; invite project participants to attend and offer specific sessions on researching Black and Hispanic genealogy.

6. Evaluation (10 points): Set achievable, measurable outcomes and present a reasonable method to collect data. Present a method to count users of the services, as well as the effectiveness of the service. Applicants are encouraged to use the IMLS Outcomes Logic Model. (7500 characters)

This project will see important information that is at risk of disappearing from neighborhoods, that are historically made up of people of color, preserved. The following are expected as outcomes: direct communication with the neighborhood residents, well-attended community scanning events that produce digital images for patron and library usage, and the creation of an accessible stewardship model and increased knowledge of archival preservation techniques amongst patrons. It will also provide a basis for future work with these materials to promote the history of the neighborhoods surrounding the library.

Outcome #1: The library will make direct contact with most of the neighborhood residents. This will be accomplished through direct mailing campaigns, social media posts, blurbs in the monthly City electric bill newsletter, materials delivered door-to-door by Library and other City of Georgetown staff, and via traditional print media. There are just under 500 residences in the TRG and San Jose neighborhoods. Each residence will receive two mailers with information about these programs.

Outcome #2: The library will host well-attended community scanning days with at least 80% of attendees deriving from the targeted neighborhoods. The library will complete four dedicated community scanning days throughout the course of the grant. Each scanning day will have 10 one-hour time slots for participants to receive one-on-one staff attention towards preserving their materials. Additional appointments will be scheduled, as necessary. The library will keep attendance statistics related to all community scan days and additional appointments including the number of participants, their addresses, and the number of items digitized for patron and library use. The library plans to continue offering scanning days after the grant period, increasing the sense of the library as a community history preservation resource.

Outcome #3: The project will produce an increased knowledge of preservation techniques and skills amongst attendees leading to better stewardship of patron's personal materials. The library will track the number of items scanned for personal storage, as well as digital items entrusted to the library. This program will supply participants with a digital copy of their familial archive materials that can be shared within their families and community, building on the idea that more copies increases chances of preservation (lots of copies keeps stuff safe). Participants will also be trained on practical preservation techniques for their physical and digital items. Participants will then be able to implement these techniques in personal and community (church, school, etc.) archives, further preserving these materials.

At the end of the project, the Library will conduct an email survey of participants to find out whether participants feel their knowledge has increased.

7. Sustainability (10 points): Describe the resources that will be used to support the services developed during the grant year in the future. A written commitment of future support from governing bodies is desirable, but not required. (7500 characters)

This project is designed to bolster the community view of the Library as a resource for digitization and historical preservation and strengthen the library's relationship with the residents in our immediate surroundings. Additionally, the relationships built with residents during this process will strengthen the library's ability to adapt services for their needs.

The digital resources created during the grant will provide a basis for future library projects and collaborations to further preserve TRG and San Jose neighborhood history. The next phase of the project after the grant period will be migrating materials to an online and accessible format such as the Portal to Texas History. This work will support the City Planning Department's long-range goals for TRG and San Jose to identify, promote and protect historic resources in these neighborhoods.

The experience gained by library staff will be used moving forward to collect resources from other areas of the community. The equipment obtained in this project is specifically designed to be user friendly and long lasting and the library will continue to promote and employ the equipment for years to come.

Grant File Checklist

To be Completed by the Department Applying for Grant

Complete the checklist below for new and continuation grants. Once completed, please make a copy for the Department's records and submit the signed form, along with supporting documents outlined below to Finance for review and filing with the grant records. This should occur prior to submitting the grant application to the oversight entity.

| Check Box | | Checklist Item | Cross-reference to Grant Acquisition, Management and Compliance Document |
|-------------------------------------|-----|---|--|
| Pre-Award | | | |
| <input checked="" type="checkbox"/> | 1. | Complete Grant Application Review Form and Grant Budget Request Form | Section 6.1.4 |
| <input checked="" type="checkbox"/> | 2. | I understand that the department needs to obtain City Council approval for all grant applications in accordance with the Fiscal and Budgetary Policy. | Section 6.1.7 |
| <input checked="" type="checkbox"/> | 3. | Submit completed forms (Attachments A,B,C) to the Finance Department on Council Caption due date. | Section 6.1.5 |
| <input checked="" type="checkbox"/> | 4. | I understand that the department needs to submit a copy of the grant application and supporting documents to Finance at the time of application submission for tracking and monitoring of the grant. | Section 6.1.8 |
| Post-Award | | | |
| <input type="checkbox"/> | 5. | If the grant is awarded to the City: | |
| <input type="checkbox"/> | | 5a. I understand that the department is responsible for reviewing the grant agreement and forwarding all information and required documentation to Finance. | Section 6.1.9 |
| <input type="checkbox"/> | | 5b. I understand that the department is responsible for following the City procurement policies when procuring goods or services with grant funds. | Section 6.1.19 |
| <input type="checkbox"/> | | 5c. I understand that the department needs to comply with requirements per the grant agreement. | Section 6.1.10 |
| <input type="checkbox"/> | 6. | For purchases and contracts \$25,000 or more, I understand that the department needs to check the debarred vendor list on the Texas Comptroller site and the federal exclusions list to ensure the vendor or contractor is not suspended and debarred from doing business with the City prior to considering the award of the contract or purchase. Debarred Vendor List via Texas Comptroller's Site: https://comptroller.texas.gov/purchasing/programs/vendor-performance-tracking/debarred-vendors.php Federal Exclusions List: https://www.sam.gov Once at the site, navigate to "Search Records" and enter search criteria such as entity name. | Section 6.1.17 |
| <input type="checkbox"/> | | 6a. Additionally, I understand that we need to print the results that yield from the search and share that with Finance for storage with grant file records. | Section 6.1.18 |
| <input type="checkbox"/> | 7. | I understand that all records related to the grant program must be retained for a minimum of five years from the end of the grant period. However, if any equipment was purchased, then the grant records must be retained for five years from the date of transfer of equipment, or disposal of the equipment. | Section 6.1.13 |
| <input type="checkbox"/> | 8. | The department needs to inform Finance when an external review over the grant is scheduled to be performed, whether on-site or a desk review. | Section 6.1.14 |
| <input type="checkbox"/> | | 8a. The department needs to communicate any potential audit findings from external reviews and provide any reports issued or correspondence from the reviewing agency to Finance. | Section 6.1.14 |
| <input type="checkbox"/> | 9. | I understand that if equipment is purchased with grant proceeds, the department needs to assist Finance with the City-wide physical inventory of the equipment as requested, at least once every two years. | Section 6.1.16 |
| <input type="checkbox"/> | 10. | I understand the department is responsible for fulfilling closeout requirements of the grant, including coordination with Finance on any final financial information and reporting needed. | Section 6.1.20 |

Please print, sign, and send this form to the Grants contact in the Finance Department

Dana Hendrix

Department Contact Name (Print)

Department Director Signature

Date Form Completed

Adult Services Librarian

Department Contact Title

Date Signed

(This section is to be completed by the Finance Department)

Grant Application Review Form

Name of the grant: Georgetown Remembers: Collecting and Preserving the Culture and History of Our Black and Hispanic NeighborhoodsGrant application deadline: 03/01/2021 This grant application is: ☒ New ☐ Grant ContinuationFunding/project period: Start Date: 9/1/2021 End Date: 8/31/2022CFDA # for grant, if applicable. If not applicable, please note N/A: 45.310 Grants to States

Purpose of the grant: (provide project summary and include the department mission/goals or City Strategies it relates to)

This project will make direct contact with residents of historically underserved neighborhoods and work with them individually to preserve and collect materials relevant to their history and architecture. The project will provide individual consultation and education about preserving their materials for future generations. Consultations will include teaching residents to use user-friendly scanning equipment purchased with this grant. Residents who participate in the

What will the funds be use for? (i.e. personnel costs, construction, design, equipment, etc..)

Funds will be used to purchase a 600 dpi patron-use digital scanner with A2 sized scan area, flat or "V" cradle modes, foot pedal and USB port, 50 library logo16 GB flash drives, 50 archival pens, worktable, and to cover printing, mailing, and Internet drop installation costs.

Who is providing the funds? Texas State Library and Archives Commission

(i.e., name of Federal Awarding Agency or Pass-thru Agency)

Which of the following are these funds considered? If Other, please identify.

☒ Federal☐ State☐ Other: _____Estimated grant funding amount: \$ 25,000Are matching funds required? ☐ Yes ☒ No

If yes, please complete the following:

Match % _____

Match \$ _____

Funding source of match:

Will the City be a direct recipient or subrecipient of the grant funds?

☒ Direct Recipient☐ Subrecipient

Are ongoing operational costs anticipated once the grant funds are depleted?

☒ Yes☐ No

If Yes, has the Budget Team been notified?

☒ Yes☐ No

Please print, sign, and return this form to the grants contact in the Finance Department

Sally Miculek

Department Contact (Print)

Department Director Signature

Interim Library Director (effective 2-1-21)

Department Contact Title

Date Signed

(This section to be completed by the Finance Department)

Reviewed by Accounting

Date Received/Reviewed

Reviewed by Budget

Date Received/Reviewed

GRANT BUDGET REQUEST

Attachment C

Please only fill out the cells shaded in blue. Please follow the prompts in Column B to answer the data requirements in Column C and D. Some of the information is required via a drop down menu, while your information is free form. To open up a budget request, simply hit the "+" on the left of the spreadsheet. As you fill out request, they will appear in the "Changes" Column on the Base Budget Worksheet Tab.

| Budget Request Information | Information/Amounts | Notes |
|--|--|--|
| Requestor Name: | Eric P. Lashley | Sally Miculek will be Interim Library Director |
| Budget Request Title: | Library Director | Effective 2-1-21 |
| Departmental Priority Rank | | |
| Council Focus Area | Promote greater diversity in our population and our businesses | |
| Implementation Date | 10/01/2021 | |
| FULL TIME Personnel Information | | Notes |
| Requesting New Full Time Staff? | | |
| Job Title of Requested Position(s) | | |
| Move to Next Step | | |
| Move to Next Step | | |
| How Much Overtime Money Is Needed? | | |
| 100-5-XXXX-50-100 SALARIES | - | |
| 100-5-XXXX-50-105 PART TIME SALARIES | - | |
| 100-5-XXXX-50-110 OVERTIME | - | |
| 100-5-XXXX-50-200 TAXES, SOCIAL SECURITY | - | |
| 100-5-XXXX-50-201 WORKER'S COMP | - | |
| 100-5-XXXX-50-300 GROUP INSURANCE | - | |
| 100-5-XXXX-50-301 RETIREMENT | - | |
| PART TIME Personnel Information | | Notes |
| Requesting New Part Time? | | |
| Move to Next Step | | |
| Part Time/TMRS Position? | | |
| Vehicle Information | | Notes |
| Does this Request have a Fleet Impact? | | |
| Move to Next Step | | |
| Move to Next Step | | |
| Move to Next Step | | |
| Operations & Capital Information | | Notes |
| Select an Account if Needed | 25,000 | Is there a "grant" spend category this should come from? |
| Select an Account if Needed | | |
| Select an Account if Needed | | |
| Select an Account if Needed | | |
| Select an Account if Needed | | |
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| Select an Account if Needed | | |
| Select an Account if Needed | | |
| Select an Account if Needed | | |
| Select an Account if Needed | | |
| Justification | | |
| As the attached grant application to the Texas State Library and Archives Commission shows, this project will help with the historic and cultural preservation of materials from the historically Black and Hispanic neighborhoods of Georgetown. Technology to support this program is key, and our library lacks needed high quality, user-friendly scanning equipment. Funds will be used to purchase a 600 dpi patron-use digital scanner with A2 sized scan area, flat or "V" cradle modes, foot pedal and USB port, 50 library logo 16 GB flash drives, 50 archival pens, worktable, and to cover printing, mailing, and Internet drop installation costs. | | \$ 25,000 |
| Library Director - Budget Request | | |
| Budget Request | | |

Dana Hendrix, Adult Services Librarian

Department Contact Name/Title

Department Director Signature

Date Signed

Finance Department Signature

Date Signed

City of Georgetown, Texas
City Council Regular Meeting
January 12, 2021

SUBJECT:

Forward from the General Government and Finance Advisory Board:

Consideration and possible action to approve of an **annual dedicated support contract** for **facility access control** and **video surveillance** to be provided by **Convergent Technologies** of Austin, TX for the annual amount of **\$92,040.00** per **IAW Sourcewell Contract No: 031517-CTL** -- Eric Johnson – Facilities Director

ITEM SUMMARY:

Convergent Technologies is the City's security, video surveillance, and access control provider. Convergent has provided dedicated support for City facility security service, preventative maintenance, and installation work.

For the past five years, staff has seen advantages to the City including faster response times and increased service levels, as this support contract provides an intimate awareness of each of the security items, locations, and processes. In addition to the increased service level, we have seen cost savings to the City of over \$70,000.00 with using this dedicated support contract.

This provides overall management of these existing systems:

Lenel OnGuard System (building access control)

- System Programming
- Completion of outstanding service work orders
- Interface with Lenel (With current SUSP in place)
- Issues regular system status updates
- Assists with coordination efforts of service outside of regularly scheduled days
- Preventative Maintenance on Lenel Access Control System
- Work with local staff to design and enhance security system
- System start-up and check out
- Overall commission of the system
- Assist with coordination of as-built documentation

Avigilon Video Management System (video management software)

- System Programming
- Regular review of camera status within the Software
- Revision and upgrade assistance on the latest version of Avigilon Software
- Will verify server configuration with the City's IT department
- Assist with camera and client configuration as needed for remote use

Preventative Maintenance Inspections/Services

- Camera inspections to include alignment and cleaning
- Access Control field hardware service
- Inspection of Access Control Door hardware (electric strikes, readers, and accessories)
- Assist with service calls that are created by the customer, Convergent Coordinator, or Tech
- Provide summary of weekly activity to the City Facilities Superintendent
- Maintain availability for project review with the City and Convergent to ensure install standards
- Assist with identification and planning of quarterly service work
- Provide direct installation work as requested and approved by the City
- Maintain customer purchased service replacement parts as approved

Staff is recommending Convergent Technologies provide the City with this dedicated support in the amount of \$92,040.00.

FINANCIAL IMPACT:

This annual amount was approved in the FY21 budget process in the Facilities ISF Security System account.

SUBMITTED BY:

Karen Frost for Eric Johnson

ATTACHMENTS:

Convergent Quote for Technical Security Contract Renewal



10535 Boyer Blvd., Austin, Texas 78758
 Phone (512) 428-8496 Mobile (512) 689-1990
 richard.wright@convergent.com

December 21, 2020
 Quotation: RW00308550P
 RFP or WO Number:

Prepared For:
 City of Georgetown PT Embedded Technician
 2021
 City of Georgetown
 Parks and Rec Adm Georgetown, Texas 78626
 Attention: Trish Long
 Reference: City of Georgetown PT Embedded
 Technician 2021

Scope of Work

- **The pricing below is based on Sourcewell Contract No: 031517-CTL**
- **This Embedded Technician pricing is based on dates of 01/01/2021 to 12/31/2021 and is provided based on business days every Monday, Tuesday, and every other Wednesday, with work hours 8 - 5 pm and does not include after-hours, weekends or holidays.**
- **This proposal would provide a half-time Technician for the length of 12 month unless otherwise arranged in writing. The billing for this can be billed in advance on a quarterly basis, or in total.**
- **This position will provide all service assistance for Lenel OnGuard for access control: including door hardware, panel hardware and lock coordination. Avigilon and Cameras will be serviced to include all repairs and some installs as needed. Please note this price is for labor only and does not include parts.**

| Qty Reg | Qty OT | Description | List Price | Sourcewell Price w/Discount | Extended Price |
|----------|--------|-----------------------------------|------------|-----------------------------|----------------|
| 0.00 | 0.00 | Project Manager | | | |
| 1,040.00 | 0.00 | Specialist - Programming | \$145.00 | \$88.50 | \$ 92,040.00 |
| 0.00 | 0.00 | Specialist - Testing | | | |
| 0.00 | 0.00 | Installation - Foreman | | | |
| 0.00 | 0.00 | Installation - Installer | | | |
| 0.00 | 0.00 | Professional Services Group | | | |
| 0.00 | 0.00 | Engineering | | | |
| 0.00 | 0.00 | Drafting/CAD | | | |
| | | Other Admin Costs & Contract Fees | | | \$ |
| | | Subcontractors | | | \$ 0.00 |
| | | Travel & Per Diem | | | \$ 0.00 |

| Line | Qty | Part | Description | Extended Price |
|------|-----|------|---|----------------|
| 1 | | | Labor Was Quoted IAW Sourcewell Contract No: 031517-CTL | |

| | |
|------------------------------------|--------------|
| Labor and Other Costs Total | \$ 92,040.00 |
| Equipment Total | \$ 0.00 |
| Freight | \$ 0.00 |
| Warranty if Applicable | \$ 0.00 |
| Tax if Applicable | \$ 0.00 |
| Total Project Price | \$ 92,040.00 |

Signature

Please Return to richard.wright@convergent.com

This proposal is per term on Sourcewell Contract No: 031517-CTL

City of Georgetown, Texas
City Council Regular Meeting
January 12, 2021

SUBJECT:

Forwarded from the Georgetown Electric Utility Board:

Consideration and possible action to approve **annual task orders** (MEI-21-001 in the amount of **\$200,000.00**; MEI-21-002 in the amount of **\$250,000.00**; MEI-21-003 in the amount of **\$590,000.00**) with **McCord Engineering Inc.**, of College Station, Texas for **professional engineering services** -- Mike Westbrook, Electric Operations and Engineering Manager

ITEM SUMMARY:

Professional Engineering services are required for the 2021 Fiscal Year Capital Improvement Projects, New Development Engineering and Design Assistance, Electric System Engineering Planning and specialized studies. McCord Engineering, Inc. (MEI) is familiar with our electric utility system, standards and specifications and has highly qualified professionals to work on our projects. MEI has worked for the City of Georgetown for over 20 years and has successfully completed a variety of development and capital improvement projects for the utility.

Attached for your review and consideration is Task Order MEI-21-001 in the not to exceed amount of \$200,000.00. The purpose of this task order is to provide preliminary and final electric system engineering and design for planned Capital Improvement projects detailed within the task order and five-year CIP plan.

Attached for your review and consideration is Task Order MEI-21-002 in the not to exceed amount of \$250,000.00. The purpose of this task order is to serve as general engineering support for system planning, reliability and other various tasks such as Master Plan updates, system appraisal evaluations, Milsoft Mapping assistance and policy recommendations.

Attached for your review and consideration is Task Order MEI-21-003 in the not to exceed amount of \$590,000.00. The purpose of this task order is to provide preliminary and final electric design for New Development Projects. These unplanned projects require MEI's assistance to produce service delivery design project packages as well as load impact evaluation for new electric loads connected to the existing system.

STAFF RECOMMENDATION:

Staff recommends approval of annual task orders: Task Order MEI-21-001 for Electric System and Planned Capital Improvement Projects in the amount not to exceed \$200,000; Task Order MEI-21-002 for Electric System Engineering Planning and Assistance in the amount not to exceed \$250,000; and Task MEI-21-003 for New Development Engineering and Design in the amount not to exceed \$590,000 with McCord Engineering Inc., of College Station, Texas for professional engineering services.

FINANCIAL IMPACT:

Funds are included in the FY20 Electric Capital Improvement Plan Budget.

SUBMITTED BY:

Mike Westbrook - Electric Operations Manager and Engineering Manager (ljw)

ATTACHMENTS:

McCord - MEI-21-001- CIP

McCord - MEI-21-002 - Planning/Engineering

McCord - MEI-21-003 - New Dev Eng& Design

TASK ORDER

Task Order No. MEI-21-001,
consisting of 5 pages.

Task Order

In accordance with paragraph 1.01 of the Master Services Agreement between Owner and McCord Engineering, Inc. ("Engineer") for Professional Services – Task Order Edition, dated March 25, 2016 ("Agreement"), Owner and Engineer agree as follows:

1. Specific Project Data

- A. Title: Electric System and Planned Capital Improvement Projects
- B. Description: The Engineer will provide general electrical engineering support to the City of Georgetown Electric Department as outlined in Section 2.
- C. City of Georgetown Project Number: Various
- D. City of Georgetown General Ledger Account No.: Various
- E. City of Georgetown Purchase Order No.: Various
- F. Master Services Agreement, Contract Number: 2016-727-MSA

2. Services of Engineer

Prior to the Engineer performing services for the Owner, the Engineer shall submit a Service Order to the Owner detailing the scope of work and agreed upon engineering not-to-exceed (NTE) amount. The NTE amount will be 10% of the total cost of the CIP project.

A. Planned Distribution System Construction Assistance.

- i. In the course of developing preliminary and final engineering submittals sealed for construction on planned distribution system projects, Engineer will adhere to the following scope:
 - 1) Field inventory of existing electric facilities. This can be captured using conventional field inventory methods or by using Lidar mounted on an Unmanned Aerial Vehicle (UAV), whichever is most economical.
 - 2) Field review of existing utility locations, drainage structures, services, trees, topography, etc. This can be captured using conventional field inventory methods or by using Lidar mounted on an Unmanned Aerial Vehicle (UAV), whichever is most economical.
 - 3) Incorporate field data onto computer aided drafting schematic.

TASK ORDER

- 4) Notate all existing utilities near new pole locations.
- 5) Place all existing easements and right-of-ways on the schematic.
- 6) Design schematic layout for the proposed power line improvements.
- 7) Prepare schematic exhibit.
- 8) Prepare staking sheets for construction using existing City units and specifications.
- 9) Prepare a preliminary cost estimate.
- 10) Meet with City Staff to review.
- 11) Incorporate City requested changes into final design.
- 12) Prepare plan and profile drawings as required for road or utility crossings to ensure proper NESC clearance.
- 13) Design concrete poles, as required.
- 14) Finalize staking sheets.
- 15) Use general City construction specifications unless other detailed specifications are required. If required, prepare detailed construction specifications.
- 16) Review final design with City Staff and incorporate comments.
- 17) Prepare the final cost estimate automatically.
- 18) Prepare final approved for construction documents with one hard copy mailed or hand delivered to the City.

3. **Owner's Responsibilities** – Owner shall have these responsibilities set forth in the agreement subject to the following:

- A. Provide direction on each engineering project.
- B. Prioritize each engineering project.
- C. Provide project completion date required for each engineering project.
- D. Sign and return the Service Order submitted by the Engineer.

TASK ORDER

4. Times for Rendering Services

Phase
N/A since general projects

Completion Date
Will Vary

5. Payments to Engineer

A. Owner shall pay Engineer for services rendered as follows:

| <i>Category of Services</i> | <i>Compensation Method</i> | <i>Not to Exceed Amount of Compensation for Services</i> |
|--|--|--|
| <i>Electric System Engineering Planning and Planned Capital Improvement Projects</i> | <i>Standard Hourly Rates as shown on Exhibit A</i> | <i>\$200,000</i> |

The Engineer shall invoice the Owner monthly for each CIP project based on their progress. The NTE amount that the Engineer is to invoice the Owner shall be 10% of the total cost of the CIP project.

B. The terms of payment are set forth in Article 4 of the Agreement unless modified in this Task Order.

6. Consultants:

7. Other Modifications to Agreement:

N/A

8. Attachments:

Exhibit A

9. Documents Incorporated By Reference: The Agreement.

Effective March 25, 2016

TASK ORDER

Terms and Conditions: Execution of this Task Order by Owner and Engineer shall make it subject to the terms and conditions of the Agreement (as modified above), which Agreement is incorporated by this reference. Engineer is authorized to begin performance upon its receipt of a copy of this Task Order signed by Owner.

The Effective Date of this Task Order is _____, 20____.

OWNER:

ENGINEER:

By: _____

By:  _____

Name: Josh Schroeder

Name: Rex Woods, P.E.

Title: Mayor, City of Georgetown

Title: President

Engineer License or Firm's

Certificate No.

F-2664

State of:

Texas

Date: _____

Date: 12-7-2020

ATTEST:

APPROVED AS TO FORM:

Robyn Densmore, City Secretary

City Attorney

TASK ORDER

DESIGNATED REPRESENTATIVE FOR TASK ORDER:

Name: Daniel Bethapudi

Title: General Manager of Electric Utility

Address: 300-1 Industrial Ave.
Georgetown, TX 78626

E-Mail Address: daniel.bethapudi@georgetown.org

Phone: (512) 931-7701

Fax: (512) 930-3559

DESIGNATED REPRESENTATIVE FOR TASK ORDER:

Name: Rex Woods, P.E.

Title: President

Address: 916 Southwest Parkway East
College Station, TX 77840

E-Mail Address: rwoods@mccordeng.com

Phone: (979) 764-8356

Fax: (979) 764-9644

TASK ORDER

Task Order No. MEI-21-002,
consisting of 7 pages.

Task Order

In accordance with paragraph 1.01 of the Master Services Agreement between Owner and McCord Engineering, Inc. ("Engineer") for Professional Services – Task Order Edition, dated March 25, 2016 ("Agreement"), Owner and Engineer agree as follows:

1. Specific Project Data

- A. Title: Electric System Engineering Planning and Engineering Assistance
- B. Description: The Engineer will provide general electrical engineering support to the City of Georgetown Electric Department as outlined in Section 2.
- C. City of Georgetown Project Number: Various
- D. City of Georgetown General Ledger Account No.: Various
- E. City of Georgetown Purchase Order No.: Various
- F. Master Services Agreement, Contract Number: 2016-727-MSA

2. Services of Engineer

Prior to the Engineer performing services for the Owner, the Engineer shall submit a Service Order to the Owner detailing the scope of work and agreed upon engineering not-to-exceed (NTE) amount.

- A. General planning and strategic planning meetings concerning the electric system's status.
- B. General electric system model evaluations using Milsoft WindMil® Engineering model for the following:
 - i. Switching
 - ii. Motor Start
 - iii. Conductor capacity
 - iv. Voltage drop
 - v. Power factor
 - vi. Equipment capacity

TASK ORDER

- vii. Sectionalizing or system protection
- C. City of Georgetown electric staff support as required for preliminary or non specific projects.
 - i. Preliminary analysis for new development in the early planning stages.
 - ii. Preliminary review of general building construction plans or site plans.
 - iii. Review monthly DRC report and return comments at City electric staff's request.
- D. Provide general construction specifications and standards at City electric staff's request.
- E. General electric system mapping assistance in the following areas:
 - i. Update project status list.
 - ii. Phone and email correspondence with City mapping staff and Milsoft in Abilene as required.
 - iii. Aerial data update to Milsoft WindMil® model.
 - iv. Help City mapping staff with in-house project insertions into Milsoft WindMil® model.
 - v. Periodic project update submittals using the Milsoft WindMil® model to the City.
 - vi. Monthly electric load file download into Milsoft WindMil® model.
 - vii. Field work required to GPS any in-house designed projects or other additions to the electric system performed for System Service Delivery Design, Maintenance or Operations.
 - viii. General file updates on the Milsoft WindMil® model, including address files, account files, and meter number files.
- F. Assist City staff on any recommended changes to the current Electric System Line Extension Policy.
- G. Work with City staff to begin using a new staking Software.
- H. Provide any load projection estimates required by the City's power provider.
- I. Assist City staff on any communication attachment requests.
- J. Five (5) year CIP update.
 - i. Data Collection

TASK ORDER

- 1) Request from the City load history of all customers for the year 2020.
 - 2) Request from the City substation peak load, power factor, load factor, and bus voltage for each substation transformer and distribution feeder for summer and winter peaks for 2020.
 - 3) Request from the City areas in the electric service area that has the potential for load growth.
 - 4) Request from the City any budget constraints for the next five (5) year period of this study.
 - 5) Request from the City any projects the City feels needs to be accelerated in time for the next five (5) year period of this study.
- ii. Electric System Evaluation
- 1) Import data collected above from the City into Milsoft software to calculate electric system loading, power factor, and voltage drop.
 - 2) Evaluate the Milsoft calculations and review electric system for any deficiencies.
 - 3) Evaluate the electric system for any potential load growth.
 - 4) Evaluate any projects the City has indicated that may need to be incorporated into the CIP.
 - 5) Review the existing CIP plan by dropping the previous budget year work and add budget year 2025/2026.
 - 6) Review existing infrastructure projects in existing CIP plan.
 - 7) Identify new infrastructure projects which will address new operational and development changes.
- iii. Preliminary Report
- 1) Update the existing CIP plan by dropping the previous budget year and add budget year 2025/2026.
 - 2) Update the existing infrastructure projects in the existing CIP plan and incorporate revised project estimates under categories of Consulting, Right of Way, Construction, Testing, and Other.

TASK ORDER

- 3) Prepare cost estimates for newly identified infrastructure projects under categories Consulting, Right of Way, Construction, Testing, and Other.
- 4) Provide project cost estimates and individual maps for all CIP projects in the new CIP plan.
- 5) Identify yearly phasing across multiple fiscal years, where appropriate, for identified projects in the new CIP plan.
- 6) Provide an electric system map to show locations of CIP projects.
- 7) Meet with City Staff to review.
- iv. Final Report - Prepare and submit a revised CIP plan document with any revised cost that occurred.
- K. System Capacitor Placement Review and Analysis.
- L. System Performance Analysis.
- M. Master Plan Update (original master plan completed in 2009 and an updated master plan was completed in 2016).
 - i. Review and revise the following based on current information system configuration:
 - 1) Electric System Ultimate System capacity.
 - 2) Electric System Ultimate Substation service areas.
 - 3) Electric System Ultimate Feeder requirement and general configuration.
 - ii. Periodically meet with City staff for their input into the Master Plan update.
 - iii. Present the Master Plan update to the City Council, as required.
- N. System automation plan review and implementation.
- O. Line extension policy review and enhancement.
3. **Owner's Responsibilities** – Owner shall have these responsibilities set forth in the agreement subject to the following:
 - A. Provide direction on each engineering project.
 - B. Prioritize each engineering project.

TASK ORDER

- C. Provide project completion date required for each engineering project.
- D. Sign and return the Service Order submitted by the Engineer.

4. Times for Rendering Services

| <u>Phase</u> | <u>Completion Date</u> |
|-----------------------------------|------------------------|
| <u>N/A since general projects</u> | <u>Will Vary</u> |
| <u> </u> | <u> </u> |
| <u> </u> | <u> </u> |

5. Payments to Engineer

- A. Owner shall pay Engineer for services rendered as follows:

| <i>Category of Services</i> | <i>Compensation Method</i> | <i>Lump Sum or Not to Exceed Amount of Compensation for Services</i> |
|---------------------------------|---------------------------------------|--|
| <i>Electric System</i> | <i>Standard Hourly Rates as shown</i> | <i>\$250,000</i> |
| <i>Engineering Planning and</i> | <i>on Exhibit A</i> | |
| <i>Engineering Assistance</i> | | |

The Engineer shall invoice the Owner monthly for all system study projects based on their progress. For the communication attachment projects, the Engineer shall invoice as follows:

| | |
|----------------------------------|--|
| Pole Loading Analysis (full) - | \$110 per pole |
| Pole Loading Analysis (review) - | \$15 per pole |
| Make Ready Pole Design - | NTE 10% of the total cost of the project |

- B. The terms of payment are set forth in Article 4 of the Agreement unless modified in this Task Order.

6. Consultants:

7. Other Modifications to Agreement:

N/A

8. Attachments:

Exhibit A

TASK ORDER

9. Documents Incorporated By Reference: The Agreement.

Effective March 25, 2016

Terms and Conditions: Execution of this Task Order by Owner and Engineer shall make it subject to the terms and conditions of the Agreement (as modified above), which Agreement is incorporated by this reference. Engineer is authorized to begin performance upon its receipt of a copy of this Task Order signed by Owner.

The Effective Date of this Task Order is _____, 20____.

OWNER:

ENGINEER:

By: _____

By:  _____

Name: Josh Schroeder

Name: Rex Woods, P.E.

Title: Mayor, City of Georgetown

Title: President

Engineer License or Firm's
Certificate No.

F-2664

State of:

Texas

Date: _____

Date: 12-7-2020

ATTEST:

APPROVED AS TO FORM:

Robyn Densmore, City Secretary

City Attorney

TASK ORDER

DESIGNATED REPRESENTATIVE FOR
TASK ORDER:

DESIGNATED REPRESENTATIVE FOR
TASK ORDER:

Name: Daniel Bethapudi

Name: Rex Woods, P.E.

Title: General Manager of Electric Utility

Title: President

Address: 300-1 Industrial Ave.
Georgetown, TX 78626

Address: 916 Southwest Parkway East
College Station, TX 77840

E-Mail
Address: daniel.bethapudi@georgetown.org

E-Mail
Address: rwoods@mccordeng.com

Phone: (512) 931-7701

Phone: (979) 764-8356

Fax: (512) 930-3559

Fax: (979) 764-9644

TASK ORDER

Task Order No. MEI-21-003,
consisting of 6 pages.

Task Order

In accordance with paragraph 1.01 of the Master Services Agreement between Owner and McCord Engineering, Inc. ("Engineer") for Professional Services – Task Order Edition, dated March 25, 2016 ("Agreement"), Owner and Engineer agree as follows:

1. Specific Project Data

- A. Title: New Development Engineering and Design Assistance
- B. Description: The Engineer will provide general electrical engineering support to the City of Georgetown Electric Department as outlined in Section 2.
- C. City of Georgetown Project Number: Various
- D. City of Georgetown General Ledger Account No.: Various
- E. City of Georgetown Purchase Order No.: Various
- F. Master Services Agreement, Contract Number: 2016-727-MSA

2. Services of Engineer

Prior to the Engineer performing services for the Owner, the Engineer shall submit a Service Order to the Owner detailing the scope of work and the agreed upon engineering not-to-exceed (NTE) amount.

- A. Unplanned Distribution System Construction Assistance. (Electric System Expansion Engineering)
 - i. McCord Engineering, Inc. will be responsible for professional services related to developing preliminary and final engineering submittals sealed for construction for the following unplanned projects:
 - 1) Residential developmental projects
 - 2) Commercial developmental projects
 - 3) Industrial developmental projects
 - ii. In the course of developing said submittals, McCord Engineering, Inc. will adhere to the following scope:

TASK ORDER

- 1) Prepare a cost estimate for the new development project based on plans given to the Engineer by the City electric staff. Once the developer pays half of their amount due for the new development, the Engineer shall begin. This cost estimate will be the basis for how much the developer ultimately has to pay for City electric infrastructure inside their development.
- 2) Obtain site and utility information from the City staff to be used in developing base drawings.
- 3) Assure no conflicts with existing or planned utilities.
- 4) Identify and coordinate need of any easements/right-of-ways.
- 5) Obtain landscape information from the City staff.
- 6) Obtain electric load information from the City staff.
- 7) Identify any existing City electric infrastructure which must be modified to serve the project.
- 8) Prepare a preliminary design and have City electric staff review.
- 9) Obtain required City electric staff and owner approvals prior to issuance of "Approved For Construction" documents. Note that the City will submit the preliminary documents to the developer for their review and approval.
- 10) Provide the City with an updated, final calculation of all fees due from the developer and/or owner plus calculations of plant investment added to the City electric system.
- 11) Stake the locations of added poles, pads, etc. which must be constructed to serve the new project, and prepare staking sheets showing exact locations of infrastructure for field crews to construct the infrastructure using survey grade GPS equipment.
- 12) Call in locates as required and look for any potential conflicts.
- 13) Provide the City electric staff during final submittals each project's "Milsoft Project Data" for use by the City's staff.
- 14) Record drawings and databases will be given to the City upon completion of the project, as required.

TASK ORDER

3. **Owner's Responsibilities** – Owner shall have these responsibilities set forth in the agreement subject to the following:
- A. Provide direction on each unplanned or planned engineering project, including performing all initial and subsequent coordination with developers.
 - B. Submit all civil drawings, load information, etc. to the Engineer for their use in preparing the “For Construction” documents.
 - C. Prioritize each unplanned or planned engineering project.
 - D. Provide project completion date required for each unplanned or planned engineering project.
 - E. Sign and return the Service Order submitted by the Engineer.

4. Times for Rendering Services

Phase

Will Vary

Completion Date

Will Vary

5. Payments to Engineer

- A. Owner shall pay Engineer for services rendered as follows:**

| <i>Category of Services</i> | <i>Compensation Method</i> | <i>Lump Sum or Not to Exceed Amount of Compensation for Services</i> |
|--|--|--|
| <i>New Development Engineering and Design Assistance</i> | <i>Standard Hourly Rates as shown on Exhibit A</i> | <i>\$590,000</i> |

The Engineer shall invoice the Owner after final submittals are sent to the Owner on each project. The agreed upon engineering fees that the Engineer will charge are in the following table:

TASK ORDER

| Job Type | Engineering Cost | Engineering Cost Notes |
|---|---------------------------------------|---|
| Single Family Residential including Detached Multi-Family and Duplexes | \$200 per unit | In addition to the per unit engineering cost, a Not to Exceed (NTE) of 8.5% of the total cost of the "Additional Costs" as defined in the COG Electric Line Extension and Meter Connect Policy shall be added to the per unit engineering cost. The total cost does not include the developer's civil work or meter connect fees. The total cost does include the estimated total cost (with 25% added for labor units, 15% overall contingency, and 8.5% engineering). Any engineering redesign will be requested by COG and not the customer. The redesign service order needs to be approved by COG prior to any engineering being done on the redesign. |
| Residential Multi-Family Development (Apartments) | \$70 per unit | |
| All other jobs associated with the COG Line Extension and Meter Connect Policy, including commercial developments | NTE 10% of the total cost of electric | The total cost does not include the developer's civil work or meter connect fees. The total cost does include the estimated total cost (with 25% added for labor units, 15% overall contingency, and 10% engineering). Any engineering redesign will be requested by COG and not the customer. The redesign service order needs to be approved by COG prior to any engineering being done on the redesign. |

B. The terms of payment are set forth in Article 4 of the Agreement unless modified in this Task Order.

6. **Consultants:**

7. **Other Modifications to Agreement:**

N/A

8. **Attachments:**

Exhibit A

9. **Documents Incorporated By Reference: The Agreement.**

Effective March 25, 2016

TASK ORDER

Terms and Conditions: Execution of this Task Order by Owner and Engineer shall make it subject to the terms and conditions of the Agreement (as modified above), which Agreement is incorporated by this reference. Engineer is authorized to begin performance upon its receipt of a copy of this Task Order signed by Owner.

The Effective Date of this Task Order is _____, 20____.

OWNER:

ENGINEER:

By: _____

By: R. Woods

Name: Josh Schroeder

Name: Rex Woods, P.E.

Title: Mayor, City of Georgetown

Title: President

Engineer License or Firm's

Certificate No.

F-2664

State of:

Texas

Date: _____

Date: 12-7-2020

ATTEST:

APPROVED AS TO FORM:

Robyn Densmore, City Secretary

City Attorney

TASK ORDER

DESIGNATED REPRESENTATIVE FOR TASK ORDER:

Name: Daniel Bethapudi

Title: General Manager of Electric Utility

Address: 300-1 Industrial Ave.
Georgetown, TX 78626

E-Mail Address: Daniel.bethapudi@georgetown.org

Phone: (512) 931-7701

Fax: (512) 930-3559

DESIGNATED REPRESENTATIVE FOR TASK ORDER:

Name: Rex Woods, P.E.

Title: President

Address: 916 Southwest Parkway East
College Station, TX 77840

E-Mail Address: rwoods@mccordeng.com

Phone: (979) 764-8356

Fax: (979) 764-9644

City of Georgetown, Texas
City Council Regular Meeting
January 12, 2021

SUBJECT:

Forwarded from the Georgetown Electric Utility Board:

Consideration and possible action to **renew** the **Annual Electric System Underground Construction and Maintenance Bid for labor services** to **Pedro S.S. Services, Inc.** of Austin, Texas, in the not to exceed amount of **\$2,000,000.00** -- Mike Westbrook, Electric Operations and Engineering Manager

ITEM SUMMARY:

The Electric System Underground Construction and Maintenance bid is an annual contract for labor only contract services with optional annual extensions. Bids were received and awarded in year (FY19) and this proposed item would be the second annual renewal.

As in years past, if approved, the contractor will bill for labor services rendered based on unit pricing as outlined with the agreement not to exceed the amount of \$2,000,000.00. Work will be based on new development service demand, the approved Capital Improvement Plan, and various maintenance projects to be constructed in the term of this agreement. Materials and engineering design services are provided under separate procurement contracts.

Pedro SS Services has served the customers and developers of Georgetown well for many years. They are committed to safety and have proven capable of meeting the community's needs.

STAFF RECOMMENDATION:

Staff recommends approval of this renewal.

FINANCIAL IMPACT:

Funds are available in the FY21 Electric Capital Improvement Budget.

SUBMITTED BY:

Mike Westbrook - Electric Operations Manager and Engineering Manager (ljw)

City of Georgetown, Texas
City Council Regular Meeting
January 12, 2021

SUBJECT:

Forwarded from the Georgetown Electric Utility Board:

Consideration and possible action to continue utilizing the **annual agreement for LCRA Material Acquisition** to purchase **electric distribution, fiber, water, safety, and substation materials, hardware, and tools** for **Fiscal Year 2021** from **Techline Ltd.** under their **contract** with the Lower Colorado River Authority ("**LCRA**") **Electric Material Acquisition Program** in the not to exceed amount of **\$4,000,000.00** -- Mike Westbrook, Electric Operations and Engineering Manager

ITEM SUMMARY:

Continued utilization of this agreement will allow the City of Georgetown to take advantage of lower prices and stock availability for the purchase of electric distribution, fiber, water, safety, and substation materials, hardware, and tools for use on CIP and Operational projects directly from Techline, the vendor awarded the Electric Material Acquisition Services Contract by LCRA. This City of Georgetown has utilized this partnership for well over a decade and is a key component of our ability to provide service delivery to new development.

Materials purchased through this agreement were competitively bid by LCRA and are not included on any solicitation issued and awarded by the City. Materials are purchased on an as needed basis and are stocked in the City's warehouse for use by various departments for new construction projects, maintenance of the systems, or stock replenishment. The not to exceed total for this requirement is \$4,000,000.00 based on planned projects, expected new development and maintenance history in previous years.

According to Texas Local Government Code 271.102 (c), the City satisfies any state laws requiring the local government to seek competitive bids for the purchase of the goods and services when purchasing under Subchapter F. Cooperative Purchasing Program. The Texas Local Government Code 271.101 states that a municipality may participate in a local agreement with a special district. The City's agreement with LCRA allowing access to this contract has been renewed.

STAFF RECOMMENDATION:

Staff recommends renewal of the annual agreement for LCRA Material Acquisition.

FINANCIAL IMPACT:

Funds are included in the FY21 Capital and Operating Budgets.

SUBMITTED BY:

Mike Westbrook - Electric Operations Manager and Engineering Manager (ljw)

City of Georgetown, Texas
City Council Regular Meeting
January 12, 2021

SUBJECT:

Forwarded from the Georgetown Economic Development Corporation (GEDCO):

Consideration and possible action to approve an **economic development agreement** with **Texas Outdoor Power Equipment** -- Michaela Dollar, Economic Development Director

ITEM SUMMARY:

Texas Outdoor Power Equipment (TOPE) is planning to expand in Georgetown and construct a new 225,000 SF building, with a pad site for a second building approximately 200,000 SF. This economic development agreement will reimburse up to \$250,000 in infrastructure costs for the TOPE building and \$250,000 in infrastructure costs for the second industrial building, each upon issuance of the certificate of occupancy. In order to receive the reimbursement TOPE must invest a minimum of \$15,000,000, and complete construction of it's building by July 1, 2023. The second building must be completed within five years.

FINANCIAL IMPACT:

Up to \$500,000 from the Georgetown Economic Development Corporation Type A fund

SUBMITTED BY:

Michaela Dollar, Economic Development Director

ATTACHMENTS:

TOPE Eco Dev Agreement

STATE OF TEXAS §

COUNTY OF WILLIAMSON §

ECONOMIC DEVELOPMENT INCENTIVE AGREEMENT

This Economic Development Incentive Agreement (“Agreement”) is made by and between the Georgetown Economic Development Corporation, a Type A sales tax corporation (“GEDCO”) and Texas Outdoor Power Equipment Distributors, Inc., a Texas corporation (“Company”) (each a “Party” and collectively the “Parties”), acting by and through their respective authorized representatives.

WITNESSETH:

WHEREAS, Company is a distributor of ECHO, SCAG Commercial Mowers, BEAR CAT, SHINDAIWA Power Equipment, GIANT-VAC and Billy Goat Lawn Care Products; and

WHEREAS, Company owns or is under contract to purchase the real property located at 1303 Airport Road, Georgetown, Texas, as further described in **Exhibit “A”** (the “Land”), and intends to construct a headquarters and industrial building on the Land containing not less than 200,000 square feet of space (hereinafter defined as the “Phase 1 Improvements”) in order to expand its operations in the City, and further; and

WHEREAS, after completion of the Phase I Improvements, Company intends to develop the remainder of the Land construct an additional industrial building on the Land containing not less than 100,000 square feet of space (hereinafter defined as the “Phase 2 Improvements”); and

WHEREAS, Company intends to construct the necessary Infrastructure (hereinafter defined) for the Phase 1 and Phase 2 Improvements (collectively the Phase 1 and Phase 2 Improvements and the Infrastructure referred to as the “Project”); and

WHEREAS, Company intends to make a Capital Investment (hereinafter defined) in the Project of at least Twenty-Five Million Five Hundred Thousand Dollars (\$25,500,000.00); and

WHEREAS, Company has advised GEDCO that a contributing factor that would induce Company to construct the Phase 1 and Phase 2 Improvements and Infrastructure and expand its operations would be an agreement by GEDCO to provide economic development grants to Company; and

WHEREAS, GEDCO has adopted programs for promoting economic development; and

WHEREAS, the Development Corporation Act, Chapter 501-505 of the Texas Local Government Code (the “Act”) authorizes GEDCO to provide economic development grants for the creation and retention of primary jobs that are required for the development of manufacturing and industrial facilities and for infrastructure suitable for new or expanded industrial business enterprises; and

WHEREAS, GEDCO has determined that the Infrastructure Grant (hereinafter defined) to be made hereunder are required or suitable to promote corporate relocation or develop new or expanded business enterprises and constitutes a “project”, as that term is defined in the Act; and

WHEREAS, GEDCO has determined that providing the Infrastructure Grant to Company in accordance with this Agreement will further the objectives of GEDCO, will benefit the City and the City’s inhabitants and will promote local economic development and stimulate business and commercial activity in the City.

NOW THEREFORE, in consideration of the foregoing, and other consideration the receipt and sufficiency of which are hereby acknowledged, the Parties agree as follows:

Article I Definitions

Wherever used in this Agreement, the following terms shall have the meanings ascribed to them:

“Bankruptcy or Insolvency” shall mean the dissolution or termination of Company’s existence, insolvency, employment of receiver for any part of a Party’s property and such appointment is not terminated within ninety (90) days after such appointment is initially made, any general assignment for the benefit of creditors or the commencement of any proceedings under any bankruptcy or insolvency laws by or against the Party and such proceedings are not dismissed within ninety (90) days after the filing thereof.

“Capital Investment” shall mean the total capitalized cost incurred and paid by Company for the Improvements, the Infrastructure and tangible personal property, including machinery and equipment located at the Improvements. Capital Investment does not include inventory.

“City” shall mean the City of Georgetown, Texas.

“Commencement of Construction” shall mean that: (i) the plans have been prepared and all approvals thereof required by applicable governmental authorities have been obtained for construction of the Phase 1 and Phase 2 Improvements and/or the Infrastructure, as the case may be; and (ii) all necessary permits for the construction of the Phase 1 and Phase 2 Improvements and/or the Infrastructure, as the case may be, pursuant to the respective plans therefore have been issued by all the applicable governmental authorities; and (iii) clearing and/or grading of the Land has commenced.

“Company” shall mean Texas Outdoor Power Equipment Distributors, Inc., a Texas corporation.

“Completion of Construction” shall mean: (A) that with respect to the Infrastructure: (i) substantial completion of the Infrastructure has occurred; and (ii) the City has conducted the final inspection of and has accepted the Infrastructure; and (B) that with respect to the Phase 1

Improvements: (i) substantial completion of the Phase 1 Improvements has occurred; and (ii) the City has issued a certificate of occupancy for Company to occupy the Phase 1 Improvements; and (C) that with respect to the Phase 2 Improvements: (i) substantial completion of the Phase 2 Improvements has occurred; and (ii) the City has issued a certificate of occupancy for the Phase 2.

“Effective Date” shall mean the last date of execution hereof.

“Expiration Date” shall mean the date of payment of the Second Installment by GEDCO to Company.

“Force Majeure” shall mean any contingency or cause beyond the reasonable control of a Party including, without limitation, acts of God or the public enemy, war terrorist act, or threat thereof, riot, civil commotion, insurrection, government action or inaction (unless caused by the intentionally wrongful acts or omissions of the Party), fires, earthquake, volcanic eruption, impact of meteor or extraterrestrial body, tidal or wave event such as a tsunami, meteorological event, including, but not limited to, tornado, hurricane, explosions, floods, strikes, slowdowns or work stoppages, plague or other epidemiological event.

“GEDCO” shall mean the Georgetown Economic Development Corporation.

“GTEC” shall mean Georgetown Transportation Enhancement Corporation.

“Impositions” shall mean all taxes, assessments, use and occupancy taxes, charges, excises, license, and permit fees, and other charges by public or governmental authority, general and special, ordinary and extraordinary, foreseen and unforeseen, which are or may be assessed, charged, levied, or imposed by any public or governmental authority on Company with respect to any property or any business owned by Company within the City.

“Infrastructure” shall have the meaning assigned by Texas Local Government Code Section 501.103 necessary for the Phase 1 and Phase 2 Improvements.

“Infrastructure Grant” shall mean an economic development grant to offset the actual costs incurred and paid by Company for the design and construction of the Infrastructure not to exceed Five Hundred Thousand Dollars (\$500,000.00) to be paid in two (2) equal installments as set forth herein.

“Land” shall mean the real property described in **Exhibit “A”**.

“Payment Request” shall mean a written request from Company to GEDCO for payment of an installment of the Infrastructure Grant, which request shall be accompanied by records, receipts and invoices to document the costs incurred and paid by Company for the Infrastructure and the required Capital Investment.

“Phase 1 Improvements” shall mean a headquarters and industrial building containing approximately 225,000 square foot of space to be constructed on the Land.

“Phase 2 Improvements” shall mean an industrial building, in addition to the Improvements, containing approximately 200,000 square feet of space following construction thereof on the Land.

“Prohibited Uses” shall mean adult book or adult video stores; Massage Parlor, however, day spas which offer massages are acceptable; flea markets; the resale of used clothing; fight clubs; recycling centers; slaughterhouses; dairy farms or plants, milk houses, or milking parlors; asphalt or concrete plants; auto recycling or wrecking yards; petroleum refineries; trailer, RV or mobile home parks; electrical substations; sewage treatment plants; cemeteries; or mines.

“Related Agreement” shall mean any agreement (other than this Agreement) by and between the City, GEDCO and/or GTEC, and Company.

“Required Use” shall mean the continuous use of the Phase 1 Improvements as a corporate headquarters and distribution center.

“Zoning” shall mean the ordinance currently in place on the Land as of the Effective Date hereof for the development of the Land and the Phase 1 and Phase 2 Improvements.

Article II

Term

The term of this Agreement shall begin on the Effective Date and continue until the Expiration Date, unless sooner terminated as provided herein.

Article III

Economic Development Grants

3.1 Infrastructure Grant. (a) Subject to the continued satisfaction of all the terms and conditions of this Agreement by Company and the obligation of Company to repay the Infrastructure Grant pursuant to Article V hereof, GEDCO agrees to provide the Infrastructure Grant to Company to be paid by GEDCO to Company to be paid in two (2) equal installments of Two Hundred Fifty Thousand Dollars (\$250,000.00).

(b) First Installment of the Infrastructure Grant. The first installment of the Infrastructure Grant in an amount of the lesser of: (i) Two Hundred Fifty Thousand Dollars (\$250,000.00) and (ii) the amount of the incurred and paid by Company for the Infrastructure (the “First Installment”) shall be paid by GEDCO to Company not later than thirty (30) days after receipt of a Payment Request following the date of Completion of the Phase 1 Improvements and verification of such costs by GEDCO. Company shall submit the Payment Request for the First Installment no later than ninety (90) days after date of Completion of Construction of Phase 1 Improvements. Failure of the Company to timely submit the Payment Request for the First

Installment on or before ninety (90) days after the date of Completion of Construction of the Phase 1 Improvements shall result in forfeiture of the payment of the First Installment.

(c) **Second Installment of the Infrastructure Grant.** The second installment of the Infrastructure Grant in an amount of the lesser of: (i) fifty percent (50%) the Maximum Grant Amount as reduced by the amount of the payment of the First Installment; or (ii) the amount of Eligible Costs incurred and paid by Company for the Infrastructure less the amount reimbursed by the First Installment (the “Second Installment”) shall be paid by GEDCO to Company not later than thirty (30) days after receipt of a Payment Request following the date of Completion of Construction of the Phase 2 Improvements and verification of such costs by GEDCO. Company shall submit the Payment Request for the Second Installment no later than ninety (90) days after the date Completion of Construction of the Phase 2 Improvements. Failure of the Company to timely submit the Payment Request for the Second Installment on or before ninety (90) days after the date Completion of Construction of the Phase 2 Improvements shall result in forfeiture of the payment of the Second Installment of the Grant.

3.3 **Current Revenue.** The Infrastructure Grant made hereunder shall be paid solely from lawful available funds, which have been appropriated by GEDCO. Under no circumstances shall the obligations of GEDCO hereunder be deemed to create any debt within the meaning of any constitutional or statutory provision. Consequently, notwithstanding any other provision of this Agreement, GEDCO shall have no obligation or liability to pay the Infrastructure Grant except as allowed by law.

3.4 **Grant Limitations.** GEDCO shall not be obligated to pay any commercial bank, lender or similar institution for any loan or credit agreement made by Company. None of the obligations of GEDCO under this Agreement shall be pledged or otherwise encumbered in favor of any commercial lender and/or similar financial institution.

3.5 **Zoning.** The Parties acknowledge and understand that the Zoning contains provisions that may or do (i) prohibit, directly or indirectly, the use or installation of a building product or material in the construction, renovation, maintenance, or other alteration of a commercial building otherwise approved for use by a national model code published within the last three code cycles that applies to the construction, renovation, maintenance, or other alteration of a building, or (ii) establishes a standard for a building product, material, or aesthetic method in the construction, renovation, maintenance, or other alteration of a commercial building that is more stringent than a standard for the product, material, or aesthetic method under a national model code published within the last three code cycles that applies to the construction, renovation, maintenance, or other alteration of the building, such that such provision(s) may be void as a matter of law pursuant to Chapter 3000 of the Texas Government Code. Notwithstanding the foregoing, Company agrees to: (i) comply with the Zoning and construct the Improvements in accordance with the materials and elevations required by the Zoning, except that notwithstanding the Zoning the required exterior building materials for all buildings erected on any portion of the Land shall have exterior elevations of concrete, brick, masonry, stone, stucco, metal accents or equivalent finishes; no exterior elevations of any buildings on the Land shall be unfinished; and no metal buildings shall be permitted (the “Required Building Materials”) and (ii) to construct the Phase 1

and Phase 2 Improvements as required pursuant to this Agreement. Further, during the term of this Agreement, Company agrees: (i) that the Land and no building erected on the Land shall be used for the Prohibited Uses; and (ii) to use building materials for the Phase 1 and Phase 2 Improvements consistent and harmonious with the Required Building Materials and the Zoning, (the Zoning as modified by the Required Building Materials). The provisions of this Section shall be a covenant running with the Land and are fully binding on the Company and each and every subsequent owner of all or any portion of the Land during, but only during, the term of such Party's ownership thereof (except with respect to defaults that occur during the term of such person's ownership) and shall be binding on all successors and assigns of the Company which acquire any right, title, or interest in or to the Land, or any part thereof.

Article IV

Conditions to Economic Development Grant

The obligation of GEDCO to pay the Infrastructure Grant, and any installments thereof, to Company shall be conditioned upon the compliance and satisfaction by Company of the terms and conditions of this Agreement and each of the conditions set forth in this Article.

4.1 Good Standing. As a condition of the payment of the installments of the Infrastructure Grant, Company shall not have an uncured breach or default of this Agreement or a Related Agreement.

4.2 Payment Request. Company shall, as a condition precedent to the payment of the applicable installment of the Infrastructure Grant, timely provide GEDCO with the applicable Payment Request.

4.3 Capital Investment. The Capital Investment shall be at least Fifteen Million Dollars (\$15,000,000.00) as of the date of Completion of Construction of Phase 1 Improvements of the Project and Twenty-Five Million Dollars total following the completion of Phase 2 Improvements. Company shall within thirty (30) days after the date of Completion of Construction of the Phase 1 Improvements and Phase 2 Improvements, respectively, provide GEDCO with copies of receipts and other records evidencing the required Capital Investment and such other records as GEDCO may reasonably request.

4.4 Required Use. During the term of this Agreement following the date of Completion of Construction of the Phase 1 Improvements and continuing thereafter until the Expiration Date, the Phase 1 Improvements shall not be used for any purpose, other than the Required Use, and the use and occupancy of the Phase 1 Improvements in conformance with the Required Use shall not cease for more than thirty (30) days except in connection with and to the extent of an event of Force Majeure.

4.5 Continuous Occupancy. During the term of this Agreement following the Commencement Date and continuing thereafter until the Commencement Date, Company shall continuously occupy the Improvements.

4.6 Construction of the Project.

(a) Company shall, subject to events of Force Majeure cause Commencement of Construction of the Phase 1 Improvements and the Infrastructure to occur on or before July 1, 2021, and shall subject to events of Force Majeure, to cause Completion of Construction of the Phase 1 Improvements and the Infrastructure to occur on or before July 1, 2023.

(b) Company shall, subject to events of Force Majeure cause Commencement of Construction of the Phase 2 Improvements to occur within three (3) years after the date of Completion of Construction of the Phase 1 Improvements, and shall subject to events of Force Majeure, to cause Completion of Construction of the Phase 2 Improvements to occur to within twenty-four months thereafter.

4.7 Master Plan. Master Plan. Company shall prepare and submit to the City a conceptual master plan for the Land which shall comply with the minimum design standards and other details as required by the Zoning on or before March 31, 2021.

Article V Termination

5.1 This Agreement shall terminate upon any one or more of the following:

- (a) by written agreement of the Parties;
- (b) Expiration Date;
- (c) upon written notice by any Party in the event another Party breaches any of the terms or conditions of this Agreement or a Related Agreement and such breach is not cured within thirty (30) days after written notice thereof;
- (d) upon written notice by GEDCO, if Company suffers an event of Bankruptcy or Insolvency;
- (e) upon written notice by GEDCO, if any Impositions owed to City and/or GEDCO, or the State of Texas by Company shall become delinquent after thirty (30) days written notice is delivered pursuant to this Agreement (provided, however, Company retains the right to timely and properly protest and contest any such Impositions); and
- (f) upon written notice by any Party, if any subsequent Federal or State legislation or any decision of a court of competent jurisdiction declares or renders this Agreement invalid, illegal or unenforceable.

5.2 Repayment. In the event this Agreement is terminated by GEDCO pursuant to Section 5.1(c), (d), (e), or (f), Company shall immediately repay to GEDCO an amount equal to the Infrastructure Grant previously paid by GEDCO to Company as of the date of termination, plus interest at the rate periodically announced by the Wall Street Journal as the prime or base commercial lending rate, or if the Wall Street Journal shall ever cease to exist or cease to announce a prime or base lending rate, then at the annual rate of interest from time to time announced by Citibank, N.A. (or by any other New York money center bank selected by GEDCO) as its prime

or base commercial lending rate, which shall accrue from the date of the respective Grant payments until paid.

5.3 Offsets. GEDCO may, at its option, offset any amounts due and payable under this Agreement against any debt (including taxes) lawfully due to GEDCO, GTEC and/or City from Company, regardless of whether the amount due arises pursuant to the terms of this Agreement, a Related Agreement or otherwise, and regardless of whether the debt due GEDCO, GTEC and/or City has been reduced to judgment by a court.

Article VI Miscellaneous

6.1 Binding Agreement; Assignment. This Agreement shall be binding upon and inure to the benefit of the heirs, successors, affiliates, administrators, executors, and permitted assigns of the respective Parties. This Agreement may not be assigned by Company without the prior written consent of GEDCO.

6.2 Limitation on Liability. It is acknowledged and agreed by the Parties that the terms hereof are not intended to and shall not be deemed to create a partnership or joint venture among the Parties. It is understood and agreed between the Parties that Company, in satisfying the conditions of this Agreement, has acted independently, and GEDCO assumes no responsibilities or liabilities to third parties in connection with these actions. Company agrees to indemnify and hold harmless GEDCO from all such claims, suits, and causes of actions, liabilities and expenses, including reasonable attorney's fees, of any nature whatsoever arising out of the Company's and/or Company's performance of the conditions under this Agreement.

6.3 Authorization. Each Party represents that it has full capacity and authority to grant all rights and assume all obligations that are granted and assumed under this Agreement. The undersigned officers and/or agents of the Parties are the properly authorized officials and have the necessary authority to execute this Agreement on behalf of the Parties.

6.4 Notice. Any notice required or permitted to be delivered hereunder shall be deemed received three (3) days thereafter sent by United States Mail, postage prepaid, certified mail, return receipt requested, addressed to the Party at the address set forth below or on the day received as sent by courier or otherwise hand delivered.

If intended for GEDCO, to

Steve Bohnenkamp, President
Georgetown Economic Development
Corporation
City of Georgetown
808 Martin Luther King, Jr. Street
Georgetown, Texas 78626

With a copy to:

Skye Masson
City Attorney
City of Georgetown
808 Martin Luther King, Jr. Street
Georgetown, Texas 78626

If intended for Company, to:

Attn: Tim Elliott, President
Texas Outdoor Power Equipment
Distributors, Inc.
111 Halmar Cove
Georgetown, Texas 78628

6.5 Entire Agreement. This Agreement is the entire Agreement between the Parties with respect to the subject matter covered in this Agreement. There is no other collateral oral or written Agreement between the Parties that in any manner relates to the subject matter of this Agreement, except as provided in any Exhibits attached hereto.

6.6 Governing Law. This Agreement shall be governed by the laws of the State of Texas, and venue for any action concerning this Agreement shall be in the State District Court of Williamson County, Texas. The Parties agree to submit to the personal and subject matter jurisdiction of said Court.

6.7 Amendment. This Agreement may be amended by the mutual written agreement of the Parties.

6.8 Legal Construction. In the event any one or more of the provisions contained in this Agreement shall for any reason be held to be invalid, illegal, or unenforceable in any respect, such invalidity, illegality, or unenforceability shall not affect other provisions, and it is the intention of the Parties that in lieu of each provision that is found to be illegal, invalid, or unenforceable, a provision be added to this Agreement which is legal, valid and enforceable and is as similar in terms as possible to the provision found to be illegal, invalid or unenforceable.

6.9 Recitals. The recitals to this Agreement are incorporated herein.

6.10 Counterparts. This Agreement may be executed in counterparts. Each of the counterparts shall be deemed an original instrument, but all of the counterparts shall constitute one and the same instrument.

6.11 Exhibits. Any exhibits to this Agreement are incorporated herein by reference for the purposes wherever reference is made to the same.

6.12 Survival of Covenants. Any of the representations, warranties, covenants, and obligations of the Parties, as well as any rights and benefits of the Parties, pertaining to a period following the termination of this Agreement shall survive termination.

6.13 Employment of Undocumented Workers. During the term of this Agreement, Company agrees not to knowingly employ any undocumented workers and, if convicted of a violation under 8 U.S.C. Section 1324a (f), Company shall repay the amount of the Infrastructure Grant and any other funds received by Company from the GEDCO as of the date of such violation within 120 days after the date Company is notified by the GEDCO of such violation, plus interest at the rate of 4% compounded annually from the date of violation until paid. Company is not liable for a violation of this section by a subsidiary, affiliate, or franchisee of Company or by a person with whom Company contracts.

6.14 Condition Precedent. This Agreement is expressly subject to and the obligations of the Parties are conditioned on the Company closing its purchase of the Land on or before December 31, 2020.

[Signature Pages to Follow]

EXECUTED on this _____ day of _____, 2021.

**GEORGETOWN ECONOMIC
DEVELOPMENT CORPORATION**

By: _____
Steven Bohnenkamp, President

State of Texas §
County of Williamson §

This instrument was acknowledged before me on the _____ day of _____, 2021, by Steven Bohnenkamp, as President of Georgetown Economic Development Corporation, a Type A sales tax corporation, on behalf of said corporation.

(Notary Seal)

Notary Public, State of Texas

My Commission Expires: _____

EXECUTED on this _____ day of _____, 2021.

**TEXAS OUTDOOR POWER EQUIPMENT
DISTRIBUTORS, INC.**

By: _____
Tim Elliott, President

State of Texas §
County of Williamson §

This instrument was acknowledged before me on the _____ day of _____, 2021, by Tim Elliott, as President of Texas Outdoor Power Equipment Distributors, Inc., a Texas corporation, on behalf of said corporation.

(Notary Seal)

Notary Public, State of Texas

My Commission Expires: _____

CERTIFICATION OF CITY COUNCIL APPROVAL

I hereby certify that the foregoing Economic Development Incentive Agreement of the Georgetown Economic Development Corporation and the Project described therein was approved by the City Council of the City of Georgetown, Texas, on the _____ day of _____, 2021.

THE CITY OF GEORGETOWN, TEXAS
A Texas home-rule municipality

By: _____
Josh, Schroeder Mayor

By: _____
Robyn Densmore, City Secretary

APPROVED AS TO FORM:

By: _____
Skye Masson, City Attorney

EXHIBIT “A”
Description of Land
(to be attached)

City of Georgetown, Texas
City Council Regular Meeting
January 12, 2021

SUBJECT:

Public Hearing and First Reading of an Ordinance for a **Zoning Map Amendment** to **rezone** approximately **4.658 acres** being a part of Lots 1, 2 and 3, River Road Subdivision, and part of a 5-acre tract in the William Roberts Survey, Abstract 524, **from the Agriculture (AG) zoning district to the General Commercial (C-3) zoning district** for the property generally located **southeast** of the **intersection** of **SH 195** and **Shell Rd** within the **1900 block of SH 195** -- Sofia Nelson, CNU-A, Planning Director

ITEM SUMMARY:

Overview of Applicant's Request:

The Applicant is requesting to rezone the subject property to the General Commercial (C-3) zoning district to develop it with commercial uses consistent with the purpose of this district.

Staff's Analysis:

Staff has reviewed the request in accordance with the Unified Development Code (UDC) and other applicable codes. Staff has determined that the proposed request complies with the criteria established in UDC Section 3.06.030 for a Zoning Map Amendment, as outlined in the attached Staff Report.

Public Comments:

As required by the Unified Development Code (UDC), all property owners and registered neighborhood associations within 300 feet of the subject property were notified of the request (10 notices mailed), a legal notice advertising the public hearing was placed in the Sun Newspaper (November 15, 2020) and signs were posted on-site. As of the publication date of this report, staff has received 0 written comments in favor and 0 in opposition of the request.

Planning and Zoning Commission Recommendation:

At their December 1, 2020 meeting, the Planning and Zoning Commission recommended approval (6-0) of the request.

FINANCIAL IMPACT:

None. The applicant has paid the required application fees.

SUBMITTED BY:

Andreina Dávila-Quintero, AICP, Current Planning Manager

ATTACHMENTS:

2020-23-REZ - P&Z Staff Report

Exhibit 1 - Location Map

Exhibit 2 - Future Land Use Map

Exhibit 3 - Zoning Map

Exhibit 4 - Development Standards and Permitted Uses of the C-3 district

Exhibit 5 - Letter of Intent

Ordinance with Exhibits

Presentation

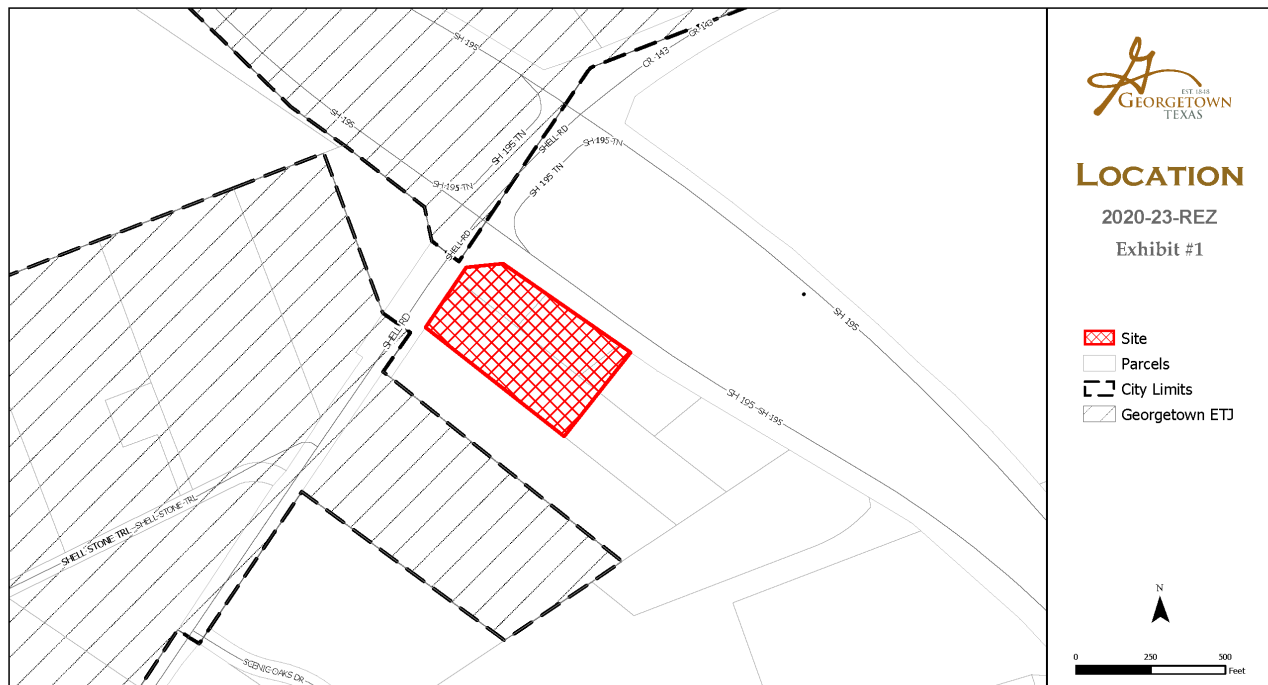


Planning and Zoning Commission Planning Department Staff Report

Report Date: November 25, 2020
Case No: 2020-23-REZ
Project Planner: Andreina Dávila-Quintero, AICP, Current Planning Manager

Item Details

Project Name: QT #4183
Project Location: South of the intersection of SH 195 and Shell Road, within City Council district No. 5
Total Acreage: 4.658 acres
Legal Description: A portion of Lots 1, 2 and 3, River Road Subdivision, and part of a 5-acre tract in the William Roberts Survey, Abstract 524
Applicant: QT South, LLC, c/o David Meyer
Property Owner: Marion Shipman
Request: Zoning Map Amendment to change the zoning district of the subject property from **Agriculture (AG)** to **General Commercial (C-3)**.
Case History: This is the first public hearing of this request.



Planning Department Staff Report

Overview of Applicant's Request

The Applicant is requesting to rezone the subject property to the General Commercial (C-3) zoning district to develop it with commercial uses consistent with the purpose of this district.

Site Information

Location:

The subject property is currently located south of the intersection of SH 195 and Shell Rd, and it is currently vacant.

Physical and Natural Features:

The subject property is predominantly flat with little tree coverage. There are no significant environmental or other natural features on site.

Future Land Use and Zoning Designations:

The subject property has an existing Future Land Use designation of Community Center and is currently zoned Agriculture (AG) and Highway Gateway Overlay district.

Surrounding Properties:

The subject property is located at the intersection of two major roadways surrounded by large non-residential properties that are primarily located within the ETJ. Nearby uses along Shell Road include self-storage facility, trucking company, and a church, as well as large residential lots (approximately 10 acre lots) located further to the west. Further to the south there is single-family residential development currently under construction. The Berry Creek Highlands mixed-use master planned community is also currently under construction further north along SH 195.

The current zoning, Future Land Use designation, and existing uses of the adjacent properties to the north, south, east, and west are outlined in the table below:

| DIRECTION | ZONING DISTRICT | FUTURE LAND USE | EXISTING USE |
|-----------|--------------------------|------------------|-----------------------------|
| North | ETJ | Community Center | Undeveloped (across SH 195) |
| East | Agriculture (AG) | Community Center | Undeveloped |
| South | General Commercial (C-3) | Community Center | Undeveloped |
| West | General Commercial (C-3) | Community Center | Undeveloped |



Comprehensive Plan Guidance

Future Land Use Map:

Community Centers (CC) are typically configured as “nodes” of smaller scale at the intersection of arterial roads and other major thoroughfares. These developments provide local retail, professional office, and service-oriented businesses that serve the residents of Georgetown. While typically auto-oriented, pedestrian connections to the surrounding neighborhoods are provided. Well integrated residential developments, which encourage the interaction of residents and businesses, are appropriate and vertical mixed use encouraged. To promote the interaction of integrated and adjacent residential development, these areas emphasize quality building and site design, such as enhanced architectural features, landscaping, and prominent pedestrian facilities.

DUA: 14 or more

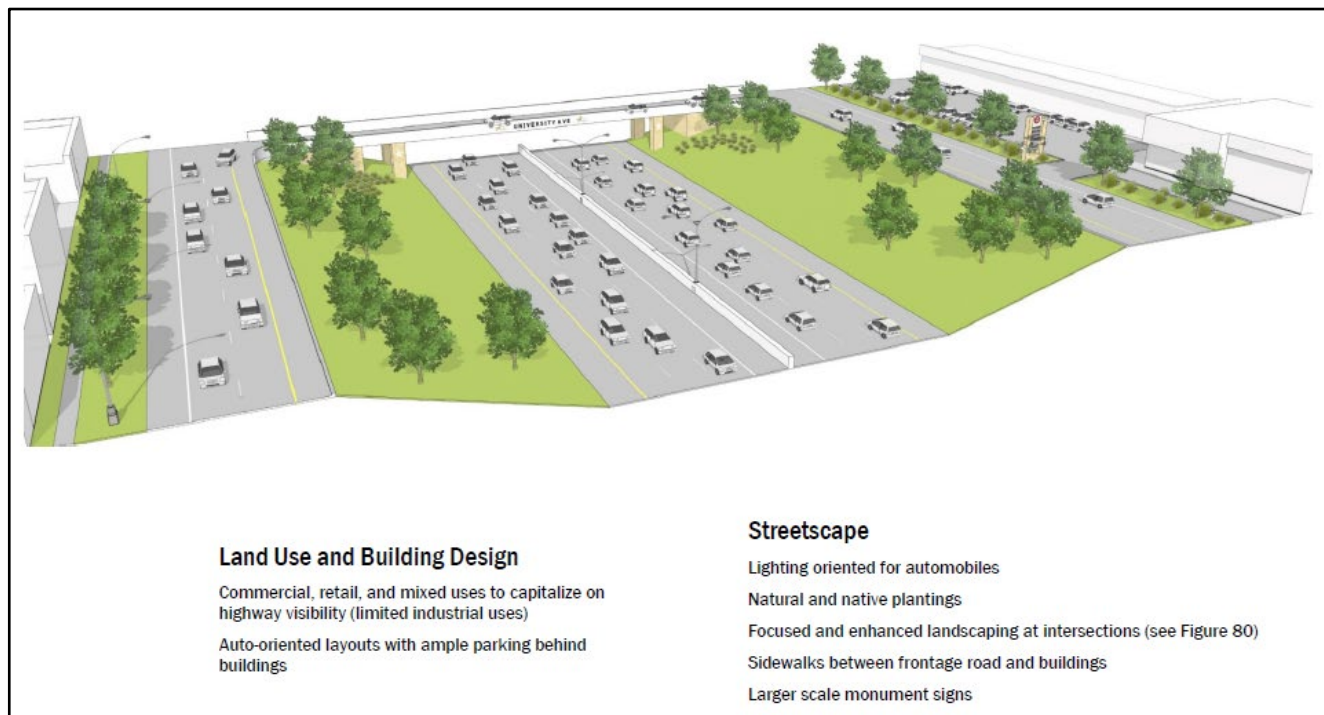
Target Ratio: 80% nonresidential, 20% residential

Primary Use: Small to mid-size retailers

Secondary Uses: Medium and high density residential, local restaurants, specialty retailers, professional office, and civic uses

Other Master Plans: Image Corridors

Due to its location along a freeway (SH 195), the subject property is also located within the Highway Corridor, one of the Image Corridors adopted as part of the 2030 Plan Update. Highway corridors are located along the City’s major roadways with the highest traffic volumes and traffic speeds. Highway corridors include primarily auto-oriented, nonresidential development such as commercial, retail, office, and mixed-use to capitalize on highway visibility and access; however, industrial development is not appropriate within these corridors without significant screening and performance standards. Highway corridors are the most visible to residents and visitors and project a positive image of Georgetown.



Utilities

The subject property is located within the City's service area for water and wastewater. Additionally, it is located within the Pedernales Electric Cooperative (PEC) service area for electric. It is anticipated that there is adequate water and electric capacity to serve the subject property at this time; however, wastewater may be provided through on-site sewage facility (OSSF). A Utility Evaluation may be required at time of Site Development Plan to determine capacity and any necessary utility improvements.

Transportation

The subject property has an estimated 280 feet of frontage along Shell Road, which is classified as a Major Arterial, and 560 feet of frontage along SH 195, which is classified as a freeway in the City's Overall Transportation Plan.

Arterial streets provide traffic movement through and between different areas within the city and access to adjacent land uses. Access is more controllable because driveway spacing requirements are much greater and, if safety dictates, overall access can be limited to specific turning movements. Major Arterials connect major traffic generators and land use concentrations and serve much larger traffic volumes over greater distances.

Freeways and Tollways are controlled access roadways that allow for the movement of traffic through and around the City. This classification includes interstate highways, state highways, tollways, and loops. Direct property access is limited as access is not the intended purpose of these facilities. Design characteristics of these facilities include multiple travel lanes, limited access points, high traffic volumes and high traffic speeds.

Planning Department Staff Report

A Traffic Impact Analysis (TIA) will be required at time of Site Development Plan for any development that generates more than two thousand (2,000) average daily trips based upon the latest edition of the Institute of Transportation Engineers (ITE) Trip Generation Manual.

Proposed Zoning district

The General Commercial (C-3) zoning district is intended to provide a location for general commercial and retail activities that serve the entire community and its visitors. Uses may be large in scale and generate substantial traffic, making the C-3 District only appropriate along freeways and major arterials.

Permitted uses in this district include, but are not limited to, general retail, hotels, restaurants, and general office. Other uses such as activity center, bar/tavern/pub, college/university, fuel sales, and event facility among others are permitted subject to specific design limitations. Certain land uses, including automotive sales, rental or leasing facilities, require a Special Use Permit (SUP). Exhibit 4 contains a comprehensive list of C-3 district permitted uses and development standards.

Intergovernmental and Interdepartmental Review

The proposed rezoning request was reviewed by all applicable City Departments to determine the appropriateness of the requested zoning on the subject property. No comments were issued regarding the zoning request.

Approval Criteria

Staff has reviewed the proposed rezoning request and has found that it complies with the criteria established in UDC Section 3.06.030 for a Zoning Map Amendment, as outlined below:

| ZONING MAP AMENDMENT (REZONING) APPROVAL CRITERIA | |
|---|-----------------|
| 1. The application is complete and the information contained within the application is sufficient and correct enough to allow adequate review and final action. | Complies |
| An application must provide the necessary information to review and make a knowledgeable decision in order for staff to schedule an application for consideration by the Planning and Zoning Commission and City Council. This application was reviewed by staff and deemed to be complete. | |
| 2. The zoning change is consistent with the Comprehensive Plan. | Complies |
| The subject property is located within a Community Center node, which is intended to encourage small-scale, well integrated commercial uses with residential developments, and the interaction of residents and businesses. The General Commercial District (C-3) is intended to provide a location for general commercial and retail activities that serve the community and its visitors. In addition, it allows for restricted residential uses, such as upper story residential. This district, while slightly more intense than what is envisioned within the node, is still found to be compatible due to the mix of uses that are permitted consistent with the uses envisioned by this designation. | |
| In addition, Future Land Use Policy #1 of the 2030 Comprehensive Plan Amendment is to encourage a balanced mix of residential, commercial, and employment uses at varying densities | |

Planning Department Staff Report

ZONING MAP AMENDMENT (REZONING) APPROVAL CRITERIA

and intensities to reflect a gradual transition from urban to suburban to rural development. The requested General Commercial (C-3) zoning district located at the center of this node, and at the intersection of a freeway and major arterial, would help achieve this Future Land Use Policy as the surrounding area develops further away from this intersection. It also increases the percentage of entitled commercial property from 12% to 15% within the node, bringing this area closer to the 80% to 20%, non-residential to residential ratio envisioned by this node.

3. The zoning change promotes the health, safety or general welfare of the City and the safe orderly, and healthful development of the City.

Complies

The requested General Commercial (C-3) zoning district would not adversely affect the health, safety, or welfare of residents. According to the City of Georgetown's UDC, General Commercial (C-3) is only appropriate along freeways and major arterials. Thus, the General Commercial (C-3) district, should it be approved at this location, will help facilitate orderly commercial development along SH-195, which is a major highway. In addition, while some of the uses with General Commercial (C-3) may be large and generate substantial traffic, staff does not anticipate uses on the 4.658-acre subject property to create a disturbance to the general welfare of the community due to the district's development standards and size of the property.

4. The zoning change is compatible with the present zoning and conforming uses of nearby property and with the character of the neighborhood.

Complies

The subject property is surrounded by the same General Commercial (C-3) zoning district to the west and south, and property that will retain its current Agriculture (AG) zoning district until it is further developed. Also, developed property within the immediate area include other similar intense commercial uses, such as the self-storage facility to the west. Being located along the road of two major thoroughfares – a freeway and a major arterial – the requested zoning district is found to be compatible with the surrounding existing and envisioned uses.

5. The property to be rezoned is suitable for uses permitted by the District that would be applied by the proposed amendment.

Complies

The size and shape of the subject property allows for a typical commercial floor plan with enough land remaining to meet parking needs, as well as other site improvement requirements such as bufferyard, landscaping, and impervious cover.

Based on the finding's listings above, staff finds that the requested General Commercial (C-3) zoning district complies with the Approval Criteria for a Zoning Map Amendment. The requested zoning district is compatible with adjacent land uses, provides the foundation of transition for the Future Land Use node, and is adequately sized to support the uses permitted in this zoning district and associated development standards.

Meetings Schedule

December 1, 2020 – Planning and Zoning Commission

January 12, 2021 – City Council First Reading of the Ordinance

Planning Department Staff Report

January 26, 2021 – City Council Second Reading of the Ordinance

Public Notification

As required by the Unified Development Code (UDC), all property owners and registered neighborhood associations within 300 feet of the subject property were notified of the request (10 notices mailed), a legal notice advertising the public hearing was placed in the Sun Newspaper (November 15, 2020) and signs were posted on-site. As of the publication date of this report, staff has received 0 written comments in favor and 0 in opposition of the request.

Attachments


Exhibit 1 – Location Map
Exhibit 2 – Future Land Use Map
Exhibit 3 – Zoning Map
Exhibit 4 – Design and development standards of the C-3
Exhibit 5 – Letter of Intent

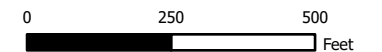


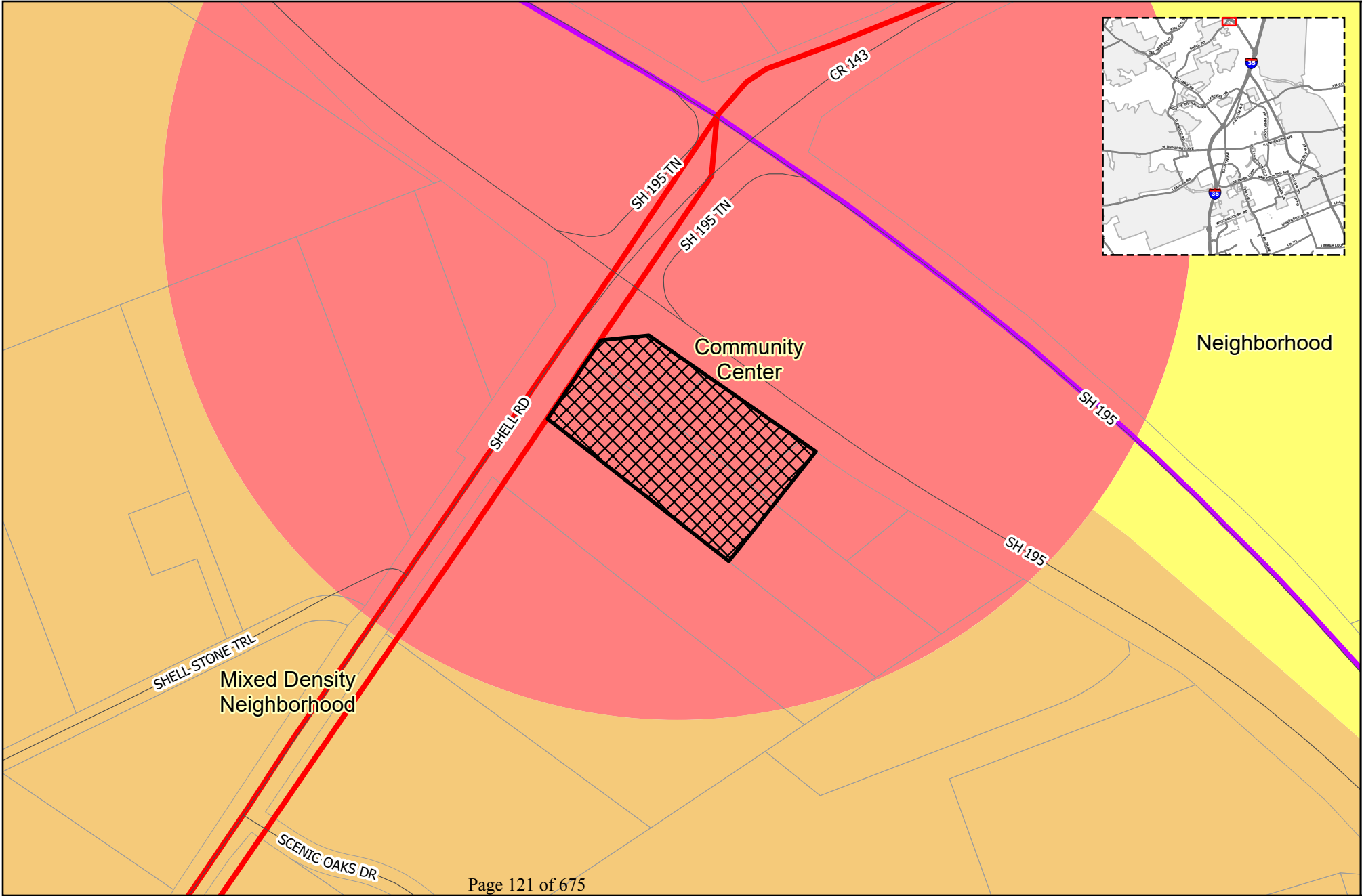
LOCATION

2020-23-REZ

Exhibit #1

-  Site
-  Parcels
-  City Limits
-  Georgetown ETJ



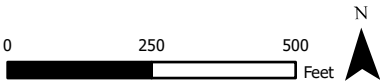


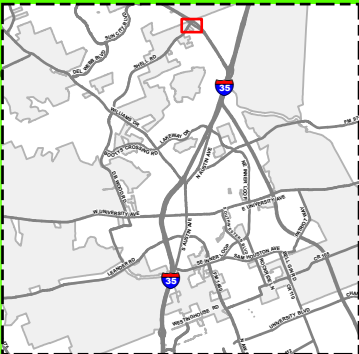
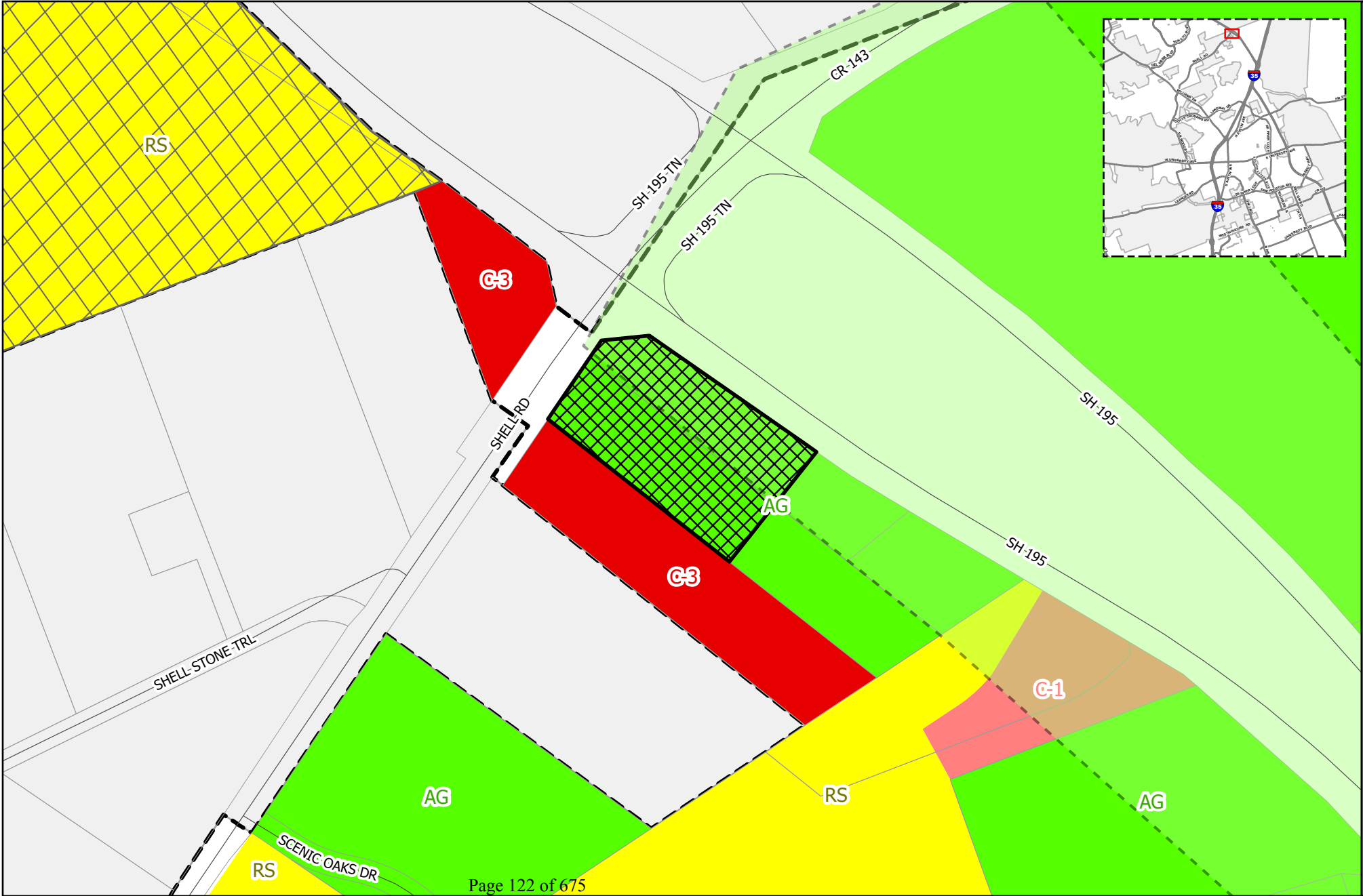
**FUTURE LAND USE/
OVERALL TRANSPORTATION
PLAN**

2020-23-REZ

Exhibit #2

- Site
- Parcels
- City Limits
- Georgetown ETJ
- Future Land Use**
 - Community Center
 - Employment Center
 - Institutional
 - Mining
 - Mixed Density Neighborhood
 - Neighborhood
 - Open Space
 - Parks and Recreation
 - Regional Center
 - Rural Residential
 - Special Area
- Thoroughfare**
 - Existing Freeway
 - Existing Major Arterial
 - Existing Minor Arterial
 - Existing Collector
 - Proposed Freeway
 - Proposed Major Arterial
 - Proposed Minor Arterial
 - Proposed Collector
 - Proposed Rail

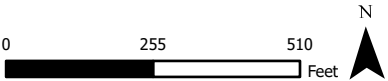




ZONING
2020-23-REZ

Exhibit #3

- Site
 - PUD
 - Courthouse View Overlay
 - Old Town Overlay
 - Historic Overlay
 - Downtown Overlay
 - SPO Overlay
 - Gateway Overlay
 - Parcels
- Zoning**
- AG - Agriculture
 - BP - Business Park
 - C-1 - Local Commercial
 - C-3 - General Commercial
 - CN - Neighborhood Commercial
 - IN - Industrial
 - MF-1 - Low-Density Multi-family
 - MF-2 - High-Density Multi-family
 - MH - Manufactured Housing
 - MU-DT - Mixed-Use Downtown
 - OF - Office
 - PF - Public Facility
 - RE - Residential Estate
 - RL - Residential Low-Density
 - RS - Residential Single-Family
 - TF - Two-Family
 - TH - Townhouse



General Commercial (C-3) District

| District Development Standards | | |
|---|---------------------------------------|--|
| Maximum Building Height = 60 feet | Side Setback = 10 feet | Bufferyard = 15 feet with plantings |
| Front Setback = 25 feet | Side Setback to Residential = 15 feet | adjacent to AG, RE, RL, RS, TF, MH, |
| (0 feet for build-to/downtown) | Rear Setback = 10 feet | MF-1, or MF-2 districts |
| | Rear Setback to Residential = 25 feet | |
| Specific Uses Allowed within the District | | |
| Allowed by Right | Subject to Limitations | Special Use Permit (SUP) Required |
| Agricultural Sales | Activity Center (youth/senior) | Auto. Parts Sales (outdoor) |
| Artisan Studio/Gallery | Athletic Facility, Indoor or Outdoor | Auto. Repair & Service, General |
| Assisted Living | Bar/Tavern/Pub | Auto. Sales, Rental, Leasing |
| Automotive Parts Sales (indoor) | Business/Trade School | Bus Barn |
| Auto. Repair and Service, Limited | Church (with columbarium) | Cemetery, Columbaria, Mausoleum, or Memorial Park |
| Banking/Financial Services | College/University | Correctional Facility |
| Blood/Plasma Center | Commercial Recreation | Firing Range, Indoor |
| Car Wash | Community Center | Flea Market |
| Consumer Repair | Contractor Services, Limited | Fuel Sales with more than 10 multi-fuel dispensers |
| Dry Cleaning Service | Dance Hall/Night Club | Hospital, Psychiatric |
| Emergency Services Station | Data Center | Lumber Yard |
| Event Catering/Equipment Rental | Day Care (group/commercial) | Major Event Entertainment |
| Farmer's Market | Driving Range | Manufactured Housing Sales |
| Fitness Center | Event Facility | Meat Market |
| Food Catering Services | Fuel Sales | Multifamily Attached |
| Funeral Home | Heliport | Recreational Vehicle Sales, Rental, |
| General Retail | Kennel | Self-Storage (indoor or outdoor) |
| General Office | Live Music/Entertainment | Substance Abuse Treatment Facility |
| Government/Postal Office | Micro Brewery/Winery | Transient Service Facility |
| Home Health Care Services | Neighborhood Amenity Center | Wireless Transmission Facility (41'+) |
| Hospital | Office/Showroom | |
| Hotel/Inn/Motel (incl. extended stay) | Office/Warehouse | |
| Integrated Office Center | Park (neighborhood/regional) | |
| Landscape/Garden Sales | Pest Control/Janitorial Services | |
| Laundromat | School (Elementary, Middle, High) | |
| Library/Museum | Upper-story Residential | |
| Medical Diagnostic Center | Wireless Transmission Facility (<41') | |
| Medical Office/Clinic/Complex | | |
| Membership Club/Lodge | | |
| Nature Preserve/Community Garden | | |
| Nursing/Convalescent/Hospice | | |
| Parking Lot (commercial/park-n-ride) | | |
| Personal Services (inc. Restricted) | | |
| Printing/Mailing/Copying Services | | |
| Private Transport Dispatch Facility | | |
| Restaurant (general/drive-through) | | |
| Small Engine Repair | | |
| Social Service Facility | | |
| Surgery/Post Surgery Recovery | | |
| Theater (movie/live) | | |
| Transit Passenger Terminal | | |
| | Allowed by Right (continued) | |
| | Urgent Care Facility | |
| | Utilities (Minor/Intermediate/Major) | |
| | Veterinary Clinic (indoor only) | |



AUSTIN DIVISION
2007 Sam Bass Rd
Suite 100
Round Rock, TX 78681
(512) 571-5701

David Meyer, Jr.
Real Estate Project Manager

October 12th, 2020

The City of Georgetown

406 W 8th St

Georgetown, TX 78626

RE: Zoning Map Amendment

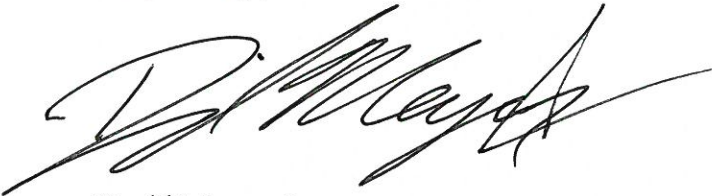
Dear Planning Staff,

QuikTrip Corporation respectfully requests the City of Georgetown to accept the Zoning Map Amendment of a 4.658 acre tract of land, out of the William Roberts Survey, Abstract 524, in the City of Georgetown, Williamson County, Texas, being part of the remainder of lots 1, 2 and 3 of River Road Subdivision, recorded as document no. 2001078995, of the official public records of Williamson County, Texas, and part of a 5.00 acre tract of land as described in document no. 2003101243, of the official public records of Williamson County, Texas, from (AG) Agricultural to (C-3) General Commercial, on behalf of the property owner. The requested Zoning Map Amendment will help to promote the health, safety and general welfare of the City and the safe, orderly, and healthful development of the City.

Additionally, QuikTrip requests the City to accept the Zoning Map Amendment of the property into the City Limits as zoning: General Commercial (C-3). The location of the property meets the intent of the definition of General Commercial (C-3), as defined in the Unified Development Code 4.04.020 (C), by being located along a major freeway (Hwy 195) and a major arterial (Shell Rd). The requested zoning is compatible with present zonings and uses of nearby properties; adjacent southern property is zoned General Commercial (C-3) and the westerly property across Shell Rd is General Commercial (C-3), as well . The subject property is suitable for the uses permittable by General Commercial (C-3) and is contiguous to current Georgetown City Limits. Furthermore, the requested zoning meets the intent of the newly adopted 2030 Comprehensive Plan, in which the property is now designated as a Community Center (CC).

Two roadways will serve and be utilized by the property; Shell Rd & Hwy 195. Utilities will be provided by Georgetown Water, for water supply, and a private sewer system will be utilized for sanitary sewer and will be design/constructed per Williamson County Standards.

Respectfully,

A handwritten signature in black ink, appearing to read 'D. Meyer, Jr.', with a stylized, flowing script.

David Meyer, Jr.

Real Estate Project Manager- QuikTrip Corp.

 **A Fortune 100** *"Best Companies to Work For"*

2007 Sam Bass Rd

Suite 100

Round Rock, TX 78681

(512) 574-5701 - Direct Line

dmeyerjr@quiktrip.com – Email

ORDINANCE NO. _____

An Ordinance of the City Council of the City of Georgetown, Texas, amending part of the Official Zoning Map to rezone 4.658 acres being a part of Lots 1, 2 and 3, River Road Subdivision, and part of a 5-acre tract in the William Roberts Survey, Abstract 524, generally located south of the intersection SH 195 and Shell Road, the Agriculture (AG) zoning district to the General Commercial (C-3) zoning district; repealing conflicting ordinances and resolutions; including a severability clause; and establishing an effective date.

Whereas, an application has been made to the City for the purpose of amending the Official Zoning Map, adopted on the 12th day of June, 2012, for the specific Zoning District classification of the following described real property ("The Property"):

4.658 acres being a part of Lots 1, 2 and 3, River Road Subdivision, and part of a 5-acre tract in the William Roberts Survey, Abstract 524, generally located south of the intersection SH 195 and Shell Road, as recorded in Document Number 2001078995 of the Official Public Records of Williamson County, Texas, hereinafter referred to as "The Property"; and

Whereas, public notice of such hearing was accomplished in accordance with State Law and the City's Unified Development Code through newspaper publication, signs posted on the Property, and mailed notice to nearby property owners; and

Whereas, the Planning and Zoning Commission, at a meeting on December 1, 2020, held the required public hearing and submitted a recommendation of approval to the City Council for the requested rezoning of the Property; and

Whereas, the City Council, at a meeting on January 12, 2021, held an additional public hearing prior to taking action on the requested rezoning of the Property.

Now, therefore, be it ordained by the City Council of the City of Georgetown, Texas, that:

Section 1. The facts and recitations contained in the preamble of this Ordinance are hereby found and declared to be true and correct, and are incorporated by reference herein and expressly made a part hereof, as if copied verbatim. The City Council hereby finds that this Ordinance implements the vision, goals, and policies of the Georgetown 2030 Comprehensive Plan and further finds that the enactment of this Ordinance is not inconsistent or in conflict with any other policies or provisions of the 2030 Comprehensive Plan and the City's Unified Development Code.

Section 2. The Official Zoning Map, as well as the Zoning District classification(s) for the Property is hereby amended from the Agriculture (AG) District to the General Commercial (C-

Ordinance Number: _____

Page 1 of 2

Description: QT 4183

Case File Number: 2020-23-REZ

Date Approved:

Exhibits A-B Attached

3) District, in accordance with the attached *Exhibit A* (Location Map) and *Exhibit B* (Legal Description) and incorporated herein by reference.

Section 3. All ordinances and resolutions, or parts of ordinances and resolutions, in conflict with this Ordinance are hereby repealed, and are no longer of any force and effect.

Section 4. If any provision of this Ordinance or application thereof to any person or circumstance shall be held invalid, such invalidity shall not affect the other provisions, or application thereof, of this Ordinance which can be given effect without the invalid provision or application, and to this end the provisions of this Ordinance are hereby declared to be severable.

Section 5. The Mayor is hereby authorized to sign this ordinance and the City Secretary to attest. This ordinance shall become effective in accordance with the provisions of state law and the City Charter of the City of Georgetown.

APPROVED on First Reading on the 12th day of January, 2021.

APPROVED AND ADOPTED on Second Reading on the 26th day of January, 2021.

THE CITY OF GEORGETOWN:

ATTEST:

Josh Schroeder
Mayor

Robyn Densmore, TRMC
City Secretary

APPROVED AS TO FORM:

Skye Masson
City Attorney

Ordinance Number: _____

Description: QT 4183

Date Approved:

Page 2 of 2


Case File Number: 2020-23-REZ

Exhibits A-B Attached



LOCATION

2020-23-REZ
Exhibit A

-  Site
-  Parcels
-  City Limits
-  Georgetown ETJ

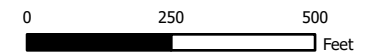


Exhibit B

FIELD NOTES FOR A 4.658 ACRE TRACT OF LAND

A **4.658 acre** tract of land, out of the William Roberts Survey, Abstract 524, in the City of Georgetown, Williamson County, Texas, being part of the remainder of Lots 1, 2 and 3 of River Road Subdivision, recorded as Document No. 2001078995, of the Official Public Records of Williamson County, Texas, and part of a 5.00 acre tract of land as described in Document No. 2003101243, of the Official Public Records of Williamson County, Texas. Said **4.658 acre** tract being more particularly described by metes and bounds as follows:

BEGINNING at a found Texas Department of Transportation (TxDOT) Right-of Way (R.O.W.) Monument, Type II, in the southwest right-of-way line of State Highway 195, a variable width right-of-way, as shown on the TxDOT R.O.W. Map CSJ No. 0440-01-036 & 0440-02-012, the southeast R.O.W. line of Shell Road as shown on said TxDOT R.O.W. Map, for the west end of a cutback, the most westerly northwest corner of the remainder of said Lot 1 and of the tract described herein;

THENCE: N 84° 17' 33" E, with the said cutback, the northwest line of the remainder of said Lot 1, the tract described herein and the southwest R.O.W. line of State Highway 195 as shown on said TxDOT R.O.W. Map, a distance of **123.69 feet**, to a set 1/2" iron rod with a red plastic cap stamped "MATKIN-HOOVER ENG. & SURVEYING" for the east end of said cutback, the most easterly northwest corner of the remainder of Said Lot 1 and the tract described herein;

THENCE: S 55° 03' 07" E, with the northeast line of the remainder of said Lots 1, 2 and 3, the tract described herein and said southwest R.O.W. line of State Highway 195, at 180.19 feet, a found 1/2" iron rod with a cap, for the common corner of the remainder of said Lots 1 and 2, at 476.70 feet, a found 5/8" iron rod for the common corner of the remainder of said Lots 2 and 3, and continuing for a total distance of **521.85 feet**, to a set 1/2" iron rod with a red plastic cap stamped "MATKIN-HOOVER ENG. & SURVEYING" for the northeast corner of the tract described herein, from which a found TxDOT R.O.W. Monument, Type II, in the northeast line of the remainder of said Lot 3 and said southwest right-of-way line of State Highway 195, bears S 55° 03' 07" E, a distance of 113.22 feet;

THENCE: S 38° 28' 05" W, departing the northeast line of the remainder of said Lot 3 and said southwest R.O.W. line of State Highway 195, over and across the remainder of said Lot 3, at 170.32 feet, the southwest line of said Lot 3 and the northeast line of said 5.00 acre tract, a total distance of **361.05 feet**, to a set 1/2" iron rod with a red plastic cap stamped "MATKIN-HOOVER ENG. & SURVEYING" in the southwest line of said 5.00 acre tract, the north line of a 5.00 acre tract of land as described in Document No. 2009048703, of the Public Records of Williamson County, Texas, for the southeast corner of the tract described herein;

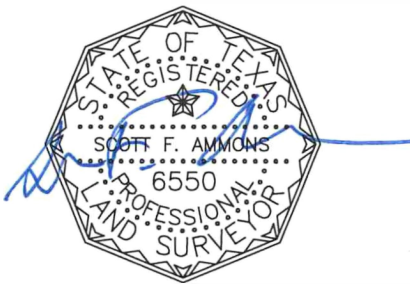
THENCE: N 51° 31' 55" W, with the common line of said 5.00 acre tracts, a distance of **591.67 feet**, to a found 1/2" iron rod, in said southeast R.O.W. line of Shell Road and the northwest line of the tract described herein, for the common corner of said 5.00 acre tracts and the southwest corner of the tract described herein;

THENCE: N 34° 14' 58" E, with said southeast R.O.W. line of Shell Road, the northwest line of said 5.00 acre tracts, of said Lot 1 and the tract described herein, at 191.42 feet, a found 1/2" iron rod with cap, for the northwest corner of said 5.00 acre tract and the southwest corner of the remainder of said Lot 3, a total distance of **243.48 feet** to the **POINT OF BEGINNING** and containing **4.658 acres** of land situated in the City of Georgetown, Williamson County, Texas.

Note: The basis of bearing was established using the Trimble VRS Network, NAD (83), Texas State Plane Coordinate System, Central Zone, 4203, US Survey Foot, Grid. A survey plat was prepared by a separate document. Field Work performed the week of 7/20/2020.

Job # 19-5027 4.658 Acres

Date: July 27, 2020



QT 4183 2020-23-REZ

City Council
January 12, 2021

Item Under Consideration

2020-23-REZ

- Public Hearing and First Reading of an Ordinance for a Zoning Map Amendment to rezone approximately 4.658 acres in the Lots 1, 2 and 3, River Road Subdivision, and part of a 5-acre tract in the William Roberts Survey, Abstract 524, from the **Agriculture (AG)** zoning district to the **General Commercial (C-3)** zoning district for the property generally located at south of the intersection of SH 195 and Shell Rd

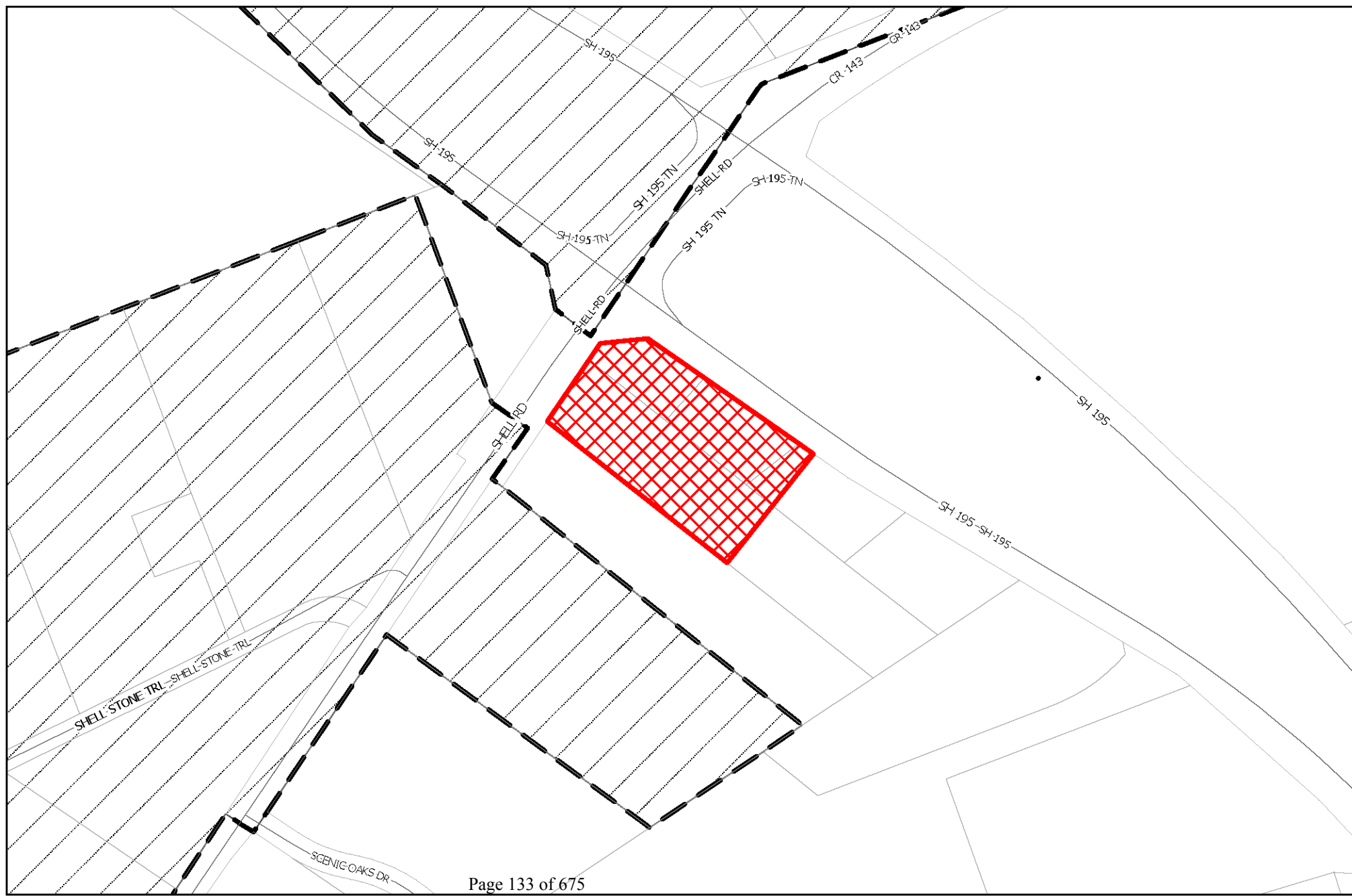
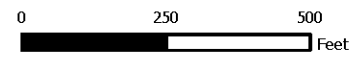


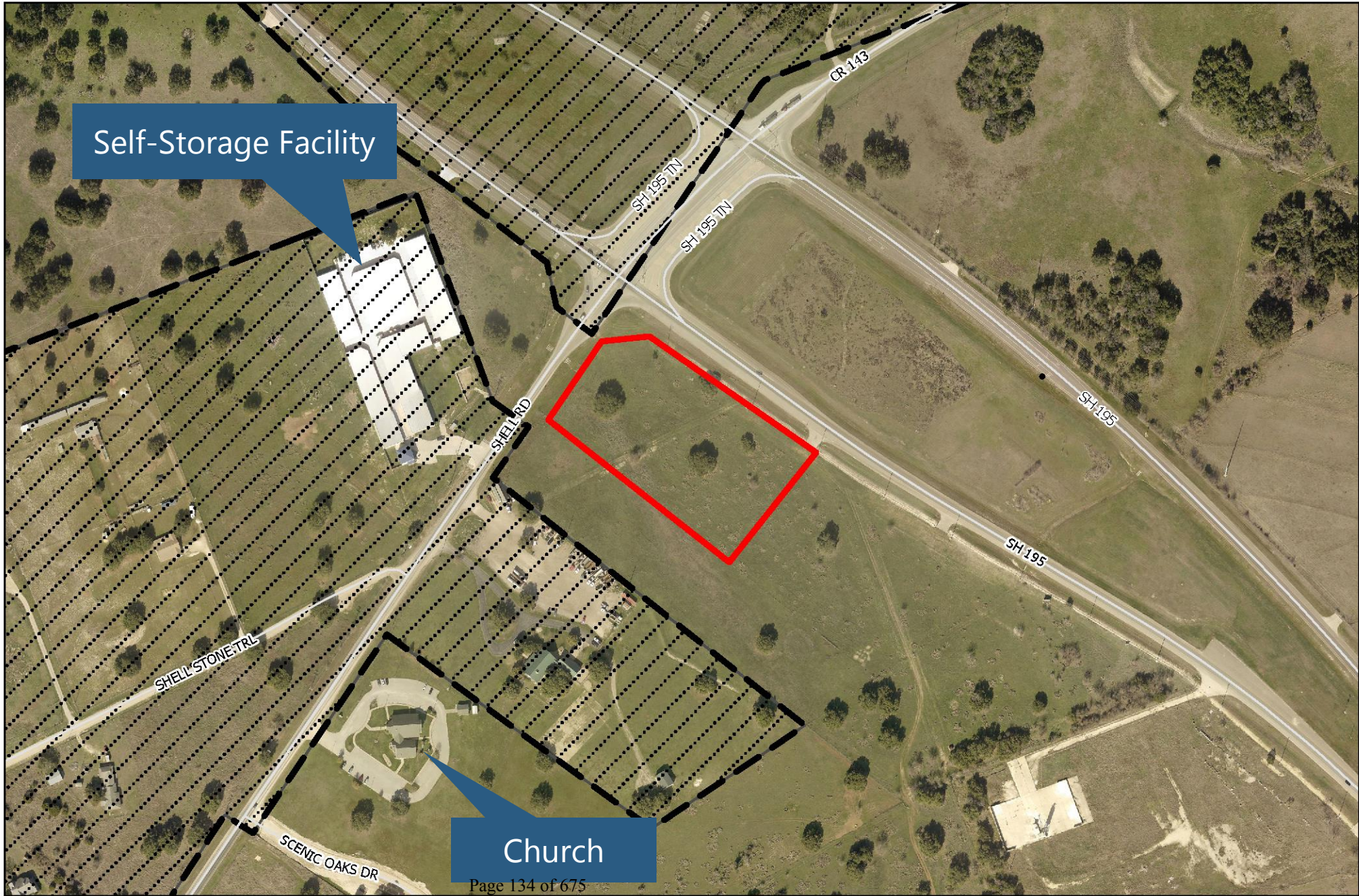
LOCATION

2020-23-REZ

Exhibit #1


-  Site
-  Parcels
-  City Limits
-  Georgetown ETJ

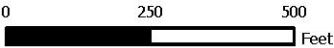




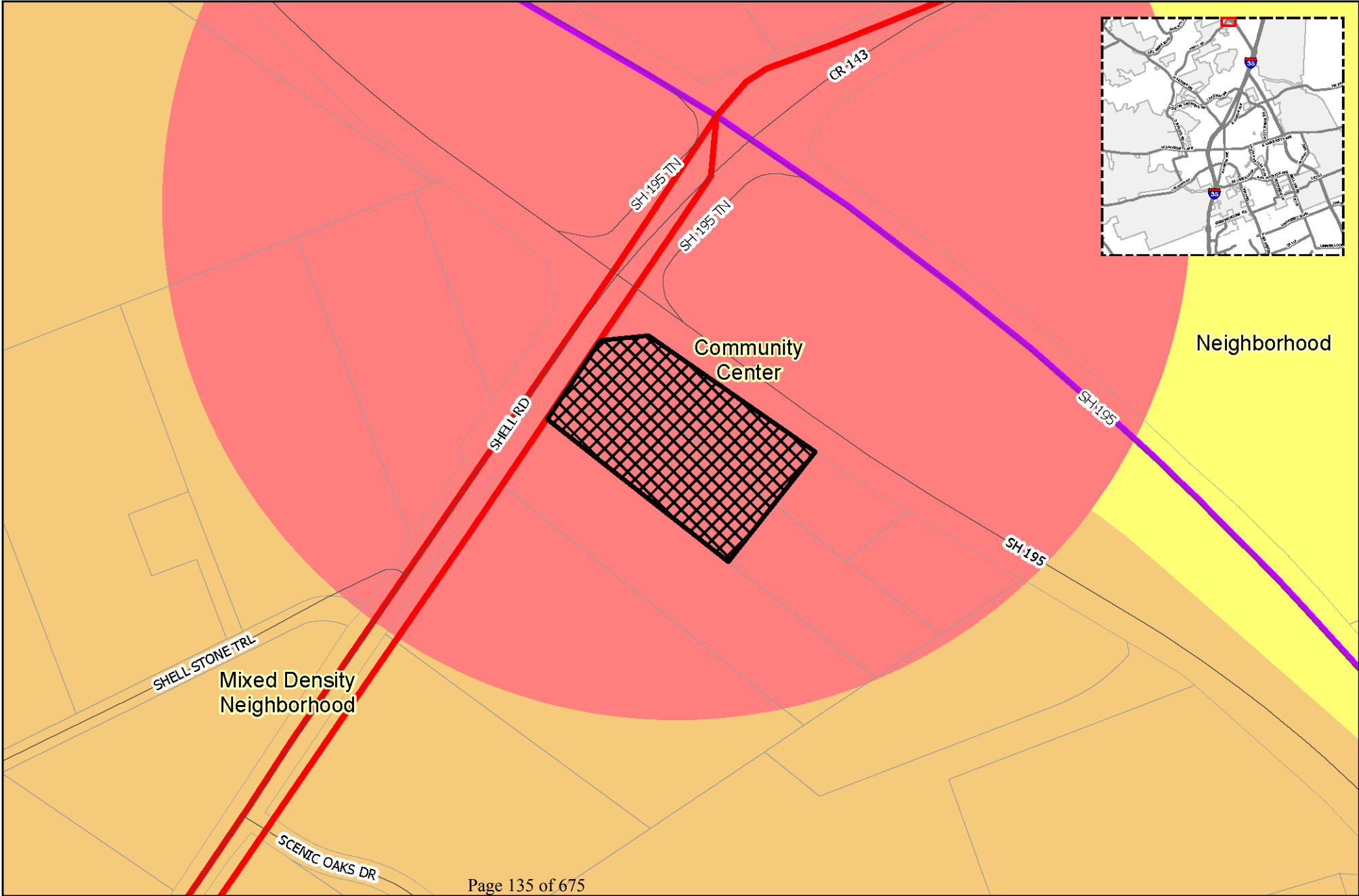
AERIAL

2020-23-REZ

-  Site
-  City Limits
-  Georgetown ETJ



Church

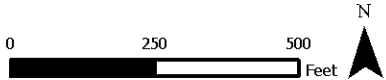


**FUTURE LAND USE/
OVERALL TRANSPORTATION
PLAN**

2020-23-REZ

Exhibit #2

- Site
- Parcels
- City Limits
- Georgetown ETJ
- Future Land Use
 - Community Center
 - Employment Center
 - Institutional
 - Mining
 - Mixed Density Neighborhood
 - Neighborhood
 - Open Space
 - Parks and Recreation
 - Regional Center
 - Rural Residential
 - Special Area
- Thoroughfare
 - Existing Freeway
 - Existing Major Arterial
 - Existing Minor Arterial
 - Existing Collector
 - Proposed Freeway
 - Proposed Major Arterial
 - Proposed Minor Arterial
 - Proposed Collector
 - Proposed Rail



Community Center (CC)

- Located around arterial roads and intersections
- Space for mid-sized development such as local retail, professional office, service-oriented businesses
- Serves the residents of Georgetown
- Context sensitive & quality site design and pedestrian access are encouraged to ensure compatibility with adjacent land uses

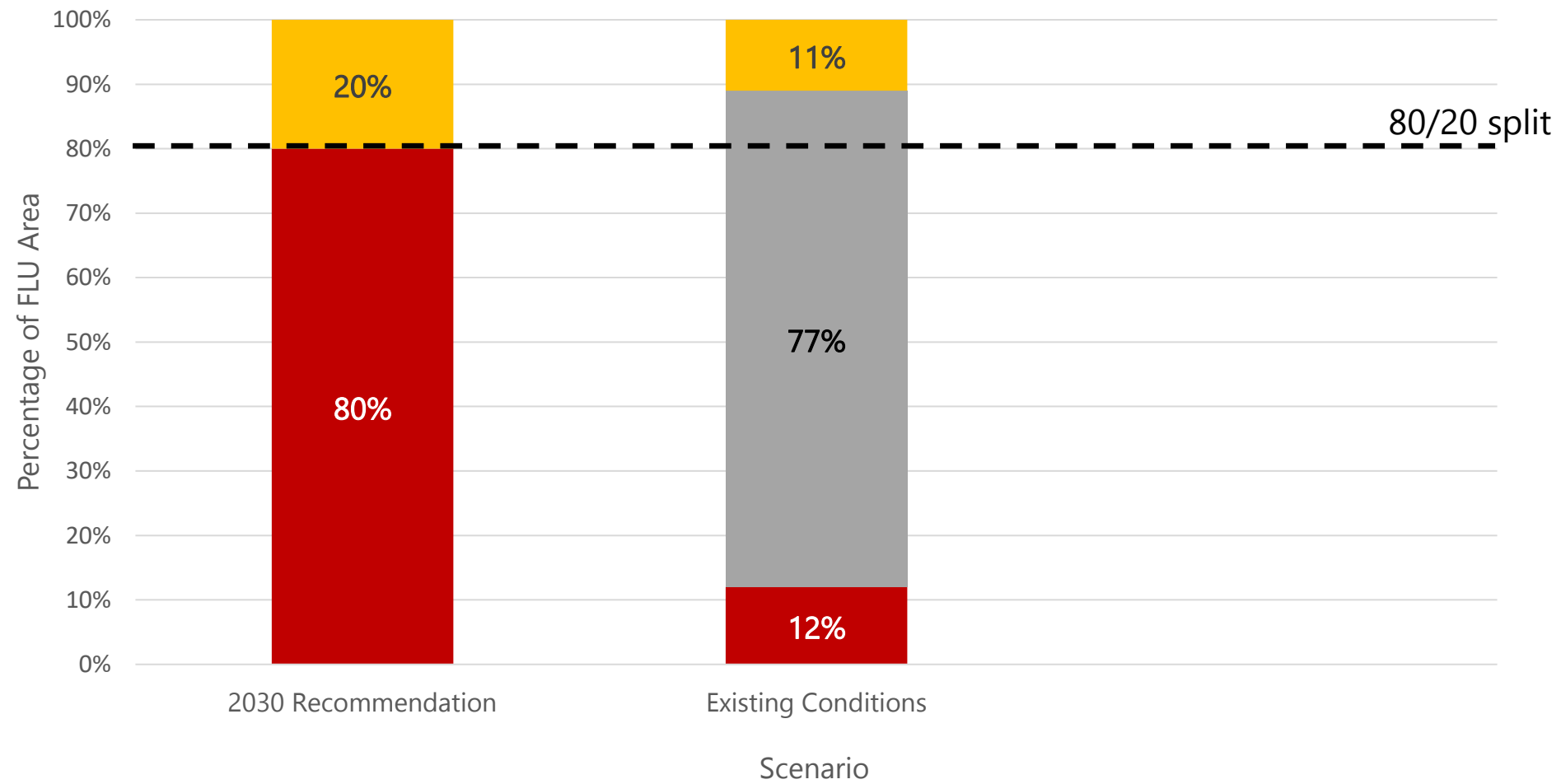
DUA: 14 or more

Target Ratio: 80%
nonresidential, 20% residential

Primary Use: Small to mid-size retailers

Secondary Uses: Medium and high density residential, local restaurants, specialty retailers, professional office, and civic uses

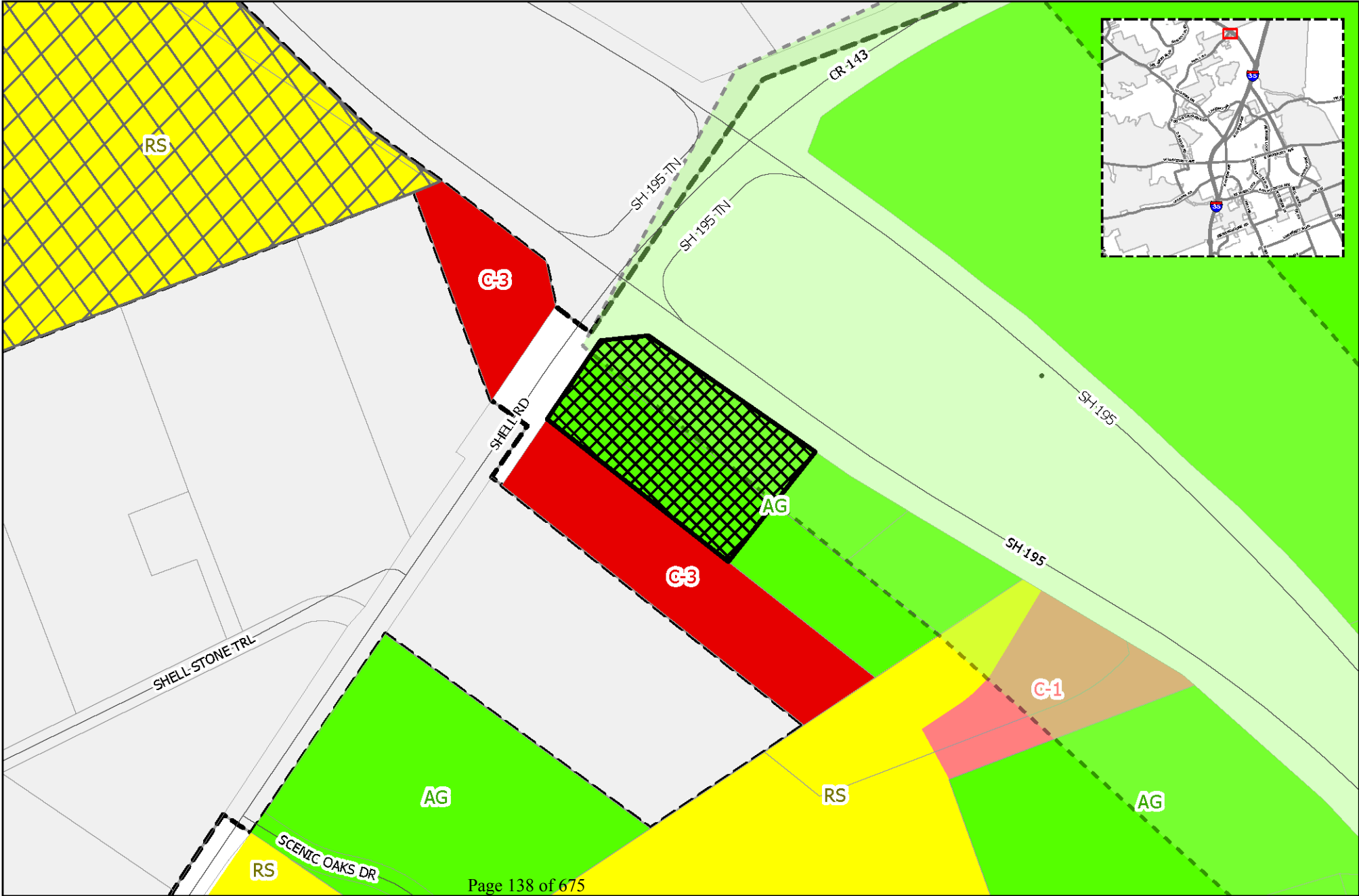
Land Use Ratios – Community Center



Total Area:
 141 acres
 100%

Area of Subject Property:
 4.7 acres
 3%

AG/Unentitled:
 108 acres
 76%

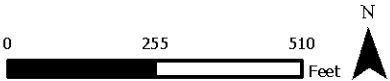


ZONING

2020-23-REZ

Exhibit #3

- Site
 - PUD
 - Courthouse View Overlay
 - Old Town Overlay
 - Historic Overlay
 - Downtown Overlay
 - SPO Overlay
 - Gateway Overlay
 - Parcels
- Zoning**
- AG - Agriculture
 - BP - Business Park
 - C-1 - Local Commercial
 - C-3 - General Commercial
 - CN - Neighborhood Commercial
 - IN - Industrial
 - MF-1 - Low-Density Multi-family
 - MF-2 - High-Density Multi-family
 - MH - Manufactured Housing
 - MU-DT - Mixed-Use Downtown
 - OF - Office
 - PF - Public Facility
 - RE - Residential Estate
 - RL - Residential Low-Density
 - RS - Residential Single-Family
 - TF - Two-Family
 - TH - Townhouse



General Commercial (C-3)

- Commercial and retail serving entire community
- May be large in scale and generate substantial traffic
- Appropriate along Arterials and Freeways

Dimensional Standards

- Max building height = 60'
- Front setback = 25'
- Side setback = 10'
- Rear setback = 10'
- Side setback to residential = 15'
- Rear setback to residential = 25'
- 15' bufferyard adjacent to RS

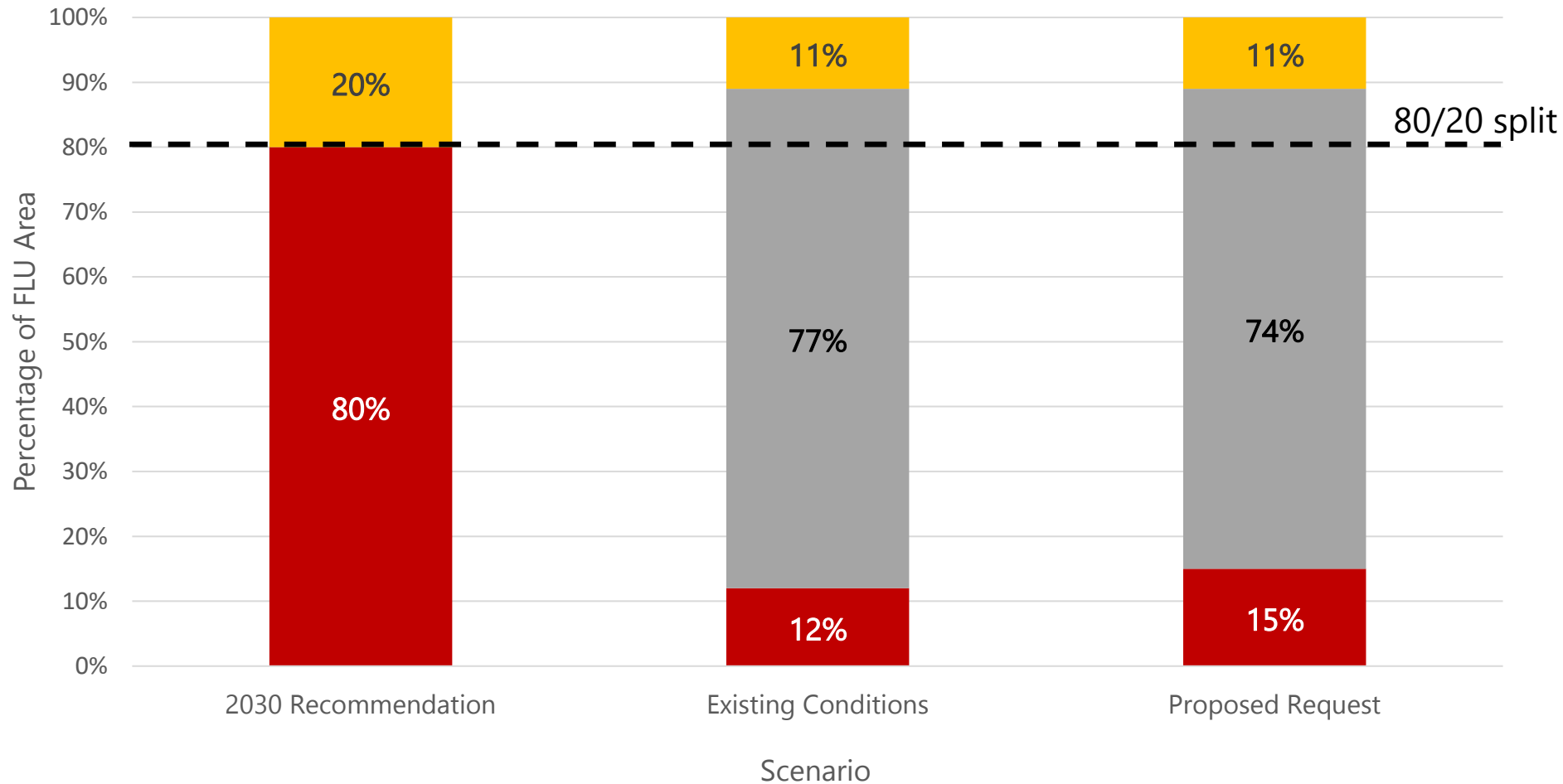
General Commercial (C-3)

| Permitted by Right | | Permitted with Limitations | Permitted with a SUP |
|---------------------------------------|--------------------------------------|---------------------------------------|--|
| Agricultural Sales | Integrated Office Center | Activity Center (youth/senior) | Auto. Parts Sales (outdoor) |
| Artisan Studio/Gallery | Landscape/Garden Sales | Athletic Facility, Indoor or Outdoor | Auto. Repair & Service, General |
| Assisted Living | Laundromat | Bar/Tavern/Pub | Auto. Sales, Rental, Leasing |
| Automotive Parts Sales (indoor) | Library/Museum | Business/Trade School | Bus Barn |
| Auto. Repair and Service, Limited | Medical Diagnostic Center | Church (with columbarium) | Cemetery, Columbaria, Mausoleum, or Memorial Park |
| Banking/Financial Services | Medical Office/Clinic/Complex | College/University | Correctional Facility |
| Blood/Plasma Center | Membership Club/Lodge | Commercial Recreation | Firing Range, Indoor |
| Car Wash | Nature Preserve/Community Garden | Community Center | Flea Market |
| Consumer Repair | Nursing/Convalescent/Hospice | Contractor Services, Limited | Fuel Sales with more than 10 multi-fuel dispensers |
| Dry Cleaning Service | Parking Lot (commercial/park-n-ride) | Dance Hall/Night Club | Hospital, Psychiatric |
| Emergency Services Station | Personal Services (inc. Restricted) | Data Center | Lumber Yard |
| Event Catering/Equipment Rental | Printing/Mailing/Copying Services | Day Care (group/commercial) | Major Event Entertainment |
| Farmer's Market | Private Transport Dispatch Facility | Driving Range | Manufactured Housing Sales |
| Fitness Center | Restaurant (general/drive-through) | Event Facility | Meat Market |
| Food Catering Services | Small Engine Repair | Fuel Sales | Multifamily Attached |
| Funeral Home | Social Service Facility | Heliport | Recreational Vehicle Sales, Rental, Service |
| General Retail | Surgery/Post Surgery Recovery | Kennel | Self-Storage (indoor or outdoor) |
| General Office | Theater (movie/live) | Live Music/Entertainment | Substance Abuse Treatment Facility |
| Government/Postal Office | Transit Passenger Terminal | Micro Brewery/Winery | Transient Service Facility |
| Home Health Care Services | Urgent Care Facility | Neighborhood Amenity Center | Wireless Transmission Facility (41'+) |
| Hospital | Utilities (minor/intermediate/major) | Office/Showroom | |
| Hotel/Inn/Motel (incl. extended stay) | Veterinary Clinic (indoor only) | Office/Warehouse | |
| | | Park (neighborhood/regional) | |
| | | Pest Control/Janitorial Services | |
| | | School (Elementary, Middle, High) | |
| | | Upper-story Residential | |
| | | Wireless Transmission Facility (<41') | |

Approval Criteria – UDC Section 3.06.030

| Criteria for Rezoning | Complies | Partially Complies | Does Not Comply |
|--|----------|--------------------|-----------------|
| The application is complete and the information contained within the application is sufficient and correct enough to allow adequate review and final action; | X | | |
| The zoning change is consistent with the Comprehensive Plan; | X | | |
| The zoning change promotes the health, safety or general welfare of the City and the safe orderly, and healthful development of the City; | X | | |

Land Use Ratios – Community Center



■ Nonresidential ■ AG/Unentitled ■ Residential

Page 142 of 675

| | |
|----------------------------------|------|
| <u>Total Area:</u> | |
| 141 acres | 100% |
| <u>Area of Subject Property:</u> | |
| 4.7 acres | 3% |
| <u>AG/Unentitled:</u> | |
| 108 acres | 76% |

Approval Criteria – UDC Section 3.06.030

| Criteria for Rezoning | Complies | Partially Complies | Does Not Comply |
|--|----------|--------------------|-----------------|
| The zoning change is compatible with the present zoning and conforming uses of nearby property and with the character of the neighborhood; and | X | | |
| The property to be rezoned is suitable for uses permitted by the district that would be applied by the proposed amendment. | X | | |

Public Notifications

- 10 property owners within the 300' buffer
- Notice in Sun News on November 15, 2020
- Signs posted on the property
- To date, staff has received:
 - 0 written comments IN FAVOR
 - 0 written comments OPPOSED



Planning & Zoning Commission Action

- At their December 1, 2020 meeting, the Planning & Zoning Commission recommended approval of the request (6-0).

First Reading of an Ordinance

- An Ordinance of the City Council of the City of Georgetown, Texas, amending part of the Official Zoning Map to rezone 4.658 acres being a part of Lots 1, 2 and 3, River Road Subdivision, and part of a 5-acre tract in the William Roberts Survey, Abstract 524, generally located south of the intersection SH 195 and Shell Road, the Agriculture (AG) zoning district to the General Commercial (C-3) zoning district; repealing conflicting ordinances and resolutions; including a severability clause; and establishing an effective date.

City of Georgetown, Texas
City Council Regular Meeting
January 12, 2021

SUBJECT:

Public Hearing and First Reading of an Ordinance on a request for a **Zoning Map Amendment** to **rezone** approximately **49.31 acres** out of the John Berry Survey, Abstract No 51, **from the Agriculture (AG) and Residential Single-Family (RS)** zoning districts **to the General Commercial (C-3)** zoning district (approximately 13.001 acres) and **High Density Multi-Family (MF-2)** zoning district (approximately 36.306 acres) for the property generally located at **2800 N IH 35** -- Sofia Nelson, CNU-A, Planning Director

ITEM SUMMARY:

Overview of the Applicant's Request:

The subject property is located along the SH-130 Toll road's interchange with the IH-35 northbound frontage road. The Applicant wishes to develop the property with a mix of commercial, office and high density residential uses. Consequently, the applicant is requesting to rezone approximately 13 acres along the SH 130 Toll road frontage into General Commercial (C-3) and the rear approximate 36-acre portion into High Density Multi-Family (MF-2).

Staff's Analysis:

Staff has reviewed the request in accordance with the Unified Development Code (UDC) and other applicable codes. Staff has determined that the proposed request complies with the criteria established in UDC Section 3.06.030 for a Zoning Map Amendment, as outlined in the attached Staff Report.

Public Comments:

As required by the Unified Development Code, all property owners and registered neighborhood associations within a 300-foot radius of the subject property were notified of the Zoning Map Amendment request (5 notices), a legal notice advertising the public hearing was placed in the Sun Newspaper (November 29, 2020) and signs were posted on-site. To date, staff has received 0 written comments in favor, and 0 in opposition to the request.

Planning and Zoning Commission Recommendation:

At their December 15, 2020 meeting, the Planning and Zoning Commission recommended approval (4-0) of the request.

FINANCIAL IMPACT:

None. The Applicant has paid the requires application fees.

SUBMITTED BY:

Andreina Dávila-Quintero, AICP, Current Planning Manager

ATTACHMENTS:

2020-26-REZ - P&Z Staff Report

Exhibit 1 - Location Map

Exhibit 2 - Future Land Use Map

Exhibit 3 - Zoning Map

Exhibit 4 - Development Standards and Permitted Uses of the C-3 and MF-2 districts

Exhibit 5 - Letter of Intent

Ordinance with Exhibits

Presentation



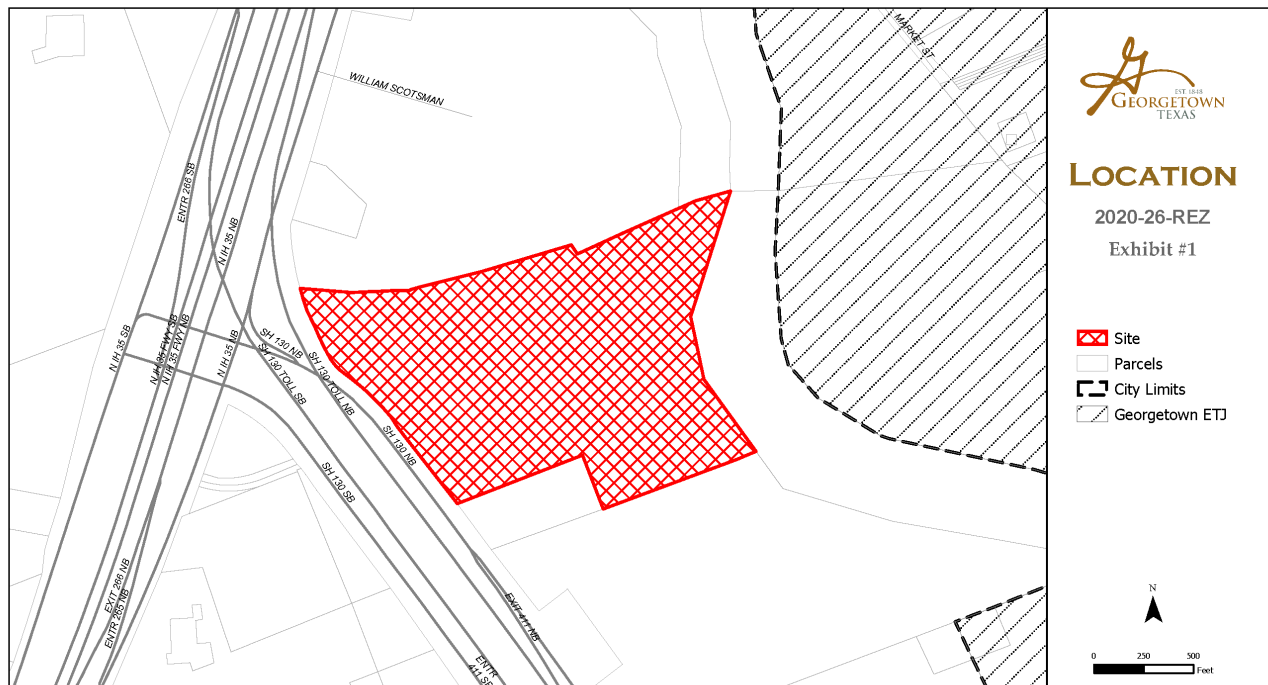
Planning and Zoning Commission

Planning Department Staff Report

Report Date: December 11, 2020
Case No: 2020-26-REZ
Project Planner: Andreina Dávila-Quintero, AICP, Current Planning Manager

Item Details

Project Name: Berry Creek Crossing
Project Location: 2800 N IH 35, within City Council district No. 7.
Total Acreage: 49.31 acres
Legal Description: 49.31 acres out of the John Berry Survey, Abstract No 51
Applicant: Athena Domain, Inc, c/o Rajeev Puri
Property Owner: Athena Domain, Inc, c/o Rajeev Puri
Request: Zoning Map Amendment to rezone the subject property from **Agriculture (AG)** and **Residential Single-Family (RS)** zoning districts to the **General Commercial (C-3)** zoning district (approximately 13.001 acres) and **High Density Multi-Family (MF-2)** zoning district (approximately 36.306 acres).
Case History: This is the first public hearing for this request.



Planning Department Staff Report

Future Land Use and Zoning Designations:

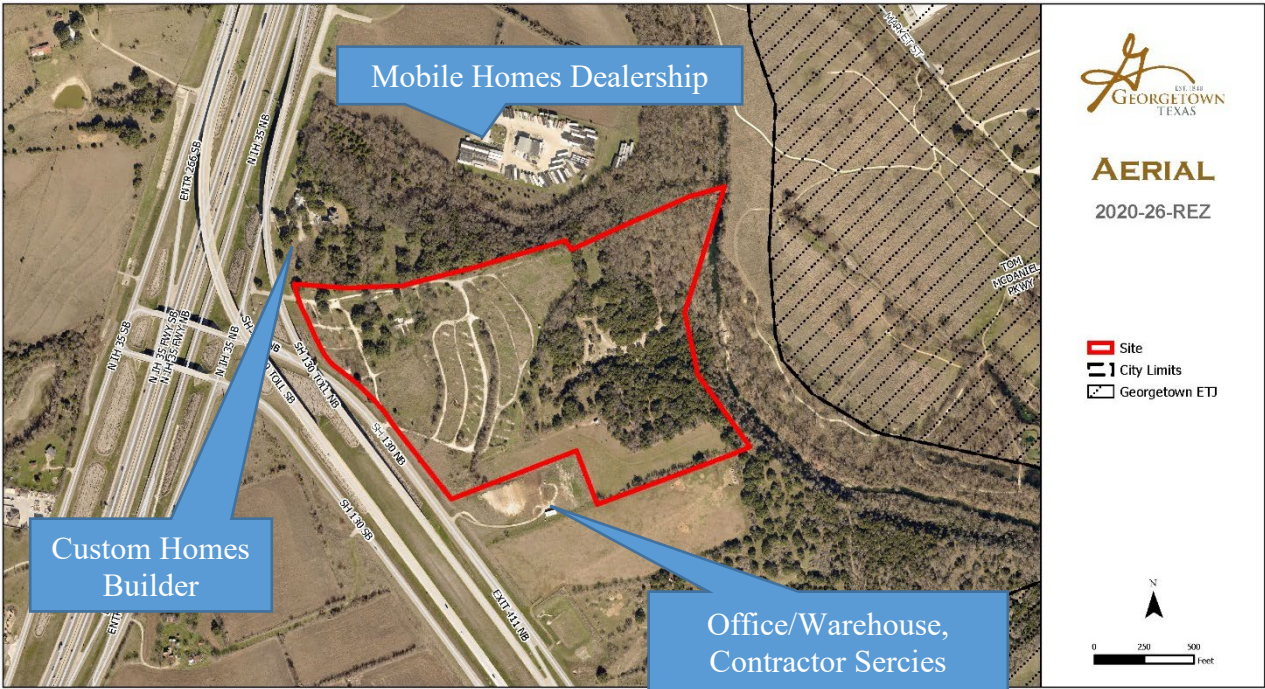
The subject property has primarily an Employment Center Future Land Use designation, with smaller portions designated within the Regional Center and Open Space Future Land Use designations. It is currently zoned Agriculture (AG) district (approximately 45.4 acres), Residential Single-Family (RS) district (approximately 3.8 acres), and Highway Gateway Overlay district.

Surrounding Properties:

The subject property is surrounded by undeveloped land that is entitled or envisioned for intense commercial, office and other employment-generating uses, as well as supporting high density residential uses. To the west of the SH 130 Toll and IH-35 interchange include an industrial park with manufacturing and warehousing uses, to the north is a mobile home dealership and custom home builder office, and to the south is a recently approved office/warehouse. The Berry Springs Park and Preserve is located to the east across from Berry Creek.

The current zoning, Future Land Use designation, and existing uses of the adjacent properties to the north, south, east and west are outlined in the table below:

| DIRECTION | ZONING DISTRICT | FUTURE LAND USE | EXISTING USE |
|-----------|--|-------------------|---|
| North | Agriculture (AG) and Highway Gateway Overlay | Regional Center | Mobile Home dealership |
| East | Residential Single-Family (RS) | Open Space | Spring and park |
| South | Agriculture (AG) and Industrial (IN) and Highway Gateway Overlay | Employment Center | Vacant, Office/Warehouse and Contractor Services (approved) |
| West | Agriculture (AG) and Highway Gateway Overlay | Regional Center | Vacant |



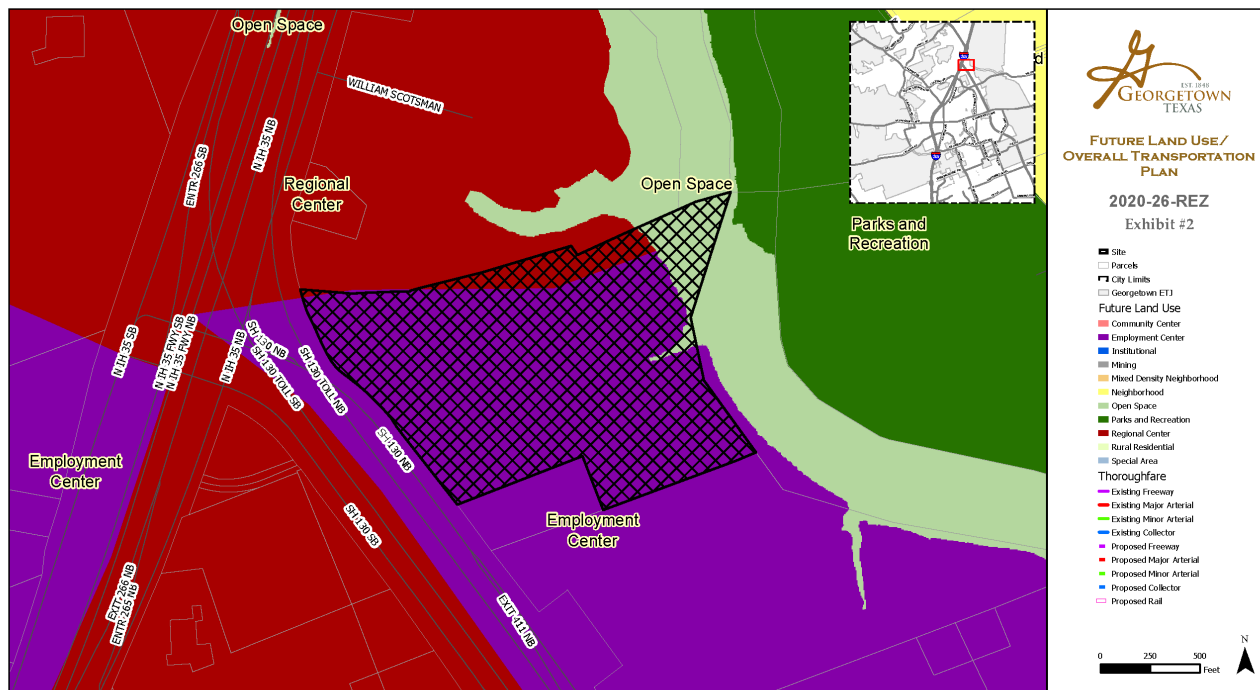
Planning Department Staff Report

Property History:

The rear, most eastern portion of the subject property was annexed in 1986 as part of a city initiative to annex portions of Berry Creek (Ord 86-64). Upon annexation, it was designated Residential Single-Family (RS), which was the default initial zoning district for newly annexed property at the time. The remaining portion was annexed in 2006 as part of a city-initiated large area annexation initiative (Ordinance 2006-120) and designated Agriculture (AG).

Comprehensive Plan Guidance

Future Land Use Map:



The subject property is primarily designated as Employment Center. Centers with employment-generating uses support heightened economic activity through quality architectural design and well-integrated supporting uses such as retail, restaurants. The inclusion of moderate to high density residential is appropriate as a supporting use to these areas of commerce and employment. Because these areas often act as a transition between more intensely developed industrial uses and residential neighborhoods, standards should be developed to ensure that development of these activities is compatible with the character of the surrounding area. Care should be taken to protect adjacent uses from adverse impacts potentially associated with existing industrial uses (commercial traffic, outside storage, etc.), using buffering and/or performance-based development standards.

DUA: 14 or more

Target Ratio: 80% nonresidential, 20% residential

Primary Use: Advanced manufacturing, life sciences, and professional services

Secondary Uses: Flex workspace, environmentally friendly manufacturing, retail, commercial, high-density residential, mixed-use

Planning Department Staff Report

Other portions of the subject property are also located within the Regional Center and Open Space Future Land Use designations.

Developments within the Regional Center may be configured as major shopping centers, standalone big-box retailers, or large-scale mixed-use developments, as well as supporting flex office space and office/warehouse development. These developments are typically automobile oriented with convenient access from major transportation routes and highway interchanges, however internal pedestrian connectivity is maximized and includes opportunities for pedestrian activity. Well integrated residential developments, which encourage the interaction of residents and businesses, are appropriate and vertical mixed use encouraged.

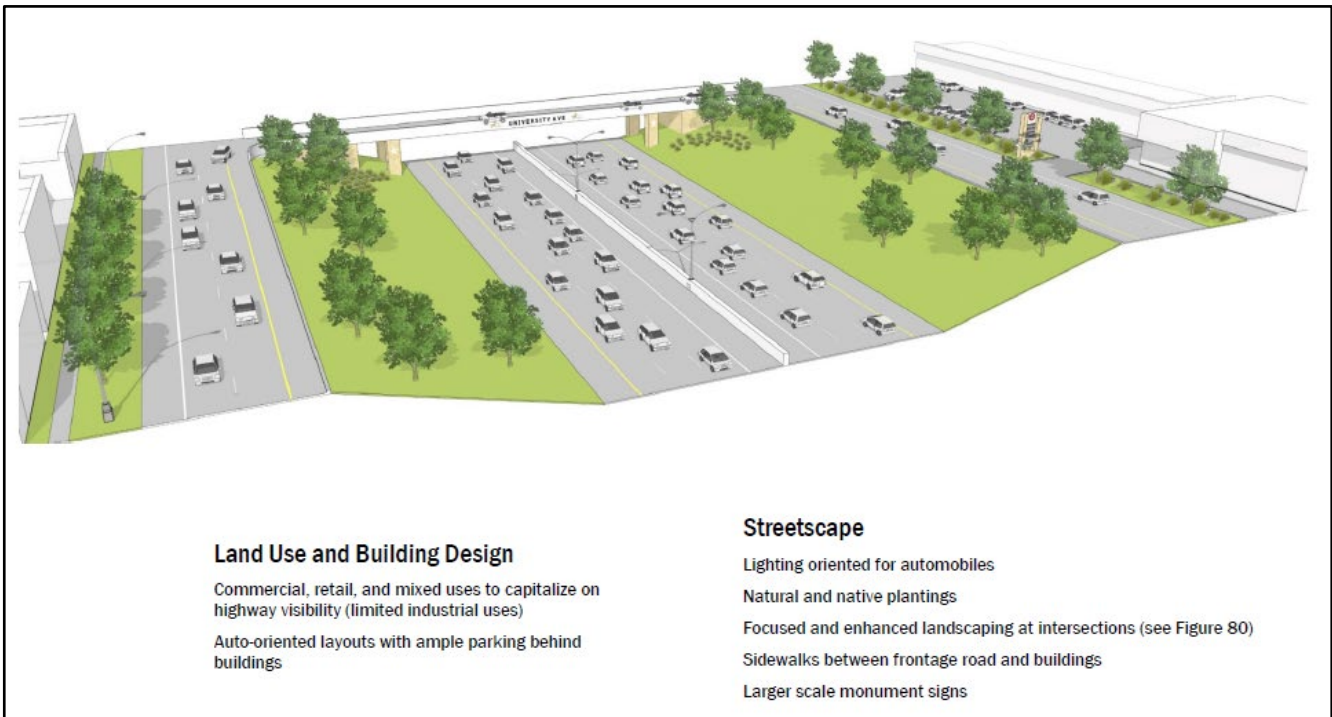
Floodplains and other natural or environmentally sensitive areas are preserved as open space. No development is anticipated in these areas.

DUA: 18 or more
Target Ratio: 75% nonresidential, 25% residential
Primary Use: Large retailers
Secondary Uses: Mixed use, high density residential, chain restaurants, specialty retailers, professional office, and civic uses

DUA: n/a
Target Ratio: 100% nonresidential
Primary Use: Parkland, trails, and other recreational amenities
Secondary Uses: n/a

Other Master Plans: Image Corridors

Due to its location along a freeway (SH 130 Toll and IH-35), the subject property is also located within the Highway Corridor, one of the Image Corridors adopted as part of the 2030 Plan Update.



Land Use and Building Design
Commercial, retail, and mixed uses to capitalize on highway visibility (limited industrial uses)
Auto-oriented layouts with ample parking behind buildings

Streetscape
Lighting oriented for automobiles
Natural and native plantings
Focused and enhanced landscaping at intersections (see Figure 80)
Sidewalks between frontage road and buildings
Larger scale monument signs

Planning Department Staff Report

Highway corridors are located along the City's major roadways with the highest traffic volumes and traffic speeds. Highway corridors include primarily auto-oriented, nonresidential development such as commercial, retail, office, and mixed-use to capitalize on highway visibility and access; however, industrial development is not appropriate within these corridors without significant screening and performance standards. Highway corridors are the most visible to residents and visitors and project a positive image of Georgetown.

Utilities

The subject property is located within the City's service area for water and wastewater. Additionally, a portion of the subject property is located within the Pedernales Electric Cooperative (PEC) and City of Georgetown dual service area, and the remaining portion within the PEC service area for electric. It is anticipated that there is adequate capacity to serve the subject property at this time. A Utility Evaluation may be required at time of Site Development Plan to determine capacity and any necessary utility improvements.

Transportation

The subject property is located along the SH 130 Toll and IH-35 northbound frontage roads. The frontage roads are designated Major Arterial, and the main roads as Freeways, per the City's Overall Transportation Plan (OTP).

Arterial streets provide traffic movement through and between different areas within the city and access to adjacent land uses. Access is more controllable because driveway spacing requirements are much greater and, if safety dictates, overall access can be limited to specific turning movements. Major Arterials connect major traffic generators and land use concentrations and serve much larger traffic volumes over greater distances.

Freeways and Tollways are controlled access roadways that allow for the movement of traffic through and around the City. This classification includes interstate highways, state highways, tollways and loops. Direct property access is limited as access is not the intended purpose of these facilities. Design characteristics of these facilities include multiple travel lanes, limited access points, high traffic volumes and high traffic speeds.

A Traffic Impact Analysis (TIA) will be required at time of Site Development Plan for any development that generates more than two thousand (2,000) average daily trips based upon the latest edition of the Institute of Transportation Engineers (ITE) Trip Generation Manual.

Proposed Zoning district

The General Commercial (C-3) zoning district is intended to provide a location for general commercial and retail activities that serve the entire community and its visitors. Uses may be large in scale and generate substantial traffic, making the C-3 District only appropriate along freeways and major arterials.

Permitted uses in this district include, but are not limited to, general retail, hotels, restaurants, and general office. Other uses such as activity center, bar/tavern/pub, college/university, fuel sales, and

Planning Department Staff Report

event facility among others are permitted subject to specific design limitations. Certain land uses, including automotive sales, rental or leasing facilities, require a Special Use Permit (SUP).

The High Density Multi-Family (MF-2) zoning district is intended for attached multifamily residential development, such as apartments and condominiums, at a density not to exceed 24 dwelling units per acre. The MF-2 District is appropriate in areas designated on the Future Land Use Plan as high density residential or one of the mixed-use categories. Properties zoned MF-2 should have direct access to major thoroughfares and arterial streets and should not route traffic through lower density residential areas. The MF District is appropriate adjacent to both residential and non-residential districts and may serve as a transition between single-family districts and more intense commercial districts.

Permitted uses in this district include, but are not limited to, attached multi-family, group homes (7-15 residents) and nursing/convalescent homes. Other uses such as churches, day care facilities, and neighborhood amenity centers, among others are permitted subject to specific design limitations. Certain land uses, including activity centers, bed and breakfasts, and halfway houses, require a Special Use Permit (SUP).

Exhibit 4 contains a comprehensive list of the General Commercial (C-3) and High Density Multi-Family (MF-2) districts permitted uses and development standards.

Intergovernmental and Interdepartmental Review

The proposed rezoning request was reviewed by all applicable City Departments to determine the appropriateness of the requested zoning on the subject property. No comments were issued regarding the zoning request.

Approval Criteria

Staff has reviewed the proposed rezoning request and has found that it complies with the criteria established in UDC Section 3.06.030 for a Zoning Map Amendment, as outlined below:

| ZONING MAP AMENDMENT (REZONING) APPROVAL CRITERIA | |
|--|-----------------|
| 1. The application is complete and the information contained within the application is sufficient and correct enough to allow adequate review and final action. | Complies |
| An application must provide the necessary information to review and make a knowledgeable decision in order for staff to schedule an application for consideration by the Planning and Zoning Commission and City Council. This application was reviewed by staff and deemed to be complete. | |
| 2. The zoning change is consistent with the Comprehensive Plan. | Complies |
| The subject property is located at the intersection of two freeways (SH 130 Toll and IH-35) that is primarily surrounded by large undeveloped tracts of land. Because of its location and frontage on major thoroughfares that provide access to other parts of the city and greater region, the area surrounding this intersection is envisioned to be developed with large, intense commercial, office, industrial and other job-generating uses, as well as supporting high density residential uses. Consequently, this area has been designated Employment Center and Regional Center future land | |

ZONING MAP AMENDMENT (REZONING) APPROVAL CRITERIA

use categories.

Within the Employment Center category, which is the most predominant designation for the subject property, one of the primary uses envisioned include professional services, with flex workspace, retail and other commercial uses, and high density residential (minimum of 14 dwelling units an acre) as secondary uses. The Regional Center category, which covers a small portion of this property and the areas to the northwest and south, encourages large retailers, professional offices, civic uses and supporting high density residential (minimum of 18 dwelling units an acre) uses.

The requested General Commercial (C-3) zoning district allows these types of uses including personal services, professional offices, retail, office/warehouse and data centers. The requested Multi-Family (MF-2) zoning district allows for high density residential at a maximum density of 24 dwelling units an acre, which is in line of the density envisioned by this category. When looking at the recommended non-residential (80%) to residential (20%) ratio for the Employment Center category, which constitutes of approximately 200 acres, the requested zoning districts would bring this area closer to the ratio envisioned, as shown in the breakdown below:

| Employment Center Future Land Use Category | | | | |
|--|---------------------|------------|---------------------|------------|
| Land Use | Existing Conditions | | Proposed Conditions | |
| | Acres | Percentage | Acres | Percentage |
| Non-Residential | 4.1 | 2 | 17.1 | 9 |
| Residential | 8.7 | 4 | 37.3 | 19 |
| Agriculture/Unentitled | 186.8 | 94 | 145.2 | 73 |
| <i>Total</i> | <i>200</i> | <i>100</i> | <i>200</i> | <i>100</i> |

The permitted uses with the requested zoning districts and resulting ratio make this request in line with the vision for the area. In addition, while located on the other side of the freeways, it is important to note that property surrounding this intersection have been entitled and in the process of being developed with industrial parks, manufacturing businesses, contractor services and large retailers. Due to the large amount of non-residential uses that are being sought in the area, the requested multi-family zoning district would not only accommodate the supporting residential uses for the Employment Center category, but also support the non-residential uses surrounding it. Looking at this intersection as a whole, the requested mix of zoning districts would help achieve a mix of residential, commercial, and employment uses (LU.1). In addition, with the commercial district proposed along the roadways, the request would also strengthen Georgetown's image and quality feel within enhanced gateways and commercial corridor (LU.7).

3. The zoning change promotes the health, safety or general welfare of the City and the safe orderly, and healthful development of the City.

Complies

The Agriculture (AG) zoning on the subject property and the surrounding area was established when the property was incorporated into the city limits in 2006. The initial zoning of Agriculture (AG) is meant to be a holding district, or transitional district, until the area begins to develop. In addition, the subject property is perfectly situated at the interchange of IH 35 and SH 130 to

ZONING MAP AMENDMENT (REZONING) APPROVAL CRITERIA

provide convenient vehicular access and access to other parts of the city and region. Due to the unique conditions of the area, property surrounding this intersection have been developing with manufacturing, contractor services and office/warehouse uses, as well as large retail uses. It would be expected that as the surrounding area continues to develop it would be with development that is compatible with the proposed General Commercial (C-3) and High Density Multi-Family (MF-2) zoning districts, and envisioned in the Employment Center and Regional Center designations of the area.

4. The zoning change is compatible with the present zoning and conforming uses of nearby property and with the character of the neighborhood.

Complies

The subject property is primarily surrounded by undeveloped tracts of land that have retained the initial zoning designation of Agriculture (AG) from when they were annexed in 2006. The property southeast along SH 130 Toll was recently rezoned to Industrial (IN) to accommodate an office/warehouse and contractor services uses on the property. The General Commercial (C-3) zoning district is compatible and appropriate next to Industrial (IN) zoning district as it can often be used as a transition or buffer district from less intense commercial and residential uses.

5. The property to be rezoned is suitable for uses permitted by the District that would be applied by the proposed amendment.

Complies

The size and requested acreage for each zoning district is sufficient to accommodate any of the uses permitted in the General Commercial (C-3) and High Density Multi-Family (MF-2) zoning districts, and in compliance with the zoning standards including setbacks, bufferyards, impervious cover, parking and landscaping.

Based on the findings listed above, the requested zoning districts are found to be appropriate for the subject property and area. The development pattern that has occurred on the area surrounding the SH 130 Toll and IH 35 intersection has been primarily non-residential uses consisting of large intense commercial and industrial uses. The requested General Commercial (C-3) and High Density Multi-Family (MF-2) would provide for commercial uses along one of the City's image and gateway corridors of the city, as well as supporting high density residential uses to support the non-residential development within the Employment Center and adjacent Regional Center in line with the City's vision for this area.

Meetings Schedule

December 15, 2020 – Planning and Zoning Commission

January 12, 2021 – City Council First Reading of the Ordinance

January 26, 2021 – City Council Second Reading of the Ordinance

Public Notification

As required by the Unified Development Code, all property owners and registered neighborhood associations within a 300-foot radius of the subject property were notified of the Zoning Map Amendment request (5 notices), a legal notice advertising the public hearing was placed in the Sun

Planning Department Staff Report

Newspaper (November 29, 2020) and signs were posted on-site. To date, staff has received 0 written comments in favor, and 0 in opposition to the request.

Attachments

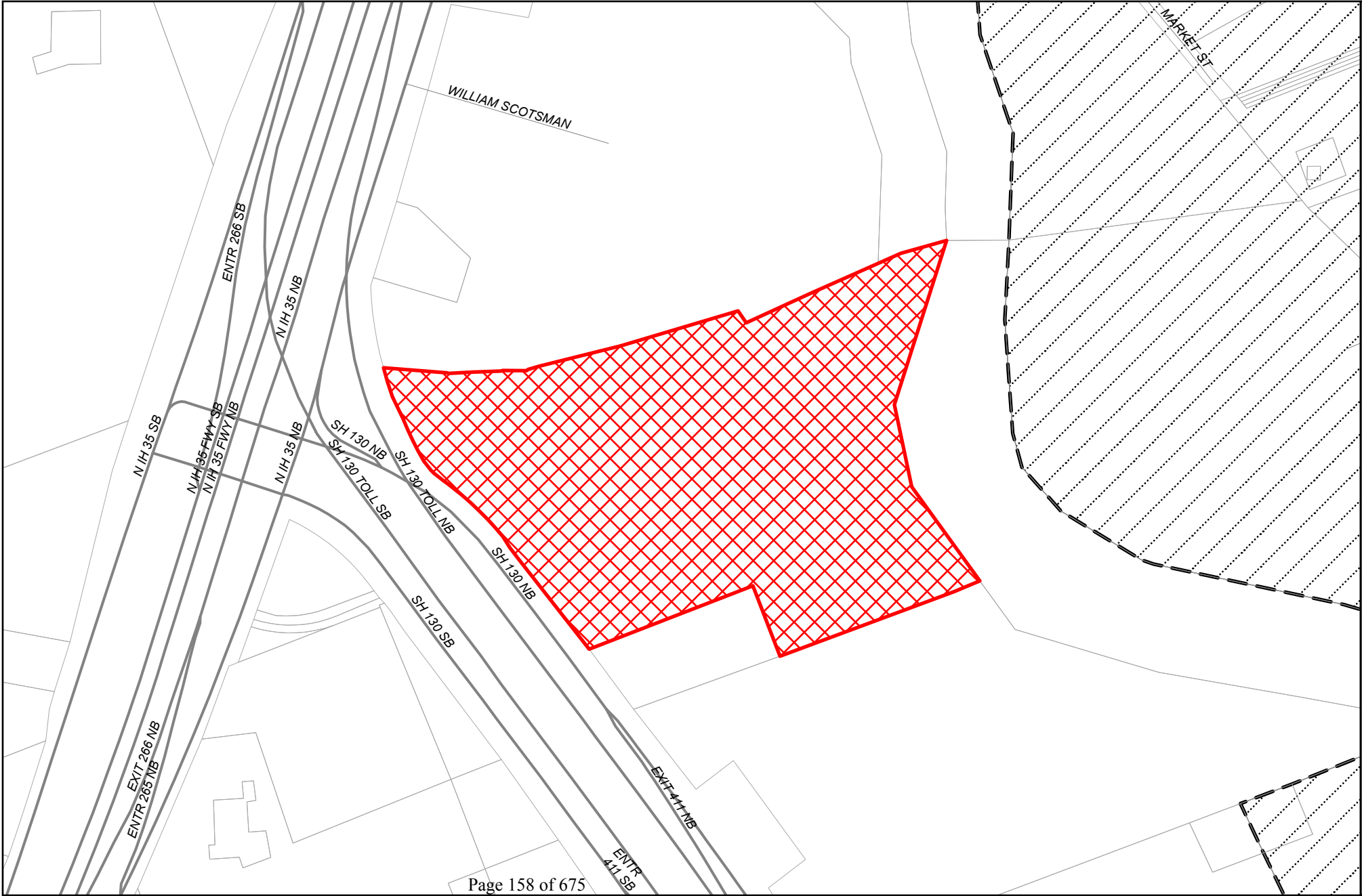
Exhibit 1 – Location Map

Exhibit 2 – Future Land Use Map

Exhibit 3 – Zoning Map

Exhibit 4 – Design and development standards of the General Commercial (C-3) and High Density Multi-Family (MF-2) zoning districts.

Exhibit 5 – Letter of Intent



LOCATION

2020-26-REZ

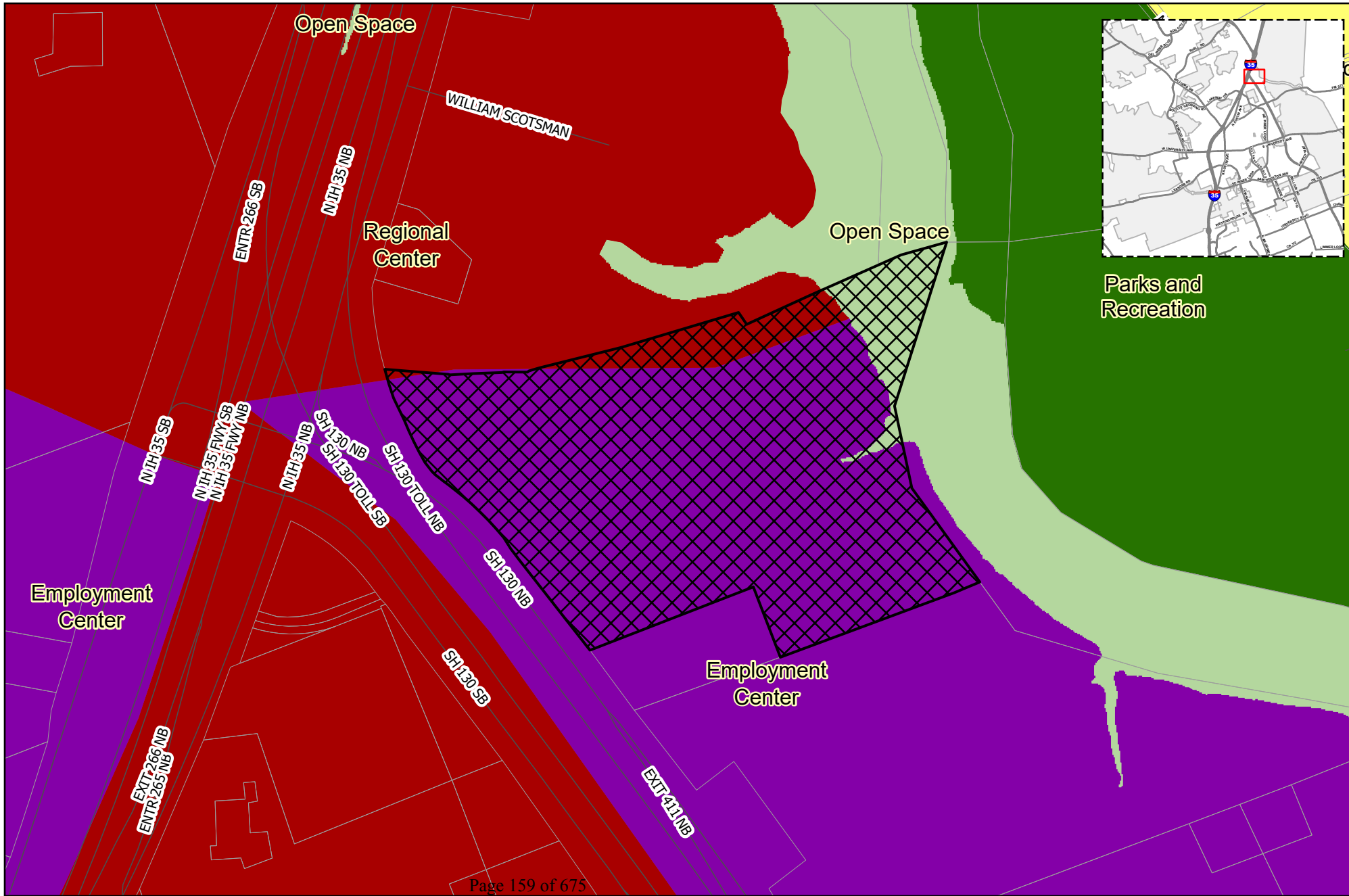
Exhibit #1

-  Site
-  Parcels
-  City Limits
-  Georgetown ETJ

N



0 250 500 Feet

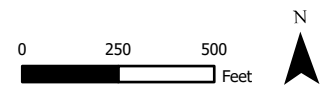


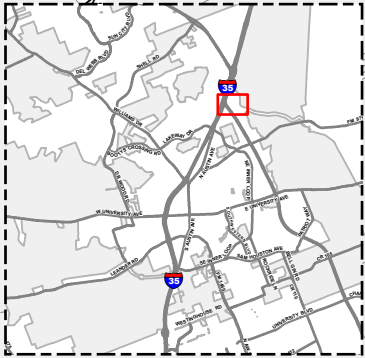
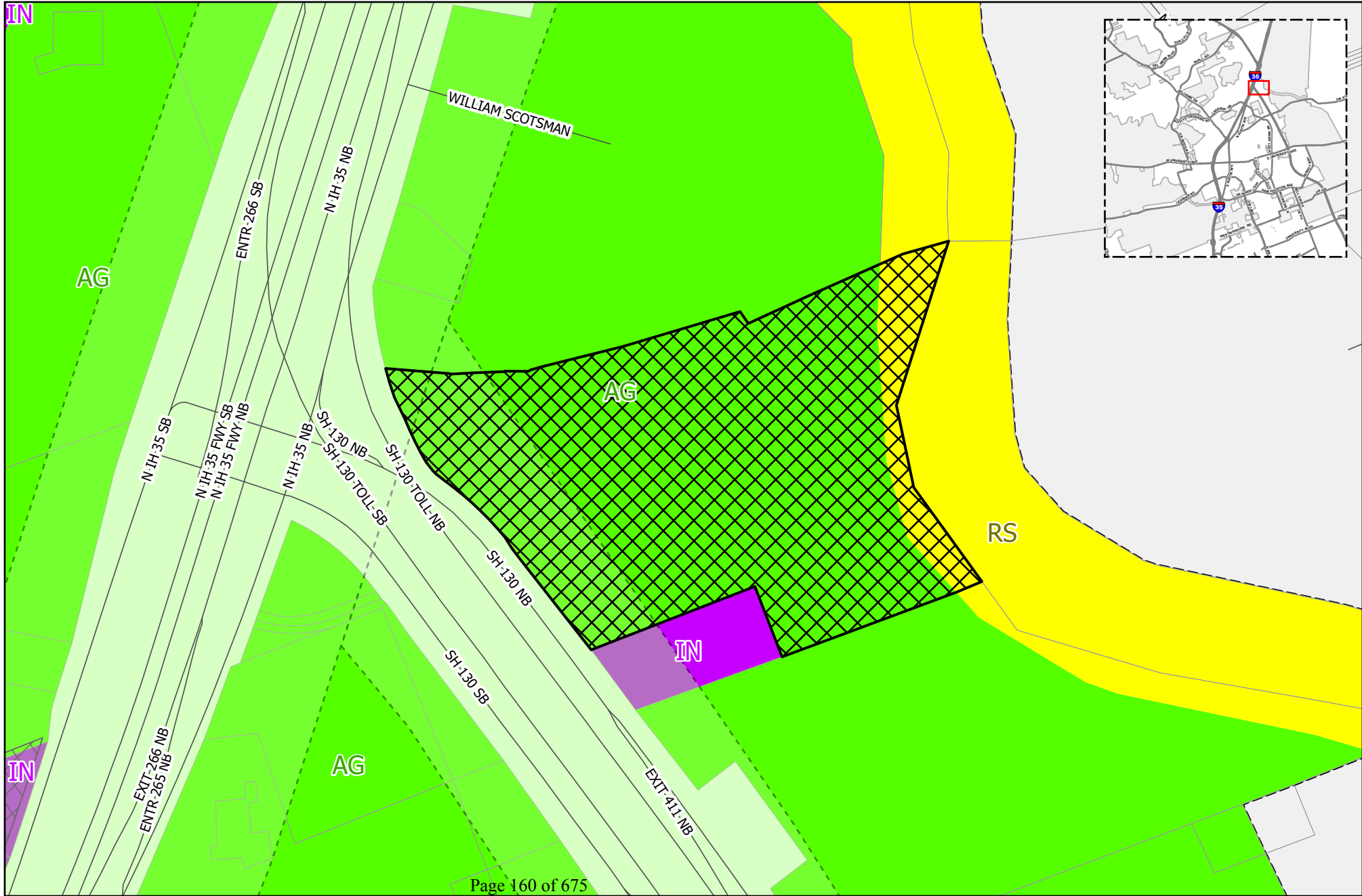
**FUTURE LAND USE/
OVERALL TRANSPORTATION
PLAN**

2020-26-REZ

Exhibit #2

- Site
- Parcels
- ▬ City Limits
- ▬ Georgetown ETJ
- Future Land Use**
 - Community Center
 - Employment Center
 - Institutional
 - Mining
 - Mixed Density Neighborhood
 - Neighborhood
 - Open Space
 - Parks and Recreation
 - Regional Center
 - Rural Residential
 - Special Area
- Thoroughfare**
 - Existing Freeway
 - Existing Major Arterial
 - Existing Minor Arterial
 - Existing Collector
 - Proposed Freeway
 - Proposed Major Arterial
 - Proposed Minor Arterial
 - Proposed Collector
 - Proposed Rail





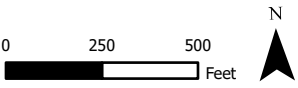
ZONING

2020-26-REZ

Exhibit #3

- Site
- PUD
- City Limits
- Courthouse View Overlay
- Old Town Overlay
- Historic Overlay
- Downtown Overlay
- SPO Overlay
- Gateway Overlay
- Parcels
- Georgetown ETJ

- Zoning**
- AG - Agriculture
 - BP - Business Park
 - C-1 - Local Commercial
 - C-3 - General Commercial
 - CN - Neighborhood Commercial
 - IN - Industrial
 - MF-1 - Low-Density Multi-family
 - MF-2 - High-Density Multi-family
 - MH - Manufactured Housing
 - MU-DT - Mixed-Use Downtown
 - OF - Office
 - PF - Public Facility
 - RE - Residential Estate
 - RL - Residential Low-Density
 - RS - Residential Single-Family
 - TF - Two-Family
 - TH - Townhouse



General Commercial (C-3) District

| District Development Standards | | |
|---|---------------------------------------|--|
| Maximum Building Height = 60 feet | Side Setback = 10 feet | Bufferyard = 15 feet with plantings |
| Front Setback = 25 feet | Side Setback to Residential = 15 feet | adjacent to AG, RE, RL, RS, TF, MH, |
| (0 feet for build-to/downtown) | Rear Setback = 10 feet | MF-1, or MF-2 districts |
| | Rear Setback to Residential = 25 feet | |
| Specific Uses Allowed within the District | | |
| Allowed by Right | Subject to Limitations | Special Use Permit (SUP) Required |
| Agricultural Sales | Activity Center (youth/senior) | Auto. Parts Sales (outdoor) |
| Artisan Studio/Gallery | Athletic Facility, Indoor or Outdoor | Auto. Repair & Service, General |
| Assisted Living | Bar/Tavern/Pub | Auto. Sales, Rental, Leasing |
| Automotive Parts Sales (indoor) | Business/Trade School | Bus Barn |
| Auto. Repair and Service, Limited | Church (with columbarium) | Cemetary, Columbaria, Mausoleum, or Memorial Park |
| Banking/Financial Services | College/University | Correctional Facility |
| Blood/Plasma Center | Commercial Recreation | Firing Range, Indoor |
| Car Wash | Community Center | Flea Market |
| Consumer Repair | Contractor Services, Limited | Fuel Sales with more than 10 multi-fuel dispensers |
| Dry Cleaning Service | Dance Hall/Night Club | Hospital, Psychiatric |
| Emergency Services Station | Data Center | Lumber Yard |
| Event Catering/Equipment Rental | Day Care (group/commercial) | Major Event Entertainment |
| Farmer's Market | Driving Range | Manufactured Housing Sales |
| Fitness Center | Event Facility | Meat Market |
| Food Catering Services | Fuel Sales | Multifamily Attached |
| Funeral Home | Heliport | Recreational Vehicle Sales, Rental, |
| General Retail | Kennel | Self-Storage (indoor or outdoor) |
| General Office | Live Music/Entertainment | Substance Abuse Treatment Facility |
| Government/Postal Office | Micro Brewery/Winery | Transient Service Facility |
| Home Health Care Services | Neighborhood Amenity Center | Wireless Transmission Facility (41'+) |
| Hospital | Office/Showroom | |
| Hotel/Inn/Motel (incl. extended stay) | Office/Warehouse | |
| Integrated Office Center | Park (neighborhood/regional) | |
| Landscape/Garden Sales | Pest Control/Janitorial Services | |
| Laundromat | School (Elementary, Middle, High) | |
| Library/Museum | Upper-story Residential | |
| Medical Diagnostic Center | Wireless Transmission Facility (<41') | |
| Medical Office/Clinic/Complex | | |
| Membership Club/Lodge | | |
| Nature Preserve/Community Garden | | |
| Nursing/Convalescent/Hospice | | |
| Parking Lot (commercial/park-n-ride) | | |
| Personal Services (inc. Restricted) | | |
| Printing/Mailing/Copying Services | | |
| Private Transport Dispatch Facility | | |
| Restaurant (general/drive-through) | | |
| Small Engine Repair | | |
| Social Service Facility | | |
| Surgery/Post Surgery Recovery | | |
| Theater (movie/live) | | |
| Transit Passenger Terminal | | |
| | Allowed by Right (continued) | |
| | Urgent Care Facility | |
| | Utilities (Minor/Intermediate/Major) | |
| | Veterinary Clinic (indoor only) | |

High Density Multifamily (MF-2) District

| District Development Standards | | |
|---|---------------------------------------|---|
| Maximum Density = 24 units/acre | Front Setback = 25 feet | Bufferyard = 15 feet with plantings adjacent to RE, RL, RS,TF, or MH districts; 10 feet with plantings adjacent to residences in AG |
| Maximum Building Height = 45 feet | Side Setback = 15 feet | |
| Maximum Units per Building = 24* | Side Setback to Residential = 30 feet | |
| Minimum Lot Size = 2 acres | Rear Setback = 15 feet | |
| Minimum Lot width = 50 feet | Rear Setback to Residential = 30 feet | |
| | Side/Rear Street Setback = 20 feet | *Can be waived if the building design meets the criteria of Sec. 6.02.090.C. |
| | Unloaded Street Setback = 20 feet | |
| Specific Uses Allowed within the District | | |
| Allowed by Right | Subject to Limitations | Special Use Permit (SUP) Required |
| Assisted Living | Church (with columbarium) | Activity Center (youth/senior) |
| Group Home (7-15 residents) | Day Care (family/group/commercial) | Bed and Breakfast (with events) |
| Multifamily Attached | Golf Course | Emergency Services Station |
| Nursing/Convalescent Home | Nature Preserve/Community Garden | Group Home (16+ residents) |
| Orphanage | Neighborhood Amenity Center | Halfway House |
| Rooming/Boarding House | Park (Neighborhood) | School (Middle) |
| Utilities (Minor) | School (Elementary) | Student Housing |
| | Utilities (Intermediate) | |
| | Wireless Transmission Facility (<41') | |

October 26, 2020

City of Georgetown
Planning Department
406 W 8th St
P.O. Box 1458
Georgetown, Texas 78627

Letter of Intent: 2800 N IH 35, Georgetown, TX 78626 – Crossing at Berry Creek

To Planning Manager:

IH35 SH130, LP is submitting this Letter of Intent to accompany its request for a Zoning Map Amendment (Rezoning) in accordance with UDC Section 3.06 for its property at the North East Corner of IH35 and SH 130. The property's address is 2800 N IH35, Georgetown, TX and is legally known as 49.31 acres of land, more or less, out of the John Berry Survey, A-51, Williamson County, TX as described in more detail in the attached Exhibit A (the "Property").

We recognize that under UDC 3.06.030, the City Council shall consider the following approval criteria for zoning changes:

- A. The application is complete and the information contained within the application is sufficient and correct enough to allow adequate review and final action;
- B. The zoning change is consistent with the Comprehensive Plan;
- C. The zoning change promotes the health, safety or general welfare of the City and the safe orderly, and healthful development of the City;
- D. The zoning change is compatible with the present zoning and conforming uses of nearby property and with the character of the neighborhood; and
- E. The property to be rezoned is suitable for uses permitted by the district that would be applied by the proposed amendment.

In this letter of intent, we will attempt to provide facts, rationale, and intent to support our case of the Zoning Map Amendment.

- A. Application Completeness. The application contains the following documents:
 - a. Property Owner's Consent Form
 - b. Letter of intent (this document)
 - c. Location Map (Exhibit B)
 - d. Field Notes for the two zoning districts being requested for the property

- B. Zoning change consistent with Comprehensive Plan.

The current zoning for the Property is primarily AG (Agriculture) with a small portion along Berry Creek zoned as RS (Residential Single Family). Please see Figure 1 below that shows the Property is a red outline at the north east corner of IH35 and SH 130.

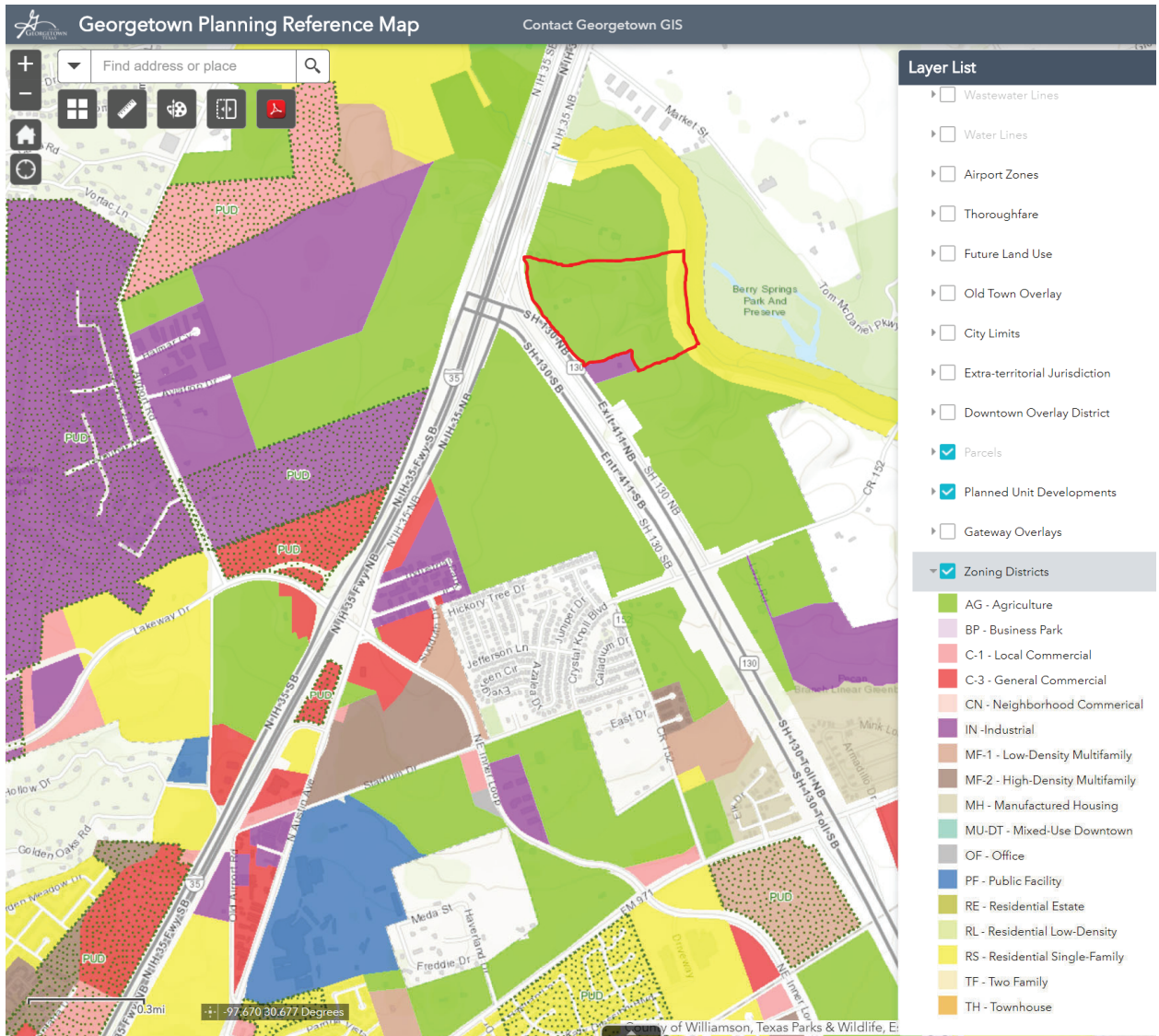


Figure 1: The Property is positioned on the NE corner of IH 35 and SH 130.

The future land use for the property and the surrounding area under the Comprehensive plan is designated to be Regional Centers (RC) and Employment Center (EC) (see Figure 2 below from the Comprehensive Plan).

- Regional Center's primary use is large retailers with secondary uses as mixed-use, high density residential, chain restaurants, specialty retailers, professional office, and civic uses.
- Employment Center's primary use is advanced manufacturing, life sciences, and profession services and secondary uses are flex workspaces, environmentally friendly manufacturing, retail, commercial, high-density residential and mixed-use.

Figure 44. Future Land Use Map

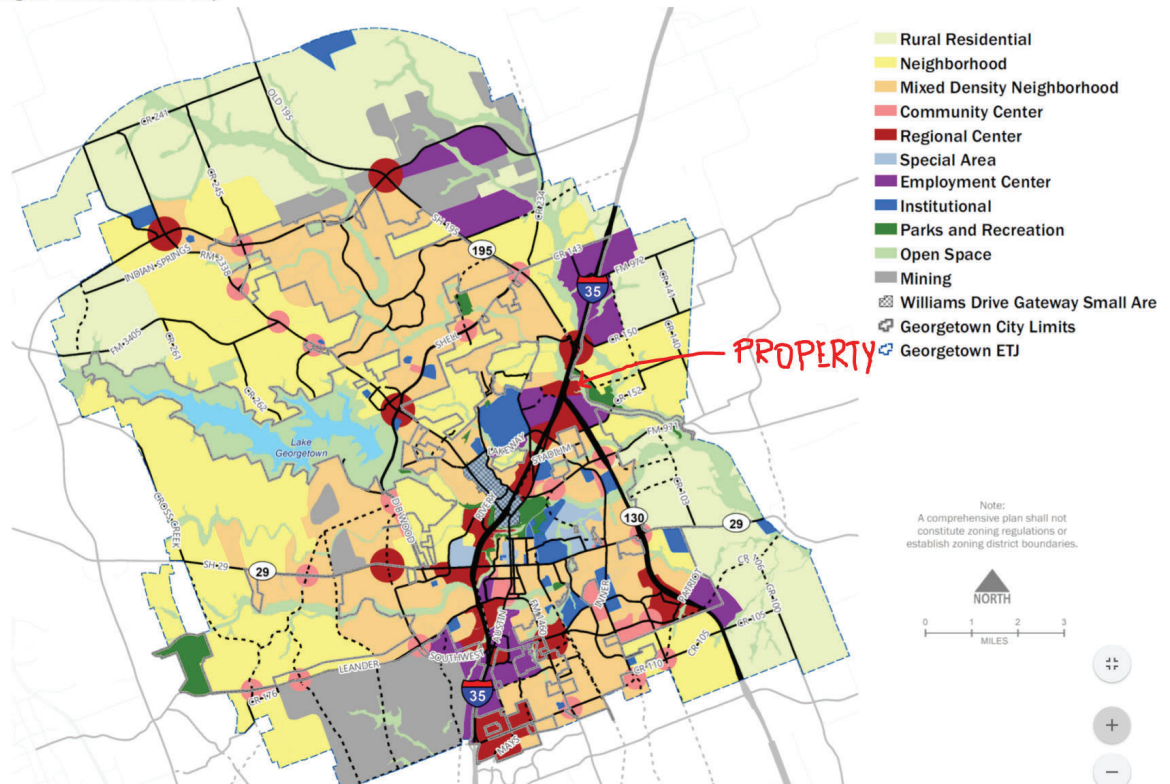


Figure 2: The Future Land Use Map shows the Property and surrounding areas proposed for Regional Center and Employment Center

Our request for Zoning Map Amendment includes the following:

- Approximately 13 acres of C-3 (General Commercial), where we intent to develop the Property with a mix of uses including retail, restaurant, flex office, hotel, etc.
- Approximately 36.31 acres (including about 10 acres of flood plain and regional detention/water quality) of MF-2 (High Density Multifamily), where we intent to develop high density residential. Approximately 7 acres of the 36.31 acres of MF-2 is currently flood plain and approximately 3 acres shall be used for water quality/detention for the whole site.

Both of the proposed zoning districts are compatible with the Comprehensive Plan. In addition, because of the location of the property at the intersection of two high traffic highways, this development plan will provide convenience services to Georgetown residents and visitors. And due to the adjacent Berry Creek and Berry Springs Park, the back part of the property shall be a very attractive area for people to live and enjoy the outdoor amenities.

C. Zoning change promotes the health, safety, general welfare of the city.

The site and the surrounding areas are currently largely undeveloped (see Figure 3 below), however, the following characteristics make the Property very UNIQUE:

- The Property is at the intersection of two main highways – IH35 and SH 130 and backs up to Berry Creek and Berry Springs Park and Preserve (making it extremely unique)
- The Property is in the growth path and is a gateway to Georgetown

- The Property's topography provides a flat top along the highways with significant drop and 100+ year Pecan trees and Oak trees in the back near Berry Creek.

These unique characteristics create a unique opportunity to develop this property in a mixed-use manner we are planning, where the commercial activity will be concentrated near the highways at the front and the high density residential will promote the health, safety and general welfare for the city in the back and create connectivity to the Berry Springs Park and Preserve. We do not believe commercial development near the creek or park will be appropriate or conducive to City's objectives for development in this area (see Figure 4 below for topo map). In addition, if commercial or industrial development is attempted at the back of the property, it will destroy the natural beauty and large heritage trees.

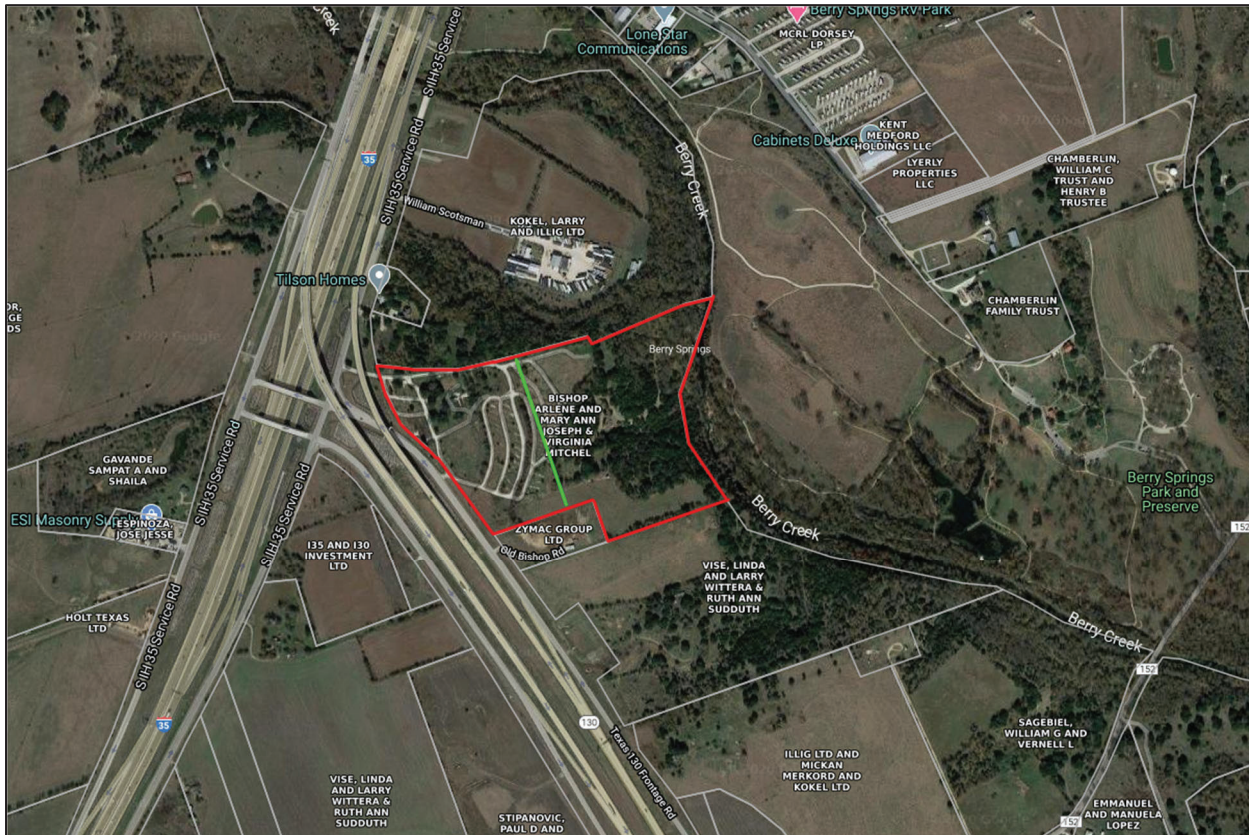


Figure 3: The ariel map of the Property and surrounding area shows the area is largely undeveloped.

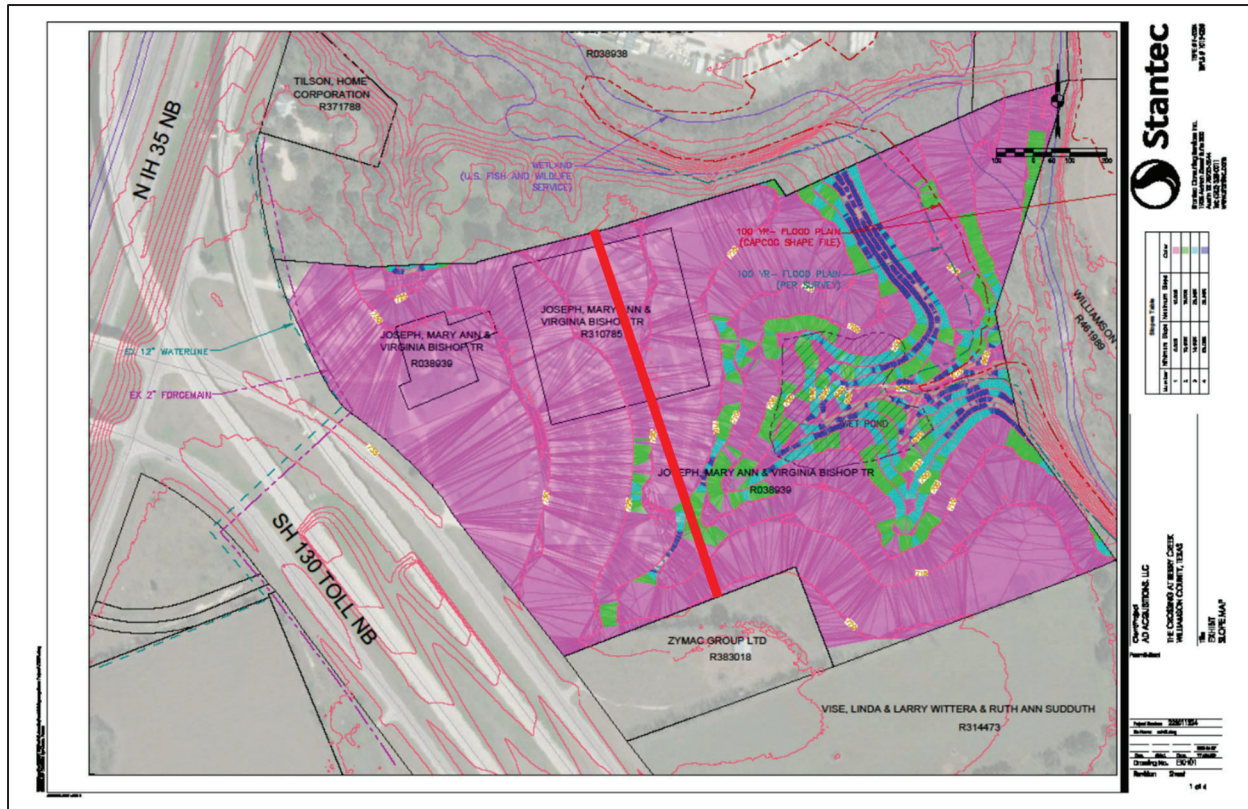


Figure 4: This topo map of the property shows significantly higher topo in the back. Purple area is 0-10% topo, with green and purple being higher.

D. Zoning change is compatible with the present zoning and conforming uses of nearby property

Since most of the surrounding property is undeveloped, there are no conflicts to the proposed rezoning request. The proposed zoning is compatible with the future land use. Our understanding is that several tracts around the property are being developed for commercial and industrial/manufacturing uses, which would conform to the proposed development. See Figure 5 below for a picture of the property from the highway and Figure 6 below for a picture near Berry Creek in the back. A high density of mature Oak and Pecan trees, challenging topography scattered throughout, drainage, floodplain, Berry Creek frontage and access to Berry Springs Park and Preserve in the back create a beautiful back drop for high density residential.



Figure 5: This picture shows the Property near the highways – fairly flat and select trees



Figure 6: This picture of the Property at the back near Berry Creek shows the density of trees and natural beauty.

E. Rezoning is suitable for uses permitted by the district requested

The rezoning requests of General Commercial and high density residential are completely suitable for uses permitted by the district request. We believe that our request zoning embraces the natural characteristics and diversity of the site and will add to the pride of thoughtful development in Georgetown.

If you have any questions about this project, then please contact Rajeev Puri at IH35 SH130, LP at 646 331-4549 or 210-698-3004.

Sincerely,

A handwritten signature in cursive script that reads "Rajeev Puri".

Rajeev Puri
Manager, IH35 SH130 GP, LLC
GP of IH35 SH130, LP

EXHIBIT A

FOREST SURVEYING AND MAPPING CO.
T.B.P.L.S Firm # 10002000
1002 Ash St.
Georgetown, Tx. 78626

DESCRIPTION FOR MARY ANN JOSEPH & VIRGINIA BISHOP, TRUSTEES - AD ACQUISITIONS, LLC

BEING 49.31 ac. of the John Berry Survey, Abstract No. 51, in Williamson County, Texas; part of a tract that was described in a deed to the Glen Willbern Bishop and Arlene Lelia Bishop Living Trust (77.059 ac. less exceptions) of record in Doc. 2003097140, of the Official Public Records of Williamson County, Texas (OPRWCT). For various interests in this property see deed to Mary Ann Joseph and Virginia Bishop, Co-Trustees, as set out in Doc. 2016053295. This tract was surveyed on the ground in May of 2018 under the direction of William F. Forest, Jr., Registered Professional Land Surveyor No. 1847. Survey note: The bearing basis for this survey is the State Plane Coordinate System, Texas Central Zone Western Data VRS Network.

COMMENCING FOR REFERENCE at the Southeast corner of the said 77.059 acre tract at the approximate center of the channel of Berry Creek. This corner exists at the Northeast corner of the property of Linda Vise, Larry Wittera and Ruth Ann Sudduth, the heirs of Amelia Wittera, et. vir, the same property that was conveyed to Amelia Wittera, et. vir, as described in Vol. 472, Pg. 133 (remainder parcel, formerly 102.5 acres). This corner also exists in the West boundary of the property that is described in a deed to Williamson County (Tract II Doc. 2011066293, 210.514 ac. to centerline of creek).

THENCE with the South line of a 30 foot wide utility easement of 0.66 acres (City of Georgetown sewer easement agreement Doc. 2017009836), (L10) S 68°48'43" W 94.21 feet to an iron pin which was found on the High West bank of the creek (edge of a cliff); and S 68° 42'25" W 867.02 feet to the TRUE POINT OF BEGINNING. This corner is an iron pin which was found in the most Southerly South boundary of the said 77.059 acres, at the Southeast corner of the 4.13 acre property that was described in a Deed to Zymac Group Ltd., as filed in Doc. 2017009838.

THENCE with the boundary of the property conveyed to Zymac Group Ltd., N 21°22'49" W 285.01 feet to an iron pin which was found; and S 68°47'17" W 673.63 feet to an iron pin which was found in the East boundary of State Highway 130 (lower Northeast corner of the property conveyed to the Texas Transportation Commission, Part 2 called 2.449 ac. as described in Doc. 2004037653). It is noted that at this location access is permitted to the service road of State Highway 130. This corner exists at the Southwest corner of a utility easement granted to the public (30 feet wide, 0.937 acres), as described in Doc. 2017009837.

THENCE with West line of the said easement and the East line of State Highway 130 (Condemnation Judgement, Part 1 called 11.07 ac. as described in Doc. 2005015488); N 37°47'45" W 492.12 feet to an iron pin which was found at the beginning of a curve (C19) to the left having a radius of 1268.17 feet and a central angle of 17°44'17", 392.61 feet with the arc of the curve, the chord bears N 46°09'40" W 391.04 feet to an iron pin which was found at the beginning of a curve to the right (C18) having a radius of 200 feet and a central angle of 22° 00'13", 76.81 feet with the arc of the curve, the chord bears N 43°42'41" W 76.34 feet to an iron pin which was found at the beginning of a curve(C22).

THENCE continuing with the West line of the said utility easement and with the curved East line of State Highway 130, with a curve to the right (C16) having a radius of 1307.00 feet and a central angle of 17°40'01", 403.01 feet with the arc of the curve, the chord bears N 24°12'03" W 401.42 feet to a ½ inch capped iron pin which was found at the Northwest corner of this property, in the South boundary of the property of Larry D. Kokel and Dale Illig (73.153 ac. Doc. 9663744).

THENCE with the North boundary of the 77.059 acres and the South boundary of the 73.153 acres, as follows; S 85°29'11" E 250.15 feet to a nail found in the in south base of 44" triple oak; finding ½ inch capped iron pins at bends in the fence as follows; N 87°33'22" E 206.83 feet; and N 89°15'52" E 98.50 feet.

THENCE continuing with the common boundary between the 77.059 acres and the 73.153 acres, as follows; N 74°53'10" E 353.06 feet to an iron pin which was found; and N 75°32'54" E 487.05 feet to an iron pin that was found at a corner in the South boundary of the property that is described in a deed to Larry D. Kokel and Dale Illig (73.153 ac. Doc. 9663744).

THENCE with the common boundary between the said 77.059 acres and the said 73.153 acres, generally along or near an existing fence, (L6) S 37°19'28" E 55.0 feet to an iron pin which was found at another offset corner that exists in the North line of the 77.059 ac. and the South line of the 73.153 acres.

THENCE with the common boundary between the property of Kokel and Illig and the said Bishop 77.059 acres, finding iron pins as follows; N 68°37'26" E 240.61 feet; N 68°59'47" E 380.33 feet; N 69°31'41" E 153.31 feet to an iron pin which was found on the West bank of Berry Creek; and (L7) N 69°31'41" E 30.00 feet to a submerged point in the approximate center of the channel of Berry Creek.

THENCE downstream with the approximate center of the channel of Berry Creek following the common boundary between the said 77.059 acres and the said 210.514 acres that is described in a deed to Williamson County (Doc. 2011066293), as follows; S 05° 53'10" W 304.87 feet {this submerged point stands (L9) S 65°32'17" E 34.83 feet from an iron pin which was found at north base of 36" cotton wood tree on the bank of the creek}; continuing with the centerline of the waterway, S 04°31'49" E 427.11 feet {this submerged point stands (L8) N 20°04'19" E 32.54 feet from an iron pin which was found on the low West bank of the creek}; continuing with the approximate centerline of the waterway to submerged points as follows: S 14°39'34" E 117.74 feet; S 15°31'17" E 127.66 feet; and S 41°45'09" E 316.70 feet to the Southeast corner of the said 77.059 acres. This corner exists at the Southeast corner of an easement for utilities containing 0.66 acres (Commencing Point).

THENCE with the South line of the 77.059 acres and the North boundary of the property of Linda Vise, Larry Wittera and Ruth Ann Sudduth, and with the South line of a 30 foot wide utility easement as follows; (L10) S 68°48'43" W 94.21 feet to an iron pin which was found on the High West bank of the creek (edge of a cliff); and S 68°42'25" W 867.02 feet to the TRUE POINT OF BEGINNING.

I, WM. F. FOREST, JR., do hereby certify that this survey was made on the ground of the property legally described hereon, under my supervision in May of 2018. This description is true and correct to the best of my knowledge and belief. The attached plat identifies any significant boundary line conflicts, shortages in area, apparent protrusions, intrusions or overlapping of improvements. This property abuts a public roadway, except as shown. Ownership and easement information for this tract has not been researched except as shown on the attached plat.

TO CERTIFY WHICH, WITNESS my hand and seal at Georgetown, Texas,
this the 4th day of May of 2018, A.D. File: bishop 49.31 ac.doc


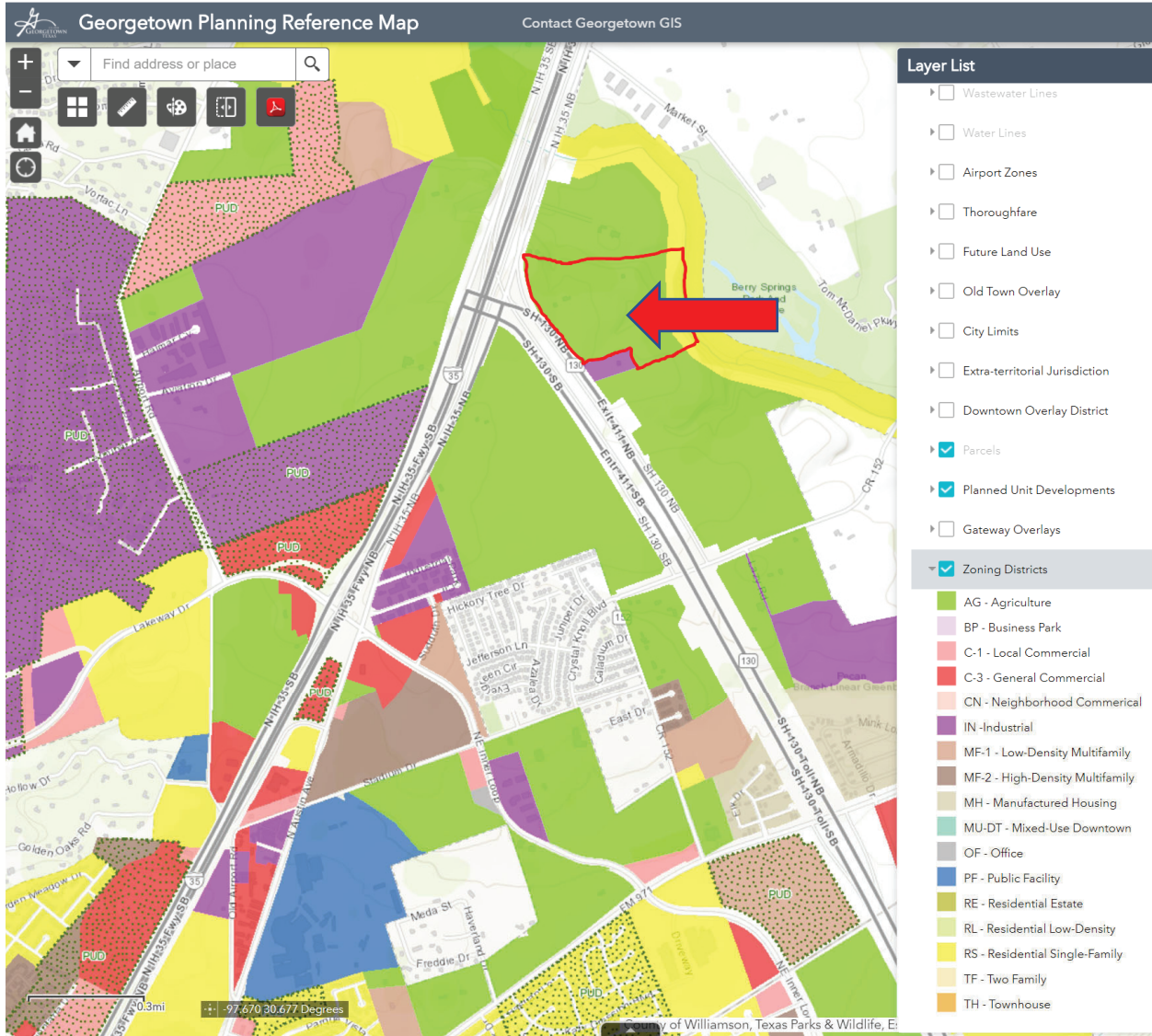

WM.F. FOREST JR.
REGISTERED PROFESSIONAL LAND SURVEYOR NO. 1847



EXHIBIT B

PROPERTY LOCATION MAP NE CORNER OF IH35 AND SH130



IH35 SH130, LP | 6002 Camp Bullis Rd, San Antonio, Texas 78257

Phone: 210-698-3004 | Fax: 210-698-3014

**ZONING MAP FOR
IH35 SH130, LP
Tract 1 - 13.001 Acres &
Tract 2 - 36.306 Acres
out of 49.31 Acres
Document No. 2018066618**

A horizontal number line is shown with tick marks at 0, 200, and 400. The word "Feet" is written at the right end. The line is divided into six equal segments by tick marks at 0, 100, 200, 300, and 400. The segments alternate in color: black, white, black, white, black, and white, starting from the left.

Note:
The bearing basis of this survey is
the State Plane Coordinate System
Texas Central Zone
Western Data VRS Network
Datum: Geoid 12a, NAVD88, NAD83
Convergence: 1°22'49.59"

LEGEND

1/2" IRON PIN FOUND (STEEL PIN)
 CAPPED IRON PIN SET "FOREST RPLS 1847"
 CAPPED IRON PIN FOUND "FOREST RPLS 1847"
 NAIL SET/WASHER "FOREST RPLS 1847"
 NAIL FOUND/WASHER "FOREST RPLS 1847"
 NAIL SET
 NAIL FOUND
 CAPPED IRON PIN FOUND
 COTTON GIN SPINDLE FOUND
 COTTON GIN SPINDLE SET
 TXDOT TYPE I CONCRETE MARKER
 TXDOT TYPE II BRONZE MONUMENT
 TXDOT TYPE III CIPF
 TELEPHONE PEDESTAL
 ELECTRIC POWER POLE
 TELEPHONE POLE
 GUY WIRE
 BENCHMARK MONUMENT (COTTON SPINDLE SET)
 LIGHT STANDARD
 WASTEWATER CLEANOUT
 ELECTRIC BOX
 WATER VALVE
 ICV WATER VALVE
 WATER METER
 WATER WELL
 OVERHEAD ELECTRIC
 OVERHEAD ELECTRIC TRANSMISSION
 TELEPHONE LINE
 CABLE TV
 FIBER OPTIC CABLE
 EXISTING FENCE (approximate location)
 EXISTING FENCE (approximate location)
 EXISTING FENCE (approximate location)
 EXISTING FENCE (approximate location)
 SURVEY/ABSTRACT LINES
 TRACT LINES
 BOUNDARY LINES
 () Denotes Record Information
 All document references are in Williamson County, Texas
 O.P.R.W.C.T. Official Public Records of Williamson County, Texas
 P.R.W.C.T. Plat Records of Williamson County, Texas
 D.R.W.C.T. Deed Records of Williamson County, Texas

| Curve Table | | | | | |
|-------------|----------|---------------|----------------|-----------|------------|
| Curve # | Radius | Chord Bearing | Chord Distance | Delta | Arc Length |
| C1 | 1268.17' | N 46°09'40" W | 391.04' | 17°44'17" | 392.61' |
| C2 | 200.00' | N 43°42'41" W | 76.34' | 22°00'13" | 76.81' |
| C3 | 1307.00' | N 24°12'03" W | 401.42' | 17°40'01" | 403.01' |

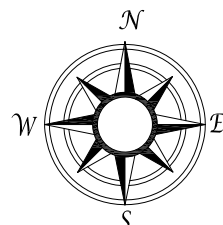
Standard Survey Note:
This survey has been completed without the benefit of an abstracted title. A current title commitment has not been provided to identify additional record easements which may be applicable. Restrictive covenants and other matters have not been researched as a part of this survey. See applicable restrictive covenants and local codes for applicable development limitations. Nothing in this survey is intended to express an opinion regarding ownership or title.

FOREST SURVEYING & MAPPING CO. Copyright © 2020

This document was prepared under 22 TAC §663.21. Does not reflect the results of an on the ground survey, and is not to be used to convey or establish interest in real property except those rights and interest implied or established by the creation or reconfiguration of the boundary of the political subdivision for which it was prepared.

Survey Date February 10, 2017
Zoning information added Oct. 23, 2020

Page 173 of 675



Forest Surveying & Mapping Company
1002 Ash St. Georgetown, Texas
Phone: 512-930-5927
www.forestsurveying.com
TBPLS FIRM NO.10002000

Surveying Services are regulated by the Texas Board of Professional Engineers and Land Surveyors
1917 S Interstate 35 Austin, TX 78741, US (512) 440-7723

| | |
|----------|------------------------------------|
| Revision | Drawing Date: OCTOBER 26, 2020 |
| | Field Book/Page: |
| | PP: PP: P:\Proj BISHOP ESTATE |
| | Dwg: CITY OF GEORGETOWN ZONING MAP |
| | LO: ZONING MAP |
| | ACAD: 2020 |

ORDINANCE NO. _____

An Ordinance of the City Council of the City of Georgetown, Texas, amending part of the Official Zoning Map to rezone 49.31 acres out of the John Berry Survey, Abstract No. 51, generally located at 2800 N IH 35, from Agriculture (AG) and Residential Single-Family (RS) zoning districts to the General Commercial (C-3) zoning district (approximately 13.001 acres) and High Density Multi-Family (MF-2) zoning district (approximately 36.306 acres); repealing conflicting ordinances and resolutions; including a severability clause; and establishing an effective date.

Whereas, an application has been made to the City for the purpose of amending the Official Zoning Map, adopted on the 12th day of June, 2012, for the specific Zoning District classification of the following described real property ("The Property"):

49.31 acres out of the John Berry Survey, Abstract No. 51, as recorded in Document Number 1985006675 of the Official Public Records of Williamson County, Texas, hereinafter referred to as "The Property"; and

Whereas, public notice of such hearing was accomplished in accordance with State Law and the City's Unified Development Code through newspaper publication, signs posted on the Property, and mailed notice to nearby property owners; and

Whereas, the Planning and Zoning Commission, at a meeting on December 15, 2020, held the required public hearing and submitted a recommendation of approval to the City Council for the requested rezoning of the Property; and

Whereas, the City Council, at a meeting on January 12, 2021, held an additional public hearing prior to taking action on the requested rezoning of the Property.

Now, therefore, be it ordained by the City Council of the City of Georgetown, Texas, that:

Section 1. The facts and recitations contained in the preamble of this Ordinance are hereby found and declared to be true and correct, and are incorporated by reference herein and expressly made a part hereof, as if copied verbatim. The City Council hereby finds that this Ordinance implements the vision, goals, and policies of the Georgetown 2030 Comprehensive Plan and further finds that the enactment of this Ordinance is not inconsistent or in conflict with any other policies or provisions of the 2030 Comprehensive Plan and the City's Unified Development Code.

Section 2. The Official Zoning Map, as well as the Zoning District classification(s) for the Property is hereby amended from the Agriculture (AG) and Residential Single-Family (RS) zoning districts to the General Commercial (C-3) zoning district (approximately 13.001 acres) and High Density Multi-Family (MF-2) zoning district (approximately 36.306 acres), in

Ordinance Number: _____

Page 1 of 2

Description: Berry Creek Crossing

Case File Number: 2020-26-REZ

Date Approved:

Exhibits A-B Attached

accordance with the attached *Exhibit A* (Location Map) and *Exhibit B* (Legal Description) and incorporated herein by reference.

Section 3. All ordinances and resolutions, or parts of ordinances and resolutions, in conflict with this Ordinance are hereby repealed, and are no longer of any force and effect.

Section 4. If any provision of this Ordinance or application thereof to any person or circumstance shall be held invalid, such invalidity shall not affect the other provisions, or application thereof, of this Ordinance which can be given effect without the invalid provision or application, and to this end the provisions of this Ordinance are hereby declared to be severable.

Section 5. The Mayor is hereby authorized to sign this ordinance and the City Secretary to attest. This ordinance shall become effective in accordance with the provisions of state law and the City Charter of the City of Georgetown.

APPROVED on First Reading on the 12th day of January, 2021.

APPROVED AND ADOPTED on Second Reading on the 26th day of January, 2021.

THE CITY OF GEORGETOWN:

ATTEST:

Josh Schroeder
Mayor

Robyn Densmore, TRMC
City Secretary

APPROVED AS TO FORM:

Skye Masson
City Attorney

Ordinance Number: _____

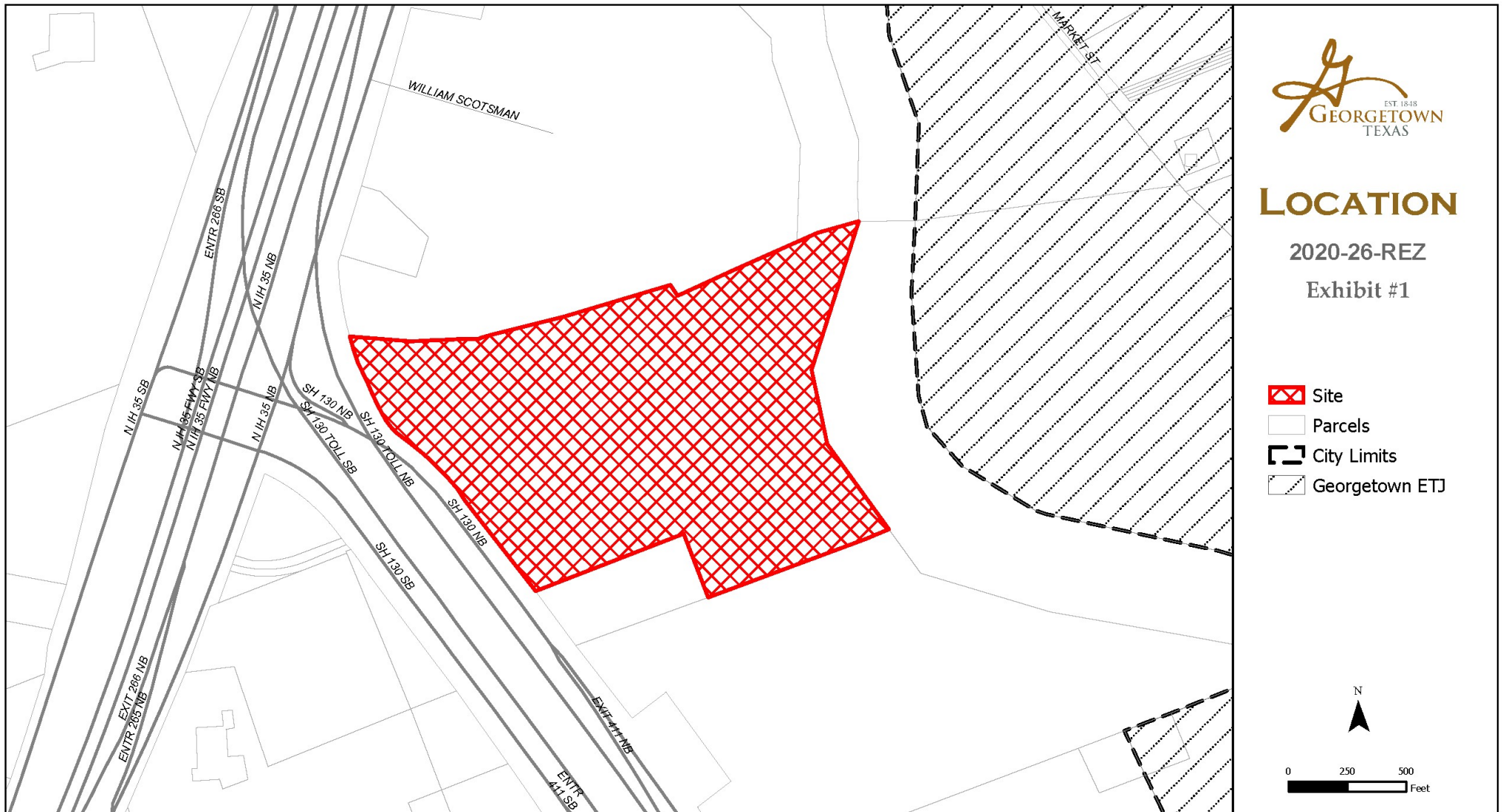
Description: Berry Creek Crossing

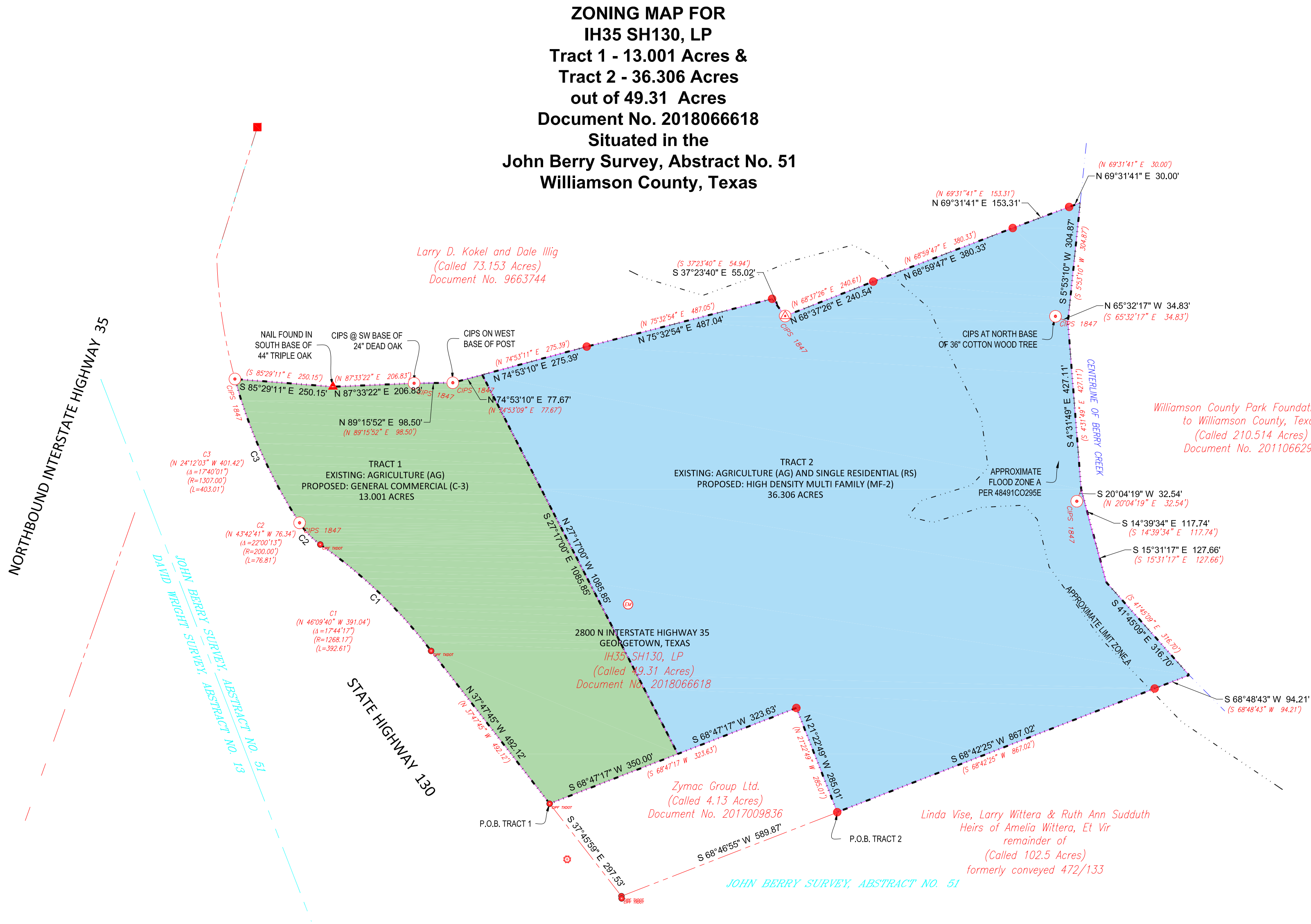
Date Approved:

Page 2 of 2

Case File Number: 2020-26-REZ

Exhibits A-B Attached





SCALE: 1" = 200

0 200 400 Feet

Note:
The bearing basis of this survey is the State Plane Coordinate System Texas Central Zone
Western Data VRS Network
Datum: Geoid 12a, NAVD88, NAD83
Convergence: 1°22'49.59"

LEGEND

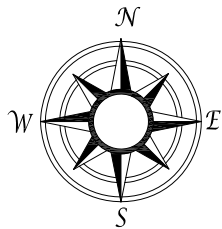
1/2" IRON PIN FOUND (STEEL PIN)
CAPPED IRON PIN SET "FOREST RPLS 1847"
CAPPED IRON PIN FOUND "FOREST RPLS 1847"
NAIL SET/WASHER "FOREST RPLS 1847"
NAIL FOUND/WASHER "FOREST RPLS 1847"
NAIL SET
NAIL FOUND
CAPPED IRON PIN FOUND
COTTON GIN SPINDLE FOUND
COTTON GIN SPINDLE SET
TXDOT TYPE I CONCRETE MARKER
TXDOT TYPE II BRONZE MONUMENT
TXDOT TYPE III CIPF
TELEPHONE PEDESTAL
ELECTRIC POWER POLE
TELEPHONE POLE
GUY WIRE
BENCHMARK MONUMENT (COTTON SPINDLE SET)
LIGHT STANDARD
WASTEWATER CLEANOUT
ELECTRIC BOX
WATER VALVE
ICV WATER VALVE
WATER METER
WATER WELL
OVERHEAD ELECTRIC
OVERHEAD ELECTRIC TRANSMISSION
TELEPHONE LINE
CABLE TV
FIBER OPTIC CABLE
EXISTING FENCE (approximate location)
EXISTING FENCE (approximate location)
EXISTING FENCE (approximate location)
EXISTING FENCE (approximate location)
SURVEY/ABSTRACT LINES
TRACT LINES
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() Denotes Record Information
All document references are in Williamson County, Texas
O.P.R.W.C.T. Official Public Records of Williamson County, Texas
P.R.W.C.T. Plat Records of Williamson County, Texas
D.R.W.C.T. Deed Records of Williamson County, Texas

Standard Survey Note:
This survey has been completed without the benefit of an abstracted title. A current title commitment has not been provided to identify additional record easements which may be applicable. Restrictive covenants and other matters have not been researched as a part of this survey. See applicable restrictive covenants and local codes for applicable development limitations. Nothing in this survey is intended to express an opinion regarding ownership or title.

| Curve Table | | | | | |
|-------------|----------|---------------|----------------|-----------|------------|
| Curve # | Radius | Chord Bearing | Chord Distance | Delta | Arc Length |
| C1 | 1268.17' | N 46°09'40" W | 391.04' | 17°44'17" | 392.61' |
| C2 | 200.00' | N 43°42'41" W | 76.34' | 22°00'13" | 76.81' |
| C3 | 1307.00' | N 24°12'03" W | 401.42' | 17°40'01" | 403.01' |

This document was prepared under 22 TAC §663.21. Does not reflect the results of an on the ground survey, and is not to be used to convey or establish interest in real property except those rights and interest implied or established by the creation or reconfiguration of the boundary of the political subdivision for which it was prepared.

Survey Date February 10, 2017
Zoning information added Oct. 23, 2020



Forest Surveying & Mapping Company
1002 Ash St. Georgetown, Texas
Phone: 512-930-5927
www.forestsurveying.com
TBPLS FIRM NO.10002000

Surveying Services are regulated by the Texas Board of Professional Engineers and Land Surveyors
1917 S Interstate 35 Austin, TX 78741, US (512) 440-7723

| | |
|----------|------------------------------------|
| Revision | Drawing Date: OCTOBER 26, 2020 |
| | Field Book/Page: |
| | PP: PP: P:\Proj BISHOP ESTATE |
| | Dwg: CITY OF GEORGETOWN ZONING MAP |
| | LO: ZONING MAP |
| | ACAD: 2020 |

FOREST SURVEYING AND MAPPING CO.

T.B.P.L.S Firm # 10002000

1002 Ash St.

Georgetown, TX, 78626

C-3 portion

DESCRIPTION FOR: IH35 SH130, LP

Tract 1 - 13.001 Acres

BEING 13.001 acres of land, situated in the John Berry Survey, Abstract No. 51, in Williamson County, Texas, being a portion out of a 49.31 acre tract, of record to IH35 SH130, LP, Document No. 2018066618, Official Public Records Williamson County, Texas, (OPRWCT). This tract was surveyed on the ground in February of 2017 under the direction of William F. Forest, Jr., Registered Professional Land Surveyor No. 1847. Survey note: The bearing basis for this survey is the State Plane Coordinate System, Texas Central Zone Western Data VRS Network.

BEGINNING, at a ½" capped iron pin found (steel pin), marked "TXDOT", at the upper Southwest corner of said 49.31 acre tract, for the Southwest corner hereof (Tract 1), same being the Northwest corner of a 4.13 acre tract, of record to Zymac Group Ltd, Document No. 217009836, (OPRWCT), said point being in the East Right-of-Way line of State Highway 130, from which a ½" capped iron pin found, marked "TXDOT", at the Southwest corner of said 4.13 acre tract, bears: S 37°45'59" E, 297.53 feet,

THENCE, with the West boundary line of said 49.31 acre tract and the East Right-of-Way line of State Highway 130, the following four (4) courses and distances,

1. N 37°47'45" W, 492.12 feet, to a ½" capped iron pin found, marked "TXDOT", at the point of curvature of a curve to the left,
2. (C1), in a northwesterly direction with a Non-Tangent Curve to the left, with a Radius of 1268.17 feet, having a Chord Bearing of N 46°09'40" W, 391.04 feet, having a Central Angle of 17°44'17", and an Arc Length of 392.61 feet, to ½" capped iron pin found, marked "TXDOT", at the point of reverse curvature,
3. (C2), in a northwesterly direction with a Reverse Non-Tangent Curve to the right, with a Radius of 200.00 feet, having a Chord Bearing of N 43°42'41" W, 76.34 feet, having a Central Angle of 22°00'13", and an Arc Length of 76.81 feet, to ½" capped iron pin set, marked "FOREST RPLS 1847", at the point of a compound curve to the right,
4. (C3), in a northwesterly direction with a Non-Tangent Curve to the right, with a Radius of 1307.00 feet, having a Chord Bearing of N 24°12'03" W, 401.42 feet, having a Central Angle of 17°40'01", and an Arc Length of 403.01 feet, to ½" capped iron pin set, marked "FOREST RPLS 1847", for the Northwest corner hereof (Tract 1), said point being the Southwest corner of a 73.153 acre tract of record to Larry D. Kokel and Dale Illig in Document No. 9663744, Deed Records Williamson County Texas, (DRWCT),

THENCE, departing said Right-of-Way line, with the common boundary line of said 49.31 acre tract and said 73.153 acre tract, the following four (4) courses and distances,

1. S 85°29'11" E, 250.15 feet, to nail found, in the South base of a 44" triple oak tree, for an angle point hereof,
2. N 87°33'22" E, 206.83 feet, to a ½" capped iron pin set, marked "FOREST RPLS 1847", at the Southwest base of a 24" dead oak tree, for an angle point hereof,
3. N 89°15'52" E, 98.50 feet, to a ½" capped iron pin set, marked "FOREST RPLS 1847", at the West base of a post, for an angle point hereof,
4. N 74°53'10" E, 77.67 feet, to a point, for the Northeast corner hereof (Tract 1), said point being the Northwest corner of Tract 2, described this date, from which a ½" iron pin found, bears: N 74°53'10" E, 275.39 feet,

THENCE, over and across said 49.31 acre tract, with the common boundary line of Tract 1 and Tract 2, S 27°17'00" E, 1085.85 feet, to a point, for the Southeast corner hereof (Tract 1), said point being the Southwest corner of Tract 2, from which a ½" iron pin found, bears: N 68°47'17" E, 323.63 feet,

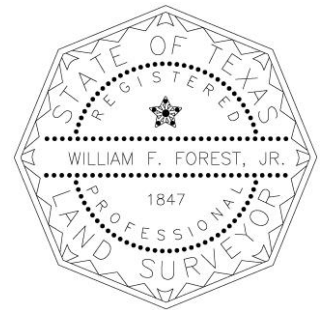
THENCE, with the common boundary line of said 49.31 acre tract and said 4.13 acre tract S 68°47'17" W, 350.00 feet, to the POINT OF BEGINNING, containing 13.001 acres, more or less.

STATE OF TEXAS :
 :
 COUNTY OF WILLIAMSON : KNOW ALL MEN BY THESE PRESENTS;

This document was prepared under 22 TAC §663.21. Does not reflect the results of an on the ground survey, and is not to be used to convey or establish interest in real property except those rights and interest implied or established by the creation or reconfiguration of the boundary of the political subdivision for which it was prepared.

TO CERTIFY WHICH, WITNESS my hand and seal at Georgetown, Texas, this, the 24th day of October 2020, A.D. File: Bishop Tract 1.doc


 WM.F. FOREST JR.
 REGISTERED PROFESSIONAL LAND SURVEYOR NO. 1847



FOREST SURVEYING AND MAPPING CO.
T.B.P.L.S Firm # 10002000
1002 Ash St.
Georgetown, TX, 78626

MF-2 portion

DESCRIPTION FOR: IH35 SH130, LP

Tract 2 - 36.306 Acres

BEING 36.306 acres of land, situated in the John Berry Survey, Abstract No. 51, in Williamson County, Texas, being a portion out of a 49.31 acre tract, of record to IH35 SH130, LP, Document No. 2018066618, Official Public Records Williamson County, Texas, (OPRWCT). This tract was surveyed on the ground in May of 2017 under the direction of William F. Forest, Jr., Registered Professional Land Surveyor No. 1847. Survey note: The bearing basis for this survey is the State Plane Coordinate System, Texas Central Zone Western Data VRS Network.

BEGINNING, at a ½" iron pin found (steel pin), at the Lower Southwest corner of said 49.31 acre tract, for the lower Southwest corner hereof (Tract 2), same being the Southeast corner of a 4.13 acre tract, of record to Zymac Group Ltd, Document No. 217009836, (OPRWCT), said point being a point in the North boundary line of the remainder of a 102.5 acre tract, of record to the Heirs of Amelia Wittera, Et Vir, Volume 472, Page 133, Deed Records Williamson County, Texas, (DRWCT), from which a ½" capped iron pin found, marked "TXDOT", at the Southwest corner of said 4.13 ac tract bears: S 68°46'55" W 589.87 feet,

THENCE, with the common boundary line of said 49.31 acre tract and said 4.13 acre tract, the following (2) two courses and distances,

1. N 21°22'49" W, 285.01 feet, to a ½" iron pin found, at an ell corner of said 49.31 acre tract, same being the Northeast corner of said 4.13 acre tract, for an ell corner hereof,
2. S 68°47'17" W, 323.63 feet, to a point, for the upper Southwest corner hereof (Tract 2), same being the Southeast corner of Tract 1, described this date, from which a ½" capped iron pin found marked "TXDOT", bears:
S 68°47'17" W, 350.00 feet,

THENCE, over and across said 49.31 acre tract, with the common boundary line of said Tract 2 and Tract 1, N 27°17'00" W, 1085.85 feet, to a point, for the Northwest corner hereof (Tract 2), same being the Northeast corner of Tract 1, said point being a point in the South boundary line of a 73.153 acre tract, of record to Larry D. Kokel and Dale Illig, Document No. 9663744, (OPRWCT), from which an ½" capped iron pin set marked "FOREST RPLS 1847", bears: S 74°53'10" W, 77.67 feet,

THENCE, with the common boundary line of said 49.31 acre tract and said 73.153 acre tract the following seven (7) courses and distances,

1. N 74°53'10" E, 275.39 feet, to a ½" iron pin found, for an angle point hereof,
2. N 75°32'54" E, 487.04 feet, to a ½" iron pin found, for an ell corner hereof,
3. S 37°23'40" E, 55.02 feet, to a nail set with washer, marked "FOREST RPLS 1847", for an ell corner hereof,
4. N 68°37'26" E, 240.54 feet, to a ½" iron pin found, for an angle point hereof,
5. N 68°59'47" E, 380.33 feet, to a ½" iron pin found, for an angle point hereof,
6. N 69°31'41" E, 153.31 feet, to a ½" iron pin found (an apparent reference point),
7. N 69°31'41" E, 30.00 feet, to a point in the centerline of Berry Creek, for the Northeast corner hereof (Tract 2), said point being in the West boundary line of a 210.514 acre tract, of record to Williamson County, Texas, Document No. 2011066293, (OPRWCT),

THENCE, with the common boundary line of said 49.31 acre tract and said 210.514 acre tract, with the approximate Centerline of Berry Creek, the following five (5) courses and distances,

1. S 05°53'10" W, 304.87 feet, to an angle point hereof, from which a ½" capped iron pin set for reference, marked "FOREST RPLS 1847", at the North base of a 36" Cotton Wood tree, bears: N 65°32'17" W, 34.83 feet,
2. S 04°31'49" E, 427.11 feet, to an angle point hereof, from which a ½" capped iron pin set, for reference, marked "FOREST RPLS 1847", bears: S 20°04'19" W, 32.54 feet,
3. S 14°39'34" E, 117.74 feet, to an angle point hereof,

4. S 15°31'17" E, 127.66 feet, to an angle point hereof,
5. S 41°45'09" E, 316.70 feet, to a point, for the Southeast corner hereof (Tract 2), said point being the Northeast corner of the remainder of said 102.5 acre tract,

THENCE, with the common boundary line of said 49.31 acre tract and North boundary line of the remainder of said 102.5 acre tract, the following (2) two courses and distances,

1. S 68°48'43" W, 94.21 feet, to a ½" capped iron pin found (an apparent reference point),
2. S 68°42'24" W, 867.02 feet, to the POINT OF BEGINNING, containing 36.306 acres (Tract 2), more or less.

STATE OF TEXAS :
 : KNOW ALL MEN BY THESE PRESENTS;
 COUNTY OF WILLIAMSON :

This document was prepared under 22 TAC §663.21. Does not reflect the results of an on the ground survey, and is not to be used to convey or establish interest in real property except those rights and interest implied or established by the creation or reconfiguration of the boundary of the political subdivision for which it was prepared.

TO CERTIFY WHICH, WITNESS my hand and seal at Georgetown, Texas,
 this, the 24th day of October 2020, A.D. File: Bishop Tract 2.doc

 WM.F. FOREST JR.
 REGISTERED PROFESSIONAL LAND SURVEYOR NO. 1847



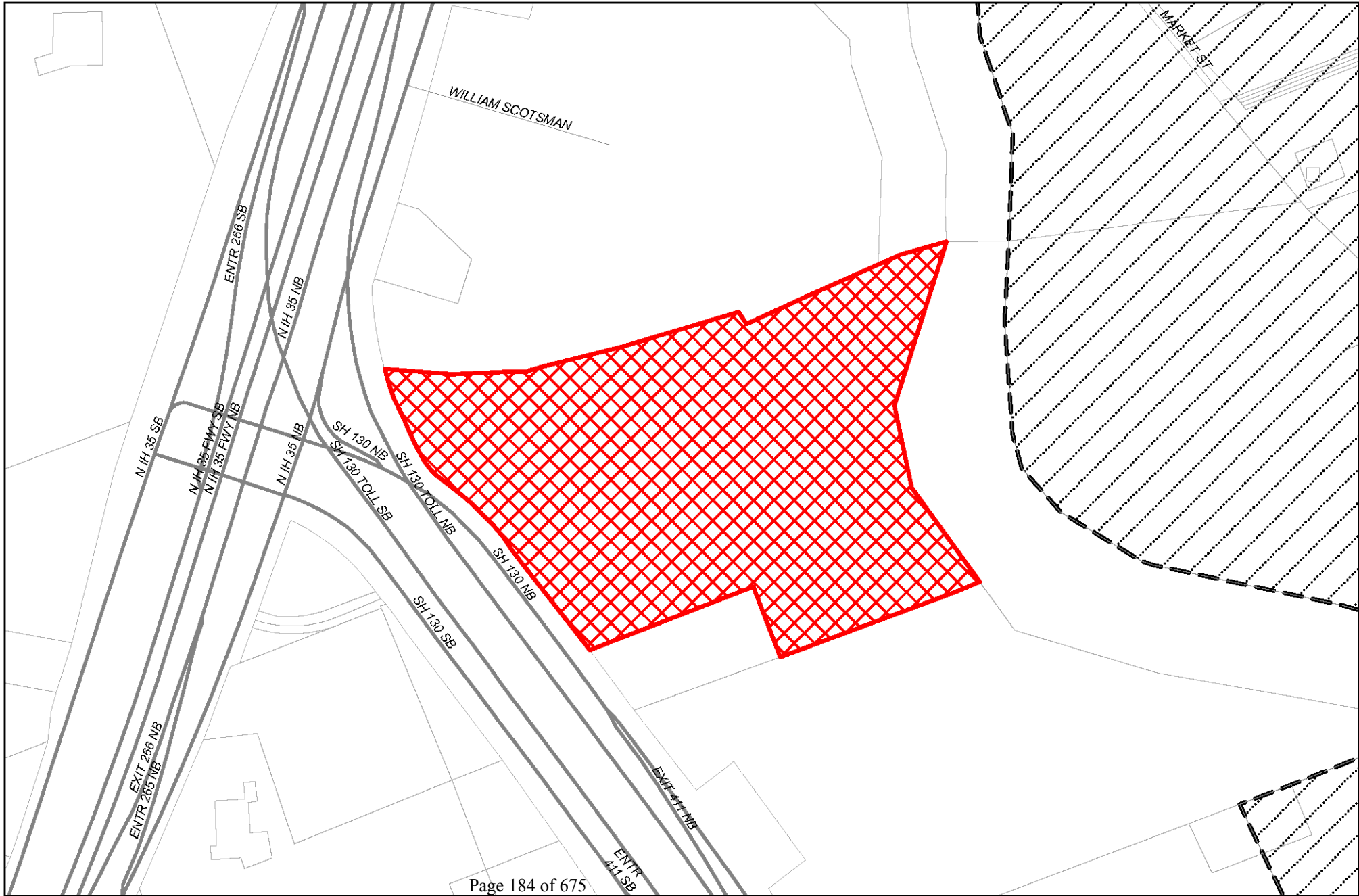
Berry Creek Crossing 2020-26-REZ

City Council
January 12, 2021

Item Under Consideration

2020-26-REZ

- Public Hearing and First Reading of an Ordinance for a Zoning Map Amendment to rezone approximately 49.31 acres out of the John Berry Survey, Abstract No 51, from the Agriculture (AG) and Residential Single-Family (RS) zoning districts to the General Commercial (C-3) zoning district (approximately 13.001 acres) and High Density Multi-Family (MF-2) zoning district (approximately 36.306 acres) for the property generally located at 2800 N IH 35



LOCATION

2020-26-REZ

Exhibit #1

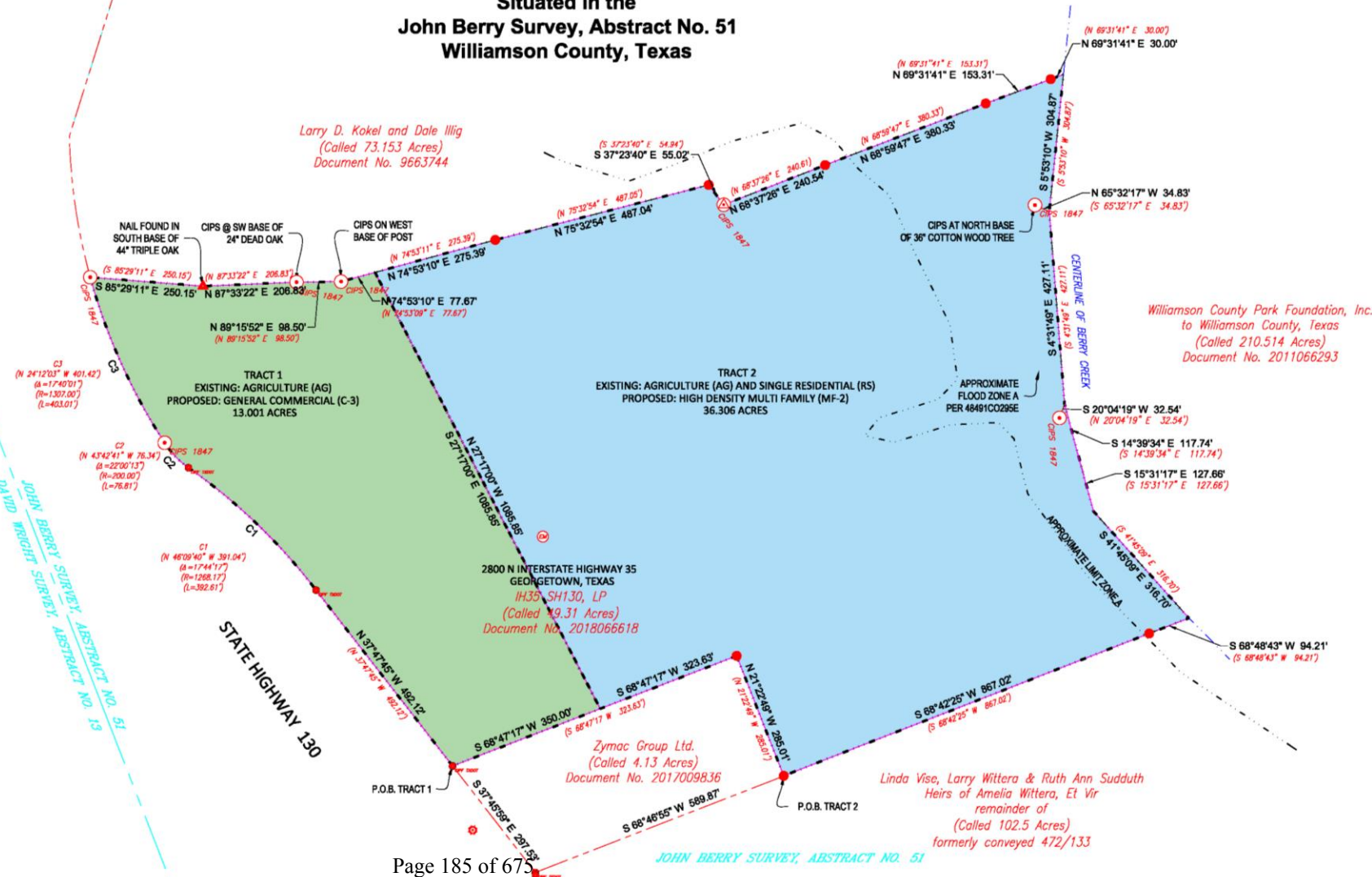
**ZONING MAP FOR
IH35 SH130, LP
Tract 1 - 13.001 Acres &
Tract 2 - 36.306 Acres
out of 49.31 Acres
Document No. 2018066618
Situated in the
John Berry Survey, Abstract No. 51
Williamson County, Texas**

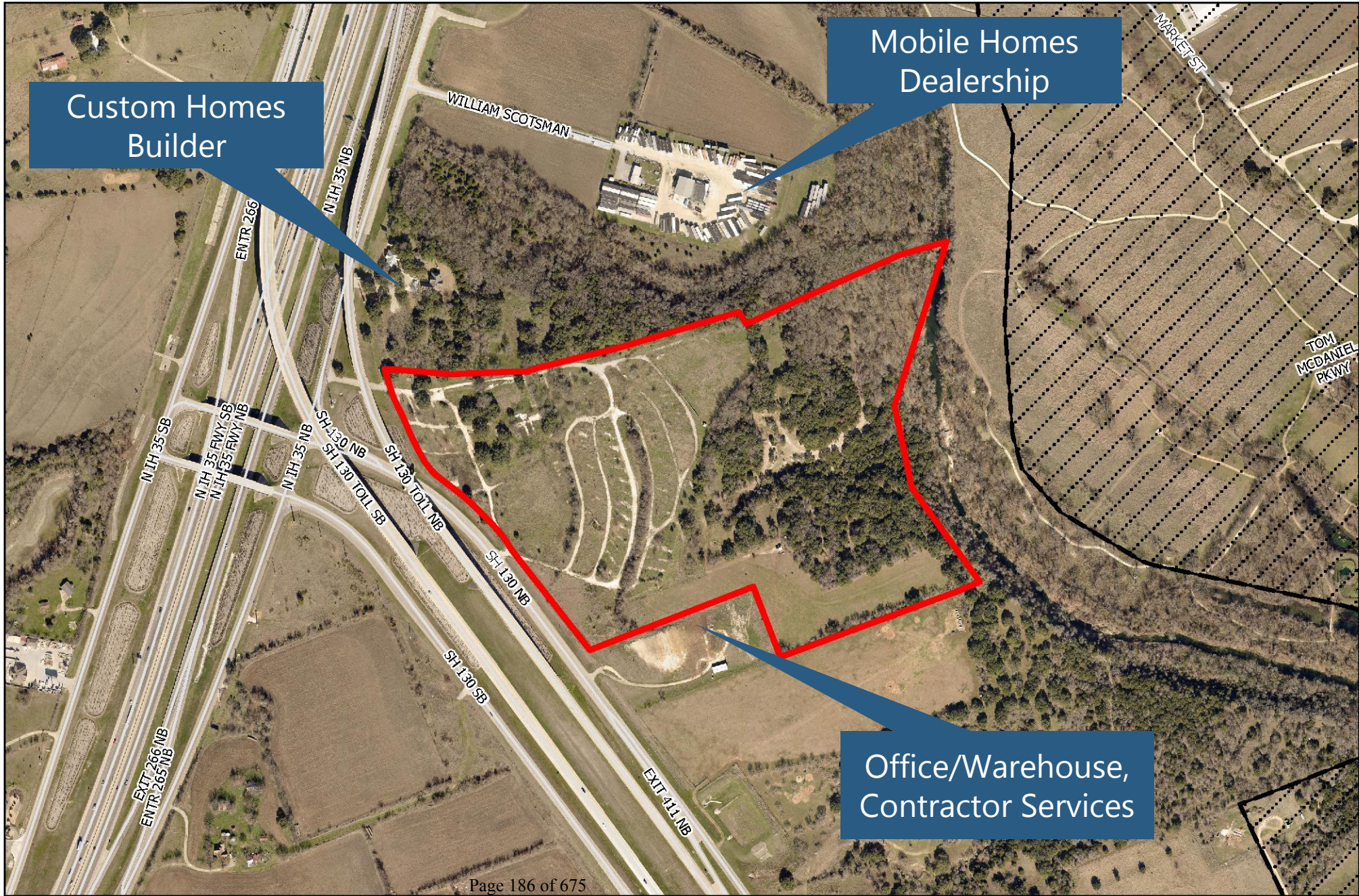
SCALE: 1" = 200
0 200 400 Feet

Note:
The bearing basis of this survey is
the State Plane Coordinate System
Texas Central Zone
Western Data VRS Network
Datum: Geoid 12a, NAVD88, NAD83
Convergence: 1'22'49.59"

LEGEND

- 1/2" IRON PIN FOUND (STEEL PIN)
- CAPPED IRON PIN SET "FOREST RPLS 1847"
- CAPPED IRON PIN FOUND "FOREST RPLS 1847"
- NAIL SET/WASHER "FOREST RPLS 1847"
- NAIL FOUND/WASHER "FOREST RPLS 1847"
- NAIL SET
- NAIL FOUND
- CAPPED IRON PIN FOUND
- COTTON GIN SPINDLE FOUND
- COTTON GIN SPINDLE SET
- TXDOT TYPE I CONCRETE MARKER
- TXDOT TYPE II BRONZE MONUMENT
- TXDOT TYPE III CIPF
- TELEPHONE PEDESTAL
- ELECTRIC POWER POLE
- TELEPHONE POLE
- GUY WIRE
- BENCHMARK MONUMENT (COTTON SPINDLE SET)
- LIGHT STANDARD
- WASTEWATER CLEANOUT
- ELECTRIC BOX
- WATER VALVE
- KV WATER VALVE
- WATER METER
- WATER WELL
- OVERHEAD ELECTRIC
- OVERHEAD ELECTRIC TRANSMISSION
- TELEPHONE LINE
- CABLE TV
- FIBER OPTIC CABLE
- EXISTING FENCE (approximate location)
- EXISTING FENCE (approximate location)
- EXISTING FENCE (approximate location)
- EXISTING FENCE (approximate location)
- EXISTING FENCE (approximate location)
- SURVEY/ABSTRACT LINES
- TRACT LINES
- BOUNDARY LINES
- () Denotes Record Information
- All document references are in Williamson County, Texas
- O.P.R.W.C.T. Official Public Records of Williamson County, Texas
- P.R.W.C.T. Plat Records of Williamson County, Texas
- D.R.W.C.T. Deed Records of Williamson County, Texas

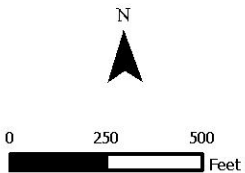


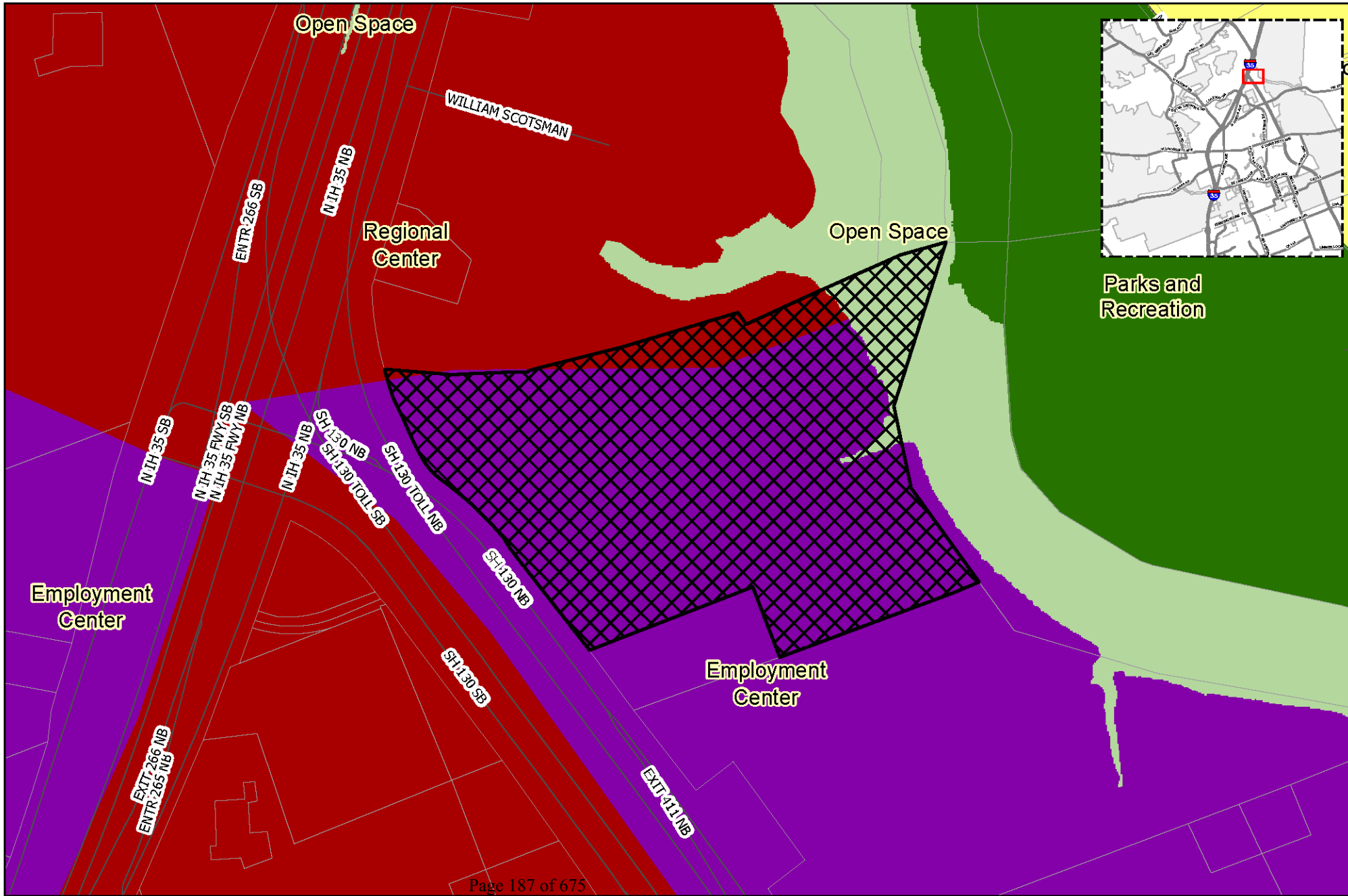


AERIAL

2020-26-REZ

- Site
- City Limits
- Georgetown ETJ

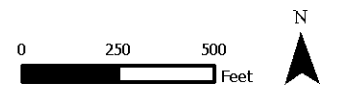




**FUTURE LAND USE/
OVERALL TRANSPORTATION
PLAN**

**2020-26-REZ
Exhibit #2**

- Site
- Parcels
- ▬ City Limits
- ▬ Georgetown ETJ
- Future Land Use**
- Community Center
- Employment Center
- Institutional
- Mining
- Mixed Density Neighborhood
- Neighborhood
- Open Space
- Parks and Recreation
- Regional Center
- Rural Residential
- Special Area
- Thoroughfare**
- Existing Freeway
- Existing Major Arterial
- Existing Minor Arterial
- Existing Collector
- Proposed Freeway
- Proposed Major Arterial
- Proposed Minor Arterial
- Proposed Collector
- Proposed Rail



Employment Center (EC)

- Employment-generating uses that support heightened economic activity through quality architectural design
- Transition areas between more intensely developed industrial uses and residential neighborhoods
- Use of buffering and/or performance-based development standards to protect adjacent uses from adverse impacts

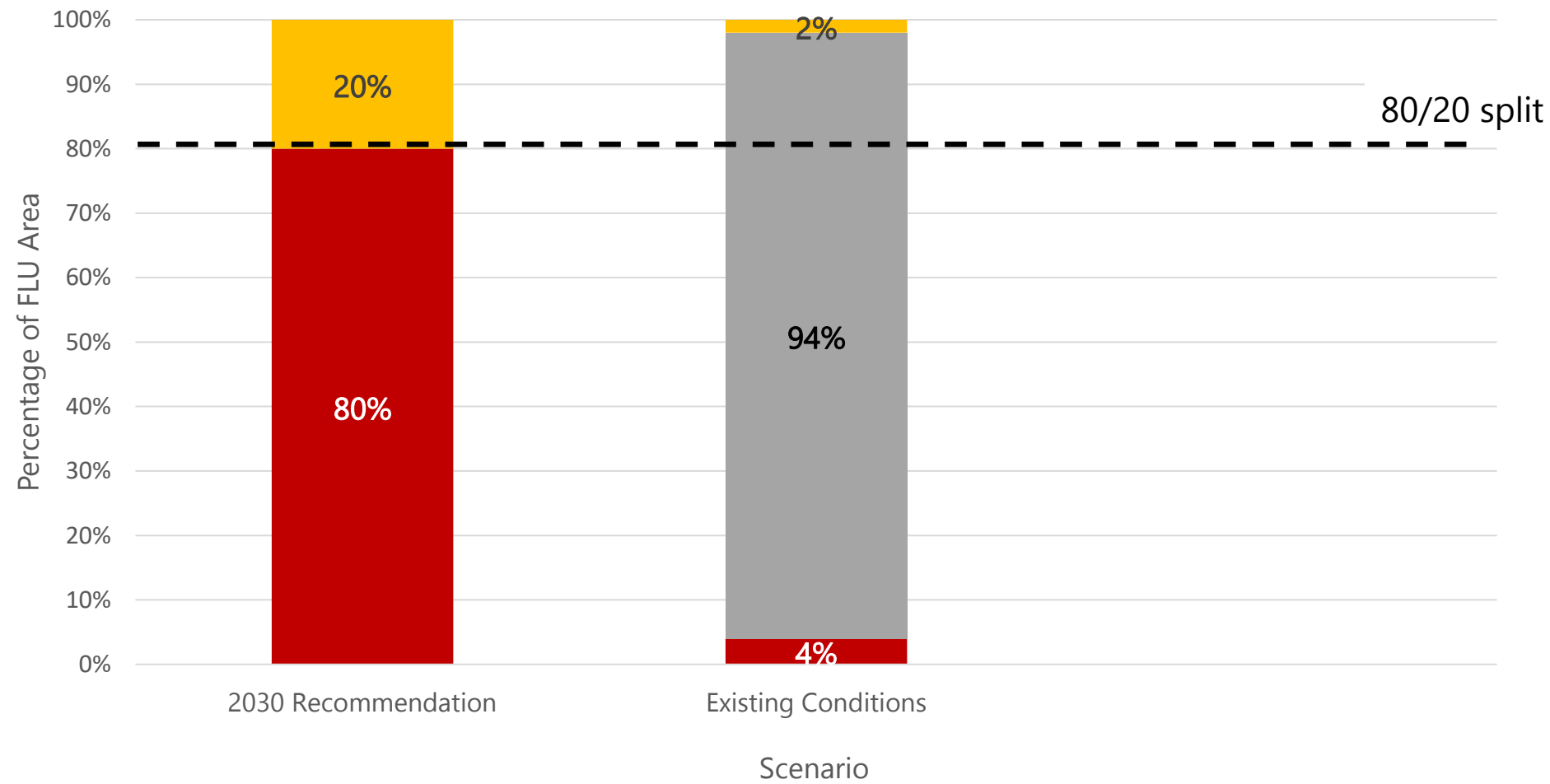
DUA: 14 or more

Target Ratio: 80% nonresidential, 20% residential

Primary Use: Advanced manufacturing, life sciences, and professional services

Secondary Uses: Flex workspace, environmentally friendly manufacturing, retail, commercial, high-density residential, mixed-use

Land Use Ratios – Employment Center



Total Area:
 200 acres
 100%

Area of Subject Property:
 49.3 acres
 25%

AG/Unentitled:
 186.8 acres
 94%

Regional Center (RC)

- Located around arterial roads and highways
- Space for large scale commercial development
- Serves a larger geographic area
- Higher density residential uses can be appropriate when context sensitive land use planning and site design ensure an appropriate transition of land uses

DUA: 18 or more

Target Ratio: 75%
nonresidential, 25% residential

Primary Use: Large retailers

Secondary Uses: Mixed use, high density residential, chain restaurants, specialty retailers, professional office, and civic uses

Open Space (OS)

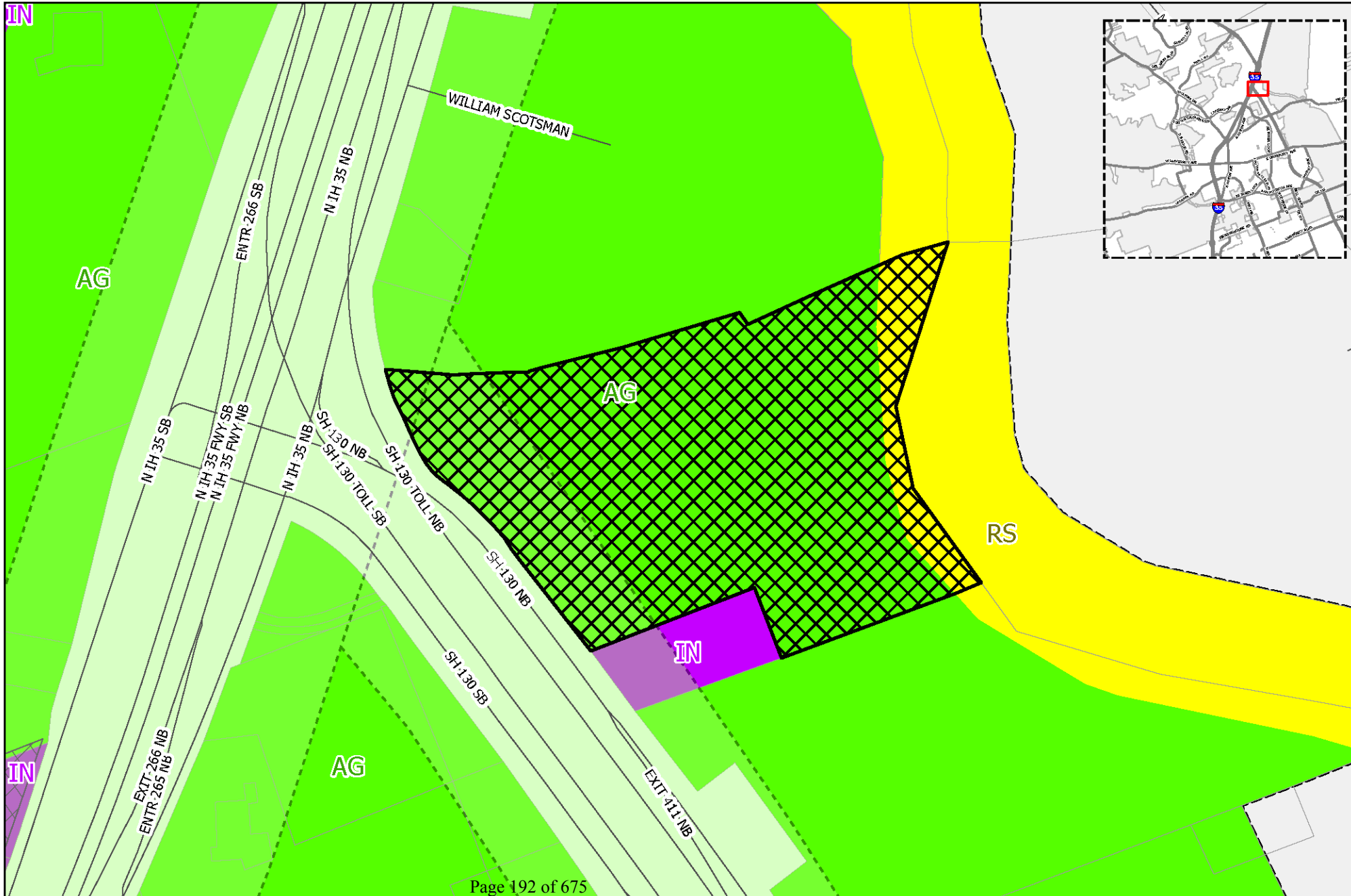
- Floodplains and other natural or environmentally sensitive areas

DUA: n/a

Target Ratio: 100%
nonresidential

Primary Use: Parkland, trails,
and other recreational amenities

Secondary Uses: n/a



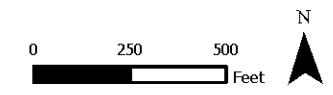
ZONING

2020-26-REZ

Exhibit #3

- Site
- PUD
- City Limits
- Courthouse View Overlay
- Old Town Overlay
- Historic Overlay
- Downtown Overlay
- SPO Overlay
- Gateway Overlay
- Parcels
- Georgetown ETJ

- Zoning
- AG - Agriculture
 - BP - Business Park
 - C-1 - Local Commercial
 - C-3 - General Commercial
 - CN - Neighborhood Commercial
 - IN - Industrial
 - MF-1 - Low-Density Multi-family
 - MF-2 - High-Density Multi-family
 - MH - Manufactured Housing
 - MU-DT - Mixed-Use Downtown
 - OF - Office
 - PF - Public Facility
 - RE - Residential Estate
 - RL - Residential Low-Density
 - RS - Residential Single-Family
 - TF - Two-Family
 - TH - Townhouse



General Commercial (C-3)

- Commercial and retail serving entire community
- May be large in scale and generate substantial traffic
- Appropriate along Arterials and Freeways

Dimensional Standards

- Max building height = 60'
- Front setback = 25'
- Side setback = 10'
- Rear setback = 10'
- Side setback to residential = 15'
- Rear setback to residential = 25'
- 15' bufferyard adjacent to RS

General Commercial (C-3)

| Permitted by Right | | Permitted with Limitations | Permitted with a SUP |
|---------------------------------------|--|---------------------------------------|---|
| Agricultural Sales | Integrated Office Center | Activity Center (youth/senior) | Auto. Parts Sales (outdoor) |
| Artisan Studio/Gallery | Landscape/Garden Sales | Athletic Facility, Indoor or Outdoor | Auto. Repair & Service, General |
| Assisted Living | Laundromat | Bar/Tavern/Pub | Auto. Sales, Rental, Leasing |
| Automotive Parts Sales (indoor) | Library/Museum | Business/Trade School | Bus Barn |
| Auto. Repair and Service, Limited | Medical Diagnostic Center | Church (with columbarium) | Cemetery/Columbaria/Mausoleum/Memorial Park |
| Banking/Financial Services | Medical Office/Clinic/Complex | College/University | Correctional Facility |
| Blood/Plasma Center | Membership Club/Lodge | Commercial Recreation | Firing Range, Indoor |
| Car Wash | Nature Preserve/Community Garden | Community Center | Flea Market |
| Consumer Repair | Nursing/Convalescent/Hospice | Dance Hall/Night Club | Hospital, Psychiatric |
| Dry Cleaning Service | Parking Lot (commercial/park-n-ride) | Data Center | Lumber Yard |
| Emergency Services Station | Personal Services (including restricted) | Day Care (group/commercial) | Major Event Entertainment |
| Event Catering/Equipment Rental | Printing/Mailing/Copying Services | Driving Range | Manufactured Housing Sales |
| Farmer's Market | Private Transport Dispatch Facility | Event Facility | Meat Market |
| Fitness Center | Restaurant (general/drive-through) | Fuel Sales | Multifamily Attached |
| Food Catering Services | Small Engine Repair | Heliport | Recreational Vehicle Sales, Rental, Service |
| Funeral Home | Social Service Facility | Kennel | Self-Storage (indoor or outdoor) |
| General Retail | Surgery/Post Surgery Recovery | Live Music/Entertainment | Substance Abuse Treatment Facility |
| General Office | Theater (movie/live) | Micro Brewery/Winery | Transient Service Facility |
| Government/Postal Office | Transit Passenger Terminal | Neighborhood Amenity Center | Wireless Transmission Facility (41'+) |
| Home Health Care Services | Urgent Care Facility | Park (neighborhood/regional) | |
| Hospital | Utilities (minor/intermediate/major) | Pest Control/Janitorial Services | |
| Hotel/Inn/Motel (incl. extended stay) | Veterinary Clinic (indoor only) | School (elementary, middle, high) | |
| | | Upper-story Residential | |
| | | Wireless Transmission Facility (<41') | |

High Density Multi-Family (MF-2)

- Attached multi-family
- Apartments and condos
- Should have direct access to major thoroughfares and arterial streets
- Should not route traffic through low density areas
- May be appropriate adjacent to residential and non-residential districts

Dimensional Standards

- Max density = 24 units/acre
- Min. lot size = 2 acres
- Min. lot width = 50'
- Max building height = 45'
- Front setback = 25'
- Side setback = 15'
- Rear setback = 15'
- Side/rear street setback = 20'
- Side/rear setback to residential = 30'
- 15' bufferyard adjacent to RS

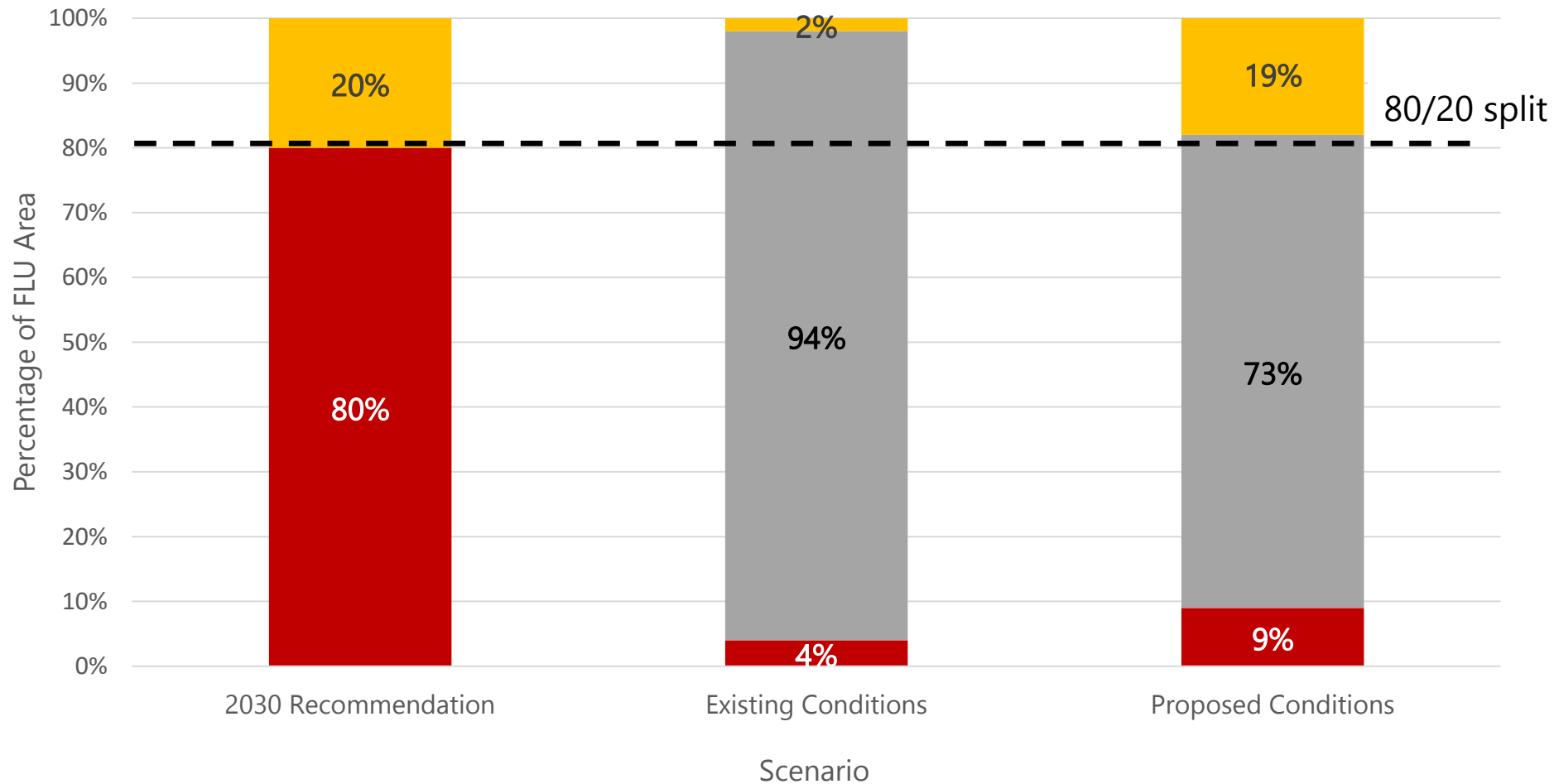
High Density Multi-Family (MF-2)

| Permitted by Right | Permitted with Limitations | Permitted with a SUP |
|-----------------------------|---------------------------------------|---------------------------------|
| Assisted Living | Church (with columbarium) | Activity Center (youth/senior) |
| Group Home (7-15 residents) | Day Care (family/group/commercial) | Bed and Breakfast (with events) |
| Multi-Family, Attached | Golf Course | Emergency Services Station |
| Nursing/Convalescent Home | Nature Preserve/Community Garden | Group Home (16+ residents) |
| Orphanage | Neighborhood Amenity Center | Halfway House |
| Rooming/Boarding House | Park (neighborhood) | School (middle) |
| Utilities (minor) | School (elementary) | Student Housing |
| | Utilities (intermediate) | |
| | Wireless Transmission Facility (<41') | |

Approval Criteria – UDC Section 3.06.030

| Criteria for Rezoning | Complies | Partially Complies | Does Not Comply |
|--|----------|--------------------|-----------------|
| The application is complete and the information contained within the application is sufficient and correct enough to allow adequate review and final action; | X | | |
| The zoning change is consistent with the Comprehensive Plan; | X | | |
| The zoning change promotes the health, safety or general welfare of the City and the safe orderly, and healthful development of the City; | X | | |

Land Use Ratios – Employment Center



■ Nonresidential ■ AG/Unentitled ■ Residential

Page 198 of 675

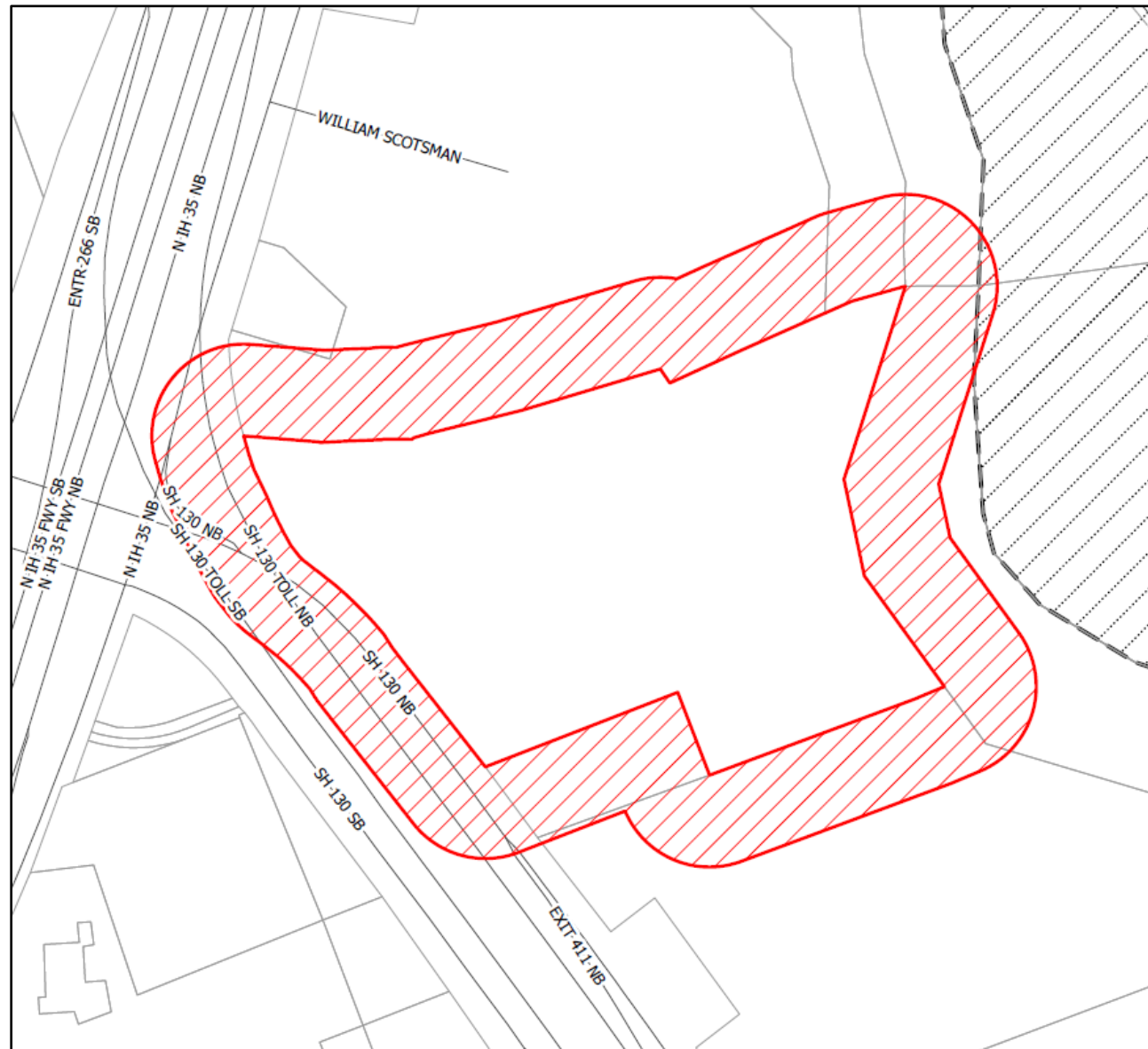
| |
|----------------------------------|
| <u>Total Area:</u> |
| 200 acres |
| 100% |
| <u>Area of Subject Property:</u> |
| 49.3 acres |
| 25% |
| <u>AG/Unentitled:</u> |
| 186.8 acres |
| 94% |

Approval Criteria – UDC Section 3.06.030

| Criteria for Rezoning | Complies | Partially Complies | Does Not Comply |
|--|----------|--------------------|-----------------|
| The zoning change is compatible with the present zoning and conforming uses of nearby property and with the character of the neighborhood; and | X | | |
| The property to be rezoned is suitable for uses permitted by the district that would be applied by the proposed amendment. | X | | |

Public Notifications

- 5 property owners within the 300' buffer
- Notice in Sun News on November 29, 2020
- Signs posted on the property
- To date, staff has received:
 - 0 written comments IN FAVOR
 - 0 written comments OPPOSED



Planning & Zoning Commission Action

- At their December 15, 2020 meeting, the Planning & Zoning Commission recommended approval of the request (4-0).

First Reading of an Ordinance

- An Ordinance of the City Council of the City of Georgetown, Texas, amending part of the Official Zoning Map to rezone 49.31 acres out of the John Berry Survey, Abstract No. 51, generally located at 2800 N IH 35, from Agriculture (AG) and Residential Single-Family (RS) zoning districts to the General Commercial (C-3) zoning district (approximately 13.001 acres) and High Density Multi-Family (MF-2) zoning district (approximately 36.306 acres); repealing conflicting ordinances and resolutions; including a severability clause; and establishing an effective date.

City of Georgetown, Texas
City Council Regular Meeting
January 12, 2021

SUBJECT:

Public Hearing and First Reading of an Ordinance for a **Zoning Map Amendment** to **rezone 25.093 acres** being all of Lot 1, Shadow Canyon Commercial Sec 3, and a portion of Lot 1, Shadow Canyon Commercial Section 2, **from** the **High Density Multi-Family (MF-2)** and **General Commercial (C-3)** districts **to** the **Low Density Multi-Family (MF-1)** district, for the property generally located at **2801 W University Ave** -- Sofia Nelson, CNU-A, Planning Director

ITEM SUMMARY:

Overview of Applicant's Request:

The applicant is seeking the rezoning of 25.097 acres out of a 29-acre parent tract from General Commercial (C-3) and High Density Multi-Family (MF-2) zoning districts to the Low Density Multi-Family (MF-1) zoning district. The remaining north 4 acres along the W University Ave frontage will remain zoned as General Commercial (C-3). See Exhibit 5 for the applicant's letter of intent.

Staff's Analysis:

Staff has reviewed the request in accordance with the Unified Development Code (UDC) and other applicable codes. Staff has determined that the proposed request complies with the criteria established in UDC Section Sec. 3.06.030 for a Zoning Map Amendment, as outlined in the attached Staff Report.

Public Comments:

As required by the Unified Development Code, all property owners within a 300-foot radius of the subject property were notified of the Zoning Map Amendment request (33 notices), a legal notice advertising the public hearing was placed in the Sun Newspaper (November 29, 2020) and signs were posted on-site. To date, staff has received 1 written comment in opposition to the request (Exhibit 6). With the original request (rezoning of only a 5.8-acre portion), staff received 7 written comments in opposition to the request (Exhibit 7).

Planning and Zoning Commission Recommendation:

At their December 15, 2020 meeting, the Planning and Zoning Commission recommended approval (4-0) of the request.

FINANCIAL IMPACT:

None. The Applicant has paid the required application fees.

SUBMITTED BY:

Andreina Dávila-Quintero, AICP, Current Planning Manager

ATTACHMENTS:

2020-21-REZ - P&Z Staff Report

Exhibit 1 - Location Map

Exhibit 2 - Future Land Use Map

Exhibit 3 - Zoning Map

Exhibit 4 - Development Standards and Permitted Uses of the MF-1 district

Exhibit 5 - Letter of Intent

Exhibit 6 - Public Comments

Exhibit 7 - Public Comments (original request)

Ordinance with Exhibits

Presentation

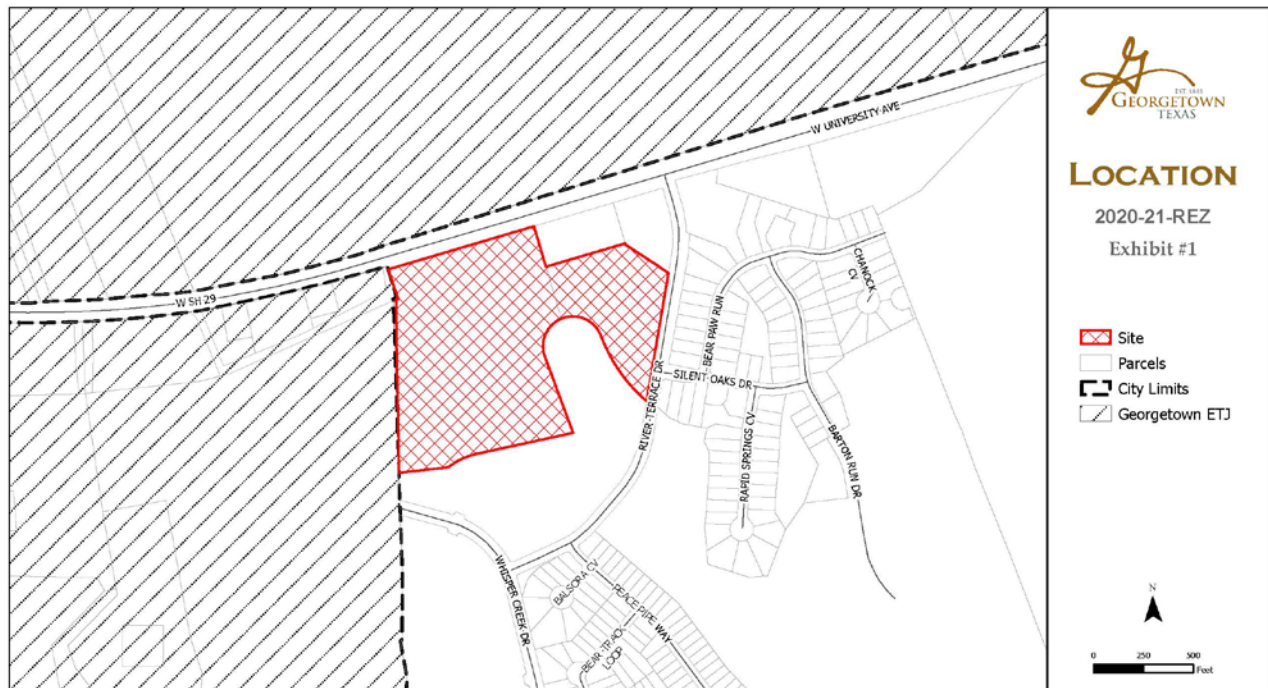


Planning and Zoning Commission Planning Department Staff Report

Report Date: December 11, 2020
Case No: 2020-21-REZ
Project Planner: Andreina Dávila-Quintero, AICP, Current Planning Manager

Item Details

Project Name: Shadow Canyon Commercial
Project Location: Southwest corner of University Ave/State Hwy 29 and River Terrace Dr, within City Council district No. 2.
Total Acreage: 25.097 acres
Legal Description: Lot 1, Shadow Canyon Commercial Sec 3, and a portion of Lot 1, Shadow Canyon Commercial Section 2
Applicant: Halff Associates, c/o John Teague
Property Owner: Christopher Cacheris, Harvard Investments, Inc.
Request: Zoning Map Amendment to rezone the subject property from the General Commercial (C-3) and High Density Multi-Family (MF-2) zoning districts to the Low Density Multi-Family (MF-1) zoning district.
Case History: This is the first public hearing of this request. A 5.8-acre portion of this request was originally scheduled for the November 17, 2020 Planning and Zoning Commission meeting. The Applicant opted to postpone the item to revise it and submitted a revised request to include the adjacent 19.21 acres.



Planning Department Staff Report

Overview of Applicant's Request

The applicant is seeking the rezoning of 25.097 acres out of a 29-acre parent tract from General Commercial (C-3) and High Density Multi-Family (MF-2) zoning districts to the Low Density Multi-Family (MF-1) zoning district. The remaining north 4 acres along the W University Ave frontage will remain zoned as General Commercial (C-3). See Exhibit 5 for the applicant's letter of intent.

Site Information

Location:

The subject property is located on the south side of W University Ave, approximately 2.59 miles west of IH-35. It is adjacent to the 278.2-acre Shadow Canyon master development plan.

Physical and Natural Features:

This property is located over the Edward's Aquifer Recharge Zone and has dense tree cover, particularly along its southern portion. A geologic assessment will be required prior to development of the property to identify any critical environmental features. A tree survey is needed to determine the number of protected and Heritage Trees on the property.

Future Land Use and Zoning Designations:

The subject property has a future land use designation of Mixed Density Neighborhood. It is currently zoned High Density Multi-Family (MF-2), General Commercial (C-3) and Scenic-Natural Gateway Overlay districts.

Surrounding Properties:

The area around the subject property primarily consists of largely undeveloped properties, or property that are currently being developed with single-family residential neighborhoods and some supporting commercial uses along the roadway. To the east, across from River Terrace Dr, is a single-family residential neighborhood currently under construction and that is part of the Shadow Canyon Planned Unit Development (PUD). To the north, across State Highway 29, is a quarry. To the west is property in the extraterritorial jurisdiction (ETJ) and development has not yet occurred. The parcel immediately to the south is designated as Habitat/Karst buffer in the Shadow Canyon Planned Unit Development (PUD).

The current zoning, Future Land Use designation, and existing uses of the adjacent properties to the north, south, east and west are outlined in the table below:

| DIRECTION | ZONING DISTRICT | FUTURE LAND USE | EXISTING USE |
|-----------|--------------------------------|----------------------------|----------------------------|
| North | General Commercial (C-3) | Mixed Density Neighborhood | Undeveloped |
| East | Residential Single-Family (RS) | Mixed Density Neighborhood | Single-Family Neighborhood |
| South | Residential Single-Family (RS) | Mixed Density Neighborhood | Undeveloped |
| West | None (ETJ) | Mixed Density Neighborhood | Undeveloped |



Property History:

The subject property was annexed in 2003 and zoned its current High Density Multi-Family (MF-2) zoning district in 2004. The property is a part of Shadow Canyon Commercial Sections 2 and 3, which were platted in 2010 and 2014, respectively.

Comprehensive Plan Guidance

Future Land Use Map:

The Mixed Density Neighborhood designation is meant to provide a variety of housing types within a traditional neighborhood. Housing types such as duplex, townhomes, or even a moderate density multi-family use may be appropriate within these neighborhoods if they are compatible the primary use of single-family homes. Compatibility between the multiple housing types may be achieved with development standards such as lot size, setbacks, and building design. Use of these housing types as transitional uses with adjacent commercial and high density multi-family uses is encouraged. Neighborhoods in the Mixed Density Neighborhood Designation should have strong pedestrian connections to neighborhood serving commercial uses to encourage walkable neighborhood.

DUA: 5.1-14.0

Target Ratio: 80% residential, 20% nonresidential

Primary Use: Variety of single-family home types (detached, duplex, townhome)

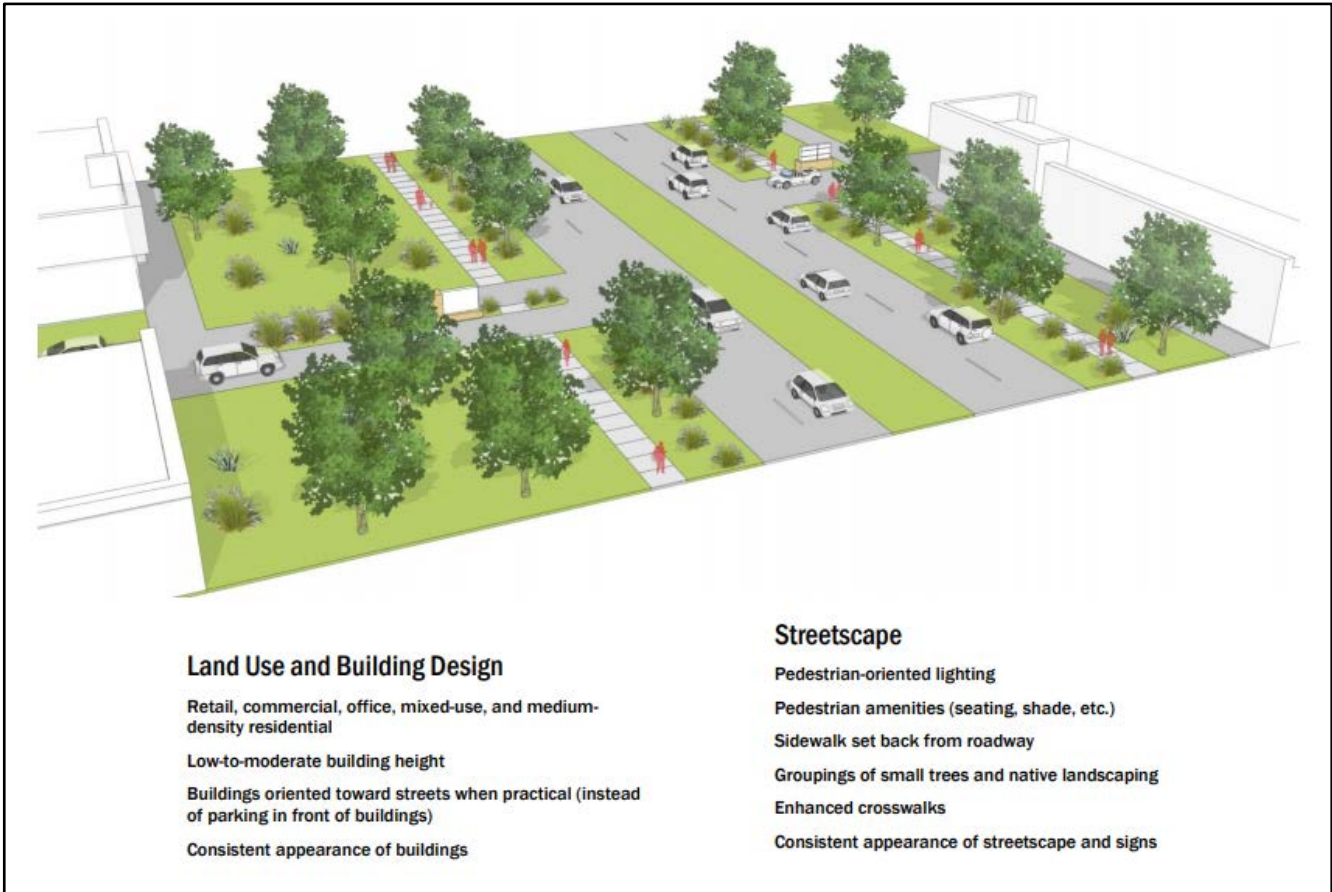
Secondary Uses: Limited neighborhood-serving retail, office, institutional, and civic uses

Other Master Plans: Image Corridors

Due to its location along W University Ave, the subject property is also located within the Urban Corridor, one of the Image Corridors adopted as part of the 2030 Plan Update. are located primarily

Planning Department Staff Report

near the core of the City along roadways with higher traffic volumes. Urban corridors encourage moderate-density commercial development while maintaining a safe and welcoming pedestrian environment. Street geometry and design support all transportation modes, particularly pedestrians and cyclists. These corridors accommodate a blend of retail, commercial, office, mixed -use, medium -density residential, and a limited amount of residential subdivisions.



Land Use and Building Design

Retail, commercial, office, mixed-use, and medium-density residential

Low-to-moderate building height

Buildings oriented toward streets when practical (instead of parking in front of buildings)

Consistent appearance of buildings

Streetscape

Pedestrian-oriented lighting

Pedestrian amenities (seating, shade, etc.)

Sidewalk set back from roadway

Groupings of small trees and native landscaping

Enhanced crosswalks

Consistent appearance of streetscape and signs

Utilities

The subject property is located within the City’s service area for water and wastewater. Additionally, it is located within the Pedernales Electric Cooperative (PEC) service area for electric. It is anticipated that there is adequate capacity to serve the subject property at this time. A Utility Evaluation may be required at time of Site Development Plan to determine capacity and any necessary utility improvements.

Transportation

The subject property’s primary access is on W University Ave, a major arterial road in accordance with the City’s Overall Transportation Plan. Arterial streets provide traffic movement through and between different areas within the city and access to adjacent land uses. Access is more controllable because driveway spacing requirements are much greater and, if safety dictates, overall access can be limited to specific turning movements. Major Arterials connect major traffic generators and land use concentrations and serve much larger traffic volumes over greater distances.

Planning Department Staff Report

The subject property has frontage on River Terrace Drive, a residential collector in the Shadow Canyon residential neighborhood. Collector streets are intended to balance traffic between arterial streets and local streets. These streets tend to carry a high volume of traffic over shorter distances, providing access and movement between neighborhoods, parks, schools, retail areas and the arterial street system.

A Traffic Impact Analysis (TIA) will be required at time of Site Development Plan for any development that generates more than two thousand (2,000) average daily trips based upon the latest edition of the Institute of Transportation Engineers (ITE) Trip Generation Manual.

Proposed Zoning district

The Low Density Multi-Family District (MF-1) is intended for attached and detached multi-family residential development, such as apartments, condominiums, triplexes, and fourplexes, at a density not to exceed 14 dwelling units per acre. Properties zoned MF-1 should have convenient access to major thoroughfares and arterial streets and should not route traffic through lower density residential areas. The MF-1 District is appropriate adjacent to both residential and non-residential districts and may serve as a transition between single-family districts and more intense multi-family or commercial districts.

Permitted uses in this district include, but are not limited to, attached and detached multi-family, group homes (7-15 residents), and rooming/boarding houses. Other uses such as day care facilities, churches, neighborhood amenity center and schools, among others are permitted subject to specific design limitations. Certain land uses, including assisted living, group homes (16+ residents) and halfway houses, require a Special Use Permit (SUP). Exhibit 4 contains a comprehensive list of MF-1 district permitted uses and development standards.

Intergovernmental and Interdepartmental Review

The proposed rezoning request was reviewed by all applicable City Departments to determine the appropriateness of the requested zoning on the subject property. No comments were issued regarding the zoning request.

Approval Criteria

Staff has reviewed the proposed rezoning request and has found that it fully complies with 5 of the criteria established in UDC Section 3.06.030 for a Zoning Map Amendment, as outlined below:

| ZONING MAP AMENDMENT (REZONING) APPROVAL CRITERIA | |
|---|-----------------|
| 1. The application is complete and the information contained within the application is sufficient and correct enough to allow adequate review and final action. | Complies |
| An application must provide the necessary information to review and make a knowledgeable decision in order for staff to schedule an application for consideration by the Planning and Zoning Commission and City Council. This application was reviewed by staff and deemed to be complete. | |
| 2. The zoning change is consistent with the Comprehensive Plan. | Complies |
| The subject property has a Future Land Designation of Mixed-Density Neighborhood, which envisions primarily a mix of residential uses, and secondary supporting commercial uses along | |

ZONING MAP AMENDMENT (REZONING) APPROVAL CRITERIA

major thoroughfares. This category envisions a blend of single-family and medium density housing options with a range in density from 5.1 to 14 dwelling units an acre. The current High Density Multi-Family (MF-2) allows for high density housing options developed at a maximum density of 24 dwelling units an acre. The General Commercial (C-3) zoning district allows for intense commercial uses that may generate high volumes of traffic. The proposed requested Low Density Multi-Family (MF-1) zoning district is more consistent and compatible with this vision by providing a medium density housing option at a maximum density of 14 dwelling units that may include attached products that can resemble a duplex, townhome and multi-family, adjacent to property that is entitled for commercial and higher density multi-family. In addition, the requested zoning district would also allow for a transition of intensity of uses from commercial along the major thoroughfare to medium density housing to lower density housing further to the south.

It should also be noted that the Mixed-Density Neighborhood designation envisions a residential to non-residential ratio of 80% residential and 20% commercial. The large area that is designated as mixed density neighborhood (approximately 2,538 acres) has primarily been developed with residential uses with little existing commercial uses along the major arterial. While this zoning change will lower the percentage of commercial of the larger mixed density neighborhood area (by approximately 0.24%), it does not make a significant impact because of the size of the property relative to the larger area. The subject property is closer to the residential neighborhood and maintains the commercial use along the major arterial, which is desired. Moreover, the subject property is in proximity to two nodes, one regional and one community node, that are located where two major thoroughfares intersect with Hwy 29.

3. The zoning change promotes the health, safety or general welfare of the City and the safe orderly, and healthful development of the City.

Complies

The requested Low Density Multi-Family (MF-1) zoning district is less intense and generates less trips than the current High Density Multi-Family (MF-2) and General Commercial (C-3), which allows the most intense commercial uses in the City. Approximately 19.2 acres of the area proposed to be rezoned is zoned High Density Multi-Family (MF-2), which allows a maximum density of 24 dwelling units an acre. Using this gross area, a maximum of approximately 460 dwelling units may be developed on the 19.2 acres. The revised request proposes to rezone the 19.2 acres of High Density Multi-Family (MF-2) and the 5.8 acres of General Commercial (C-3) into the Low Density Multi-Family (MF-1) zoning district, which allows a maximum density of 14 dwelling units an acre. Using the new gross area of 25 acres, a maximum of approximately 351 dwelling units may be developed on the 25 acres, which is significantly less than the total number of units currently entitled on a portion of the subject property. Because of this, the proposed zoning district provides for a more orderly development to transition from commercial along the major arterial to medium density housing to lower density housing.

4. The zoning change is compatible with the present zoning and conforming uses of nearby property and with the character of the neighborhood.

Complies

The proposed multi-family zoning district promotes a transition in uses from commercial along the major arterial to medium density residential to the low density residential uses in the existing and developing neighborhood to the south. Additionally, the remaining portion of the parent tract to

Planning Department Staff Report

ZONING MAP AMENDMENT (REZONING) APPROVAL CRITERIA

the north and property immediately to the east are zoned General Commercial (C-3). Due to the commercial zoning district surrounding this property to the north and east, and developing single-family residential neighborhood to the south, the requested zoning district is compatible with the surrounding uses and zoning districts.

| | |
|--|-----------------|
| 5. The property to be rezoned is suitable for uses permitted by the District that would be applied by the proposed amendment. | Complies |
|--|-----------------|

The property is suitable for development with sufficient roadway access and land area to meet the applicable development standards of the Low Density Multi-Family (MF-1) district. There are no known environmental issues within the parcel based on visual surface inspections.

Based on the findings listed above, staff finds that the requested zoning district of Low Density Multi-Family (MF-1) meets the approval criteria for a Zoning Map Amendment. The Low Density Multi-Family (MF-1) zoning district is consistent with the future land use designation as it allows a mix of detached and attached multi-family uses that can resemble a single-family, duplex, townhome or multi-family development, developed at a range of densities not to exceed 14 dwelling units an acre. In addition, due to its adjacency to intense commercial properties, as well as close proximity to single-family residential, it provides a gradual transition from the residential uses to the south, to the commercial uses to the north along the major arterial.

Meetings Schedule

December 15, 2020 – Planning and Zoning Commission

January 12, 2021– City Council First Reading of the Ordinance

January 26, 2021 – City Council Second Reading of the Ordinance

Public Notification

As required by the Unified Development Code, all property owners within a 300-foot radius of the subject property were notified of the Zoning Map Amendment request (33 notices), a legal notice advertising the public hearing was placed in the Sun Newspaper (November 29, 2020) and signs were posted on-site. To date, staff has received 1 written comment in opposition to the request (Exhibit 6). With the original request (rezoning of only a 5.8-acre portion), staff received 7 written comments in opposition to the request (Exhibit 7).

Attachments

Exhibit 1 – Location Map

Exhibit 2 – Future Land Use Map

Exhibit 3 – Zoning Map

Exhibit 4 – Design and development standards of the Low Density Multi-Family (MF-1) zoning district

Exhibit 5 – Letter of Intent

Exhibit 6 – Public Comments

Exhibit 7 – Public Comments original request

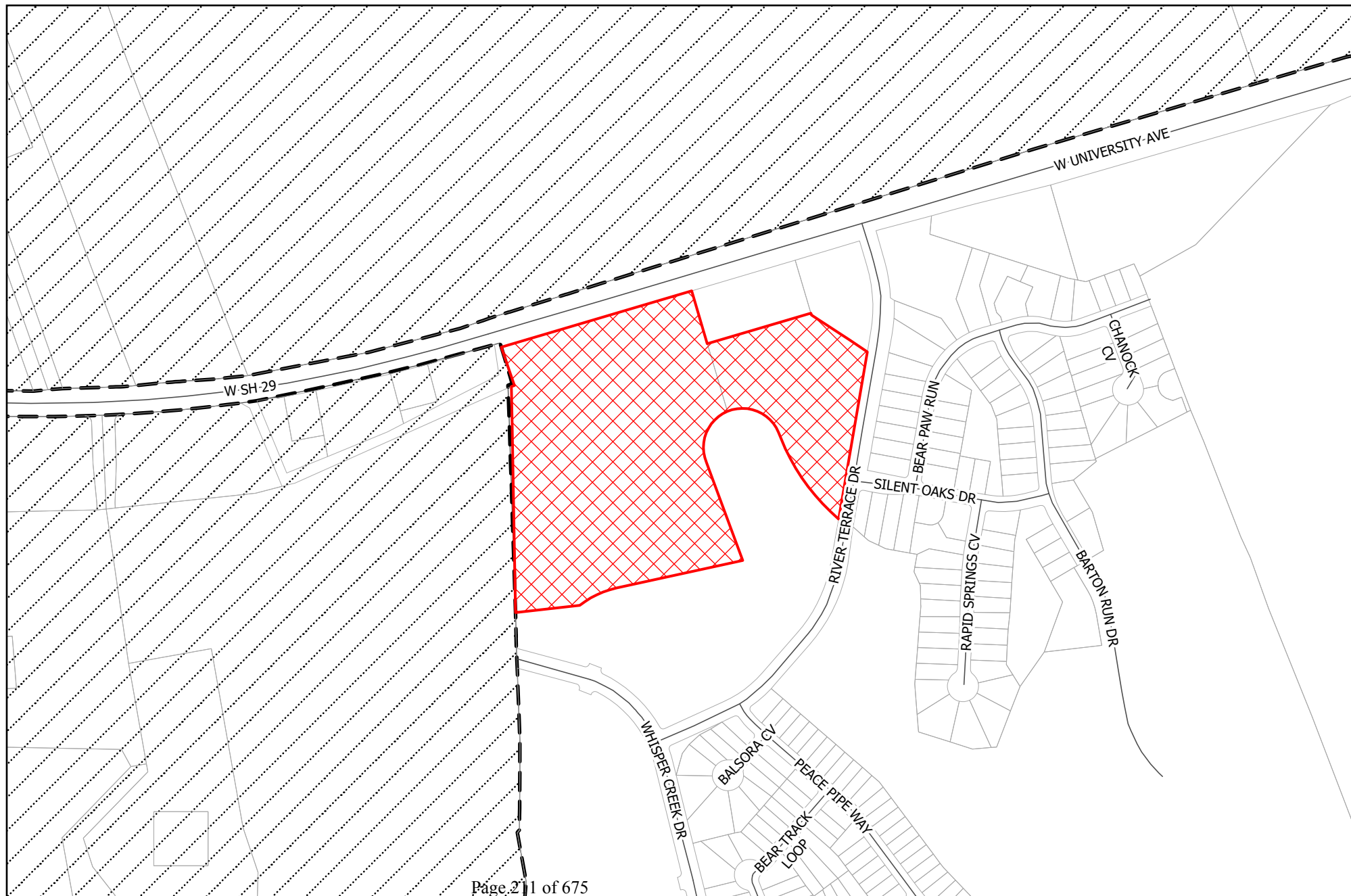
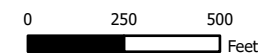


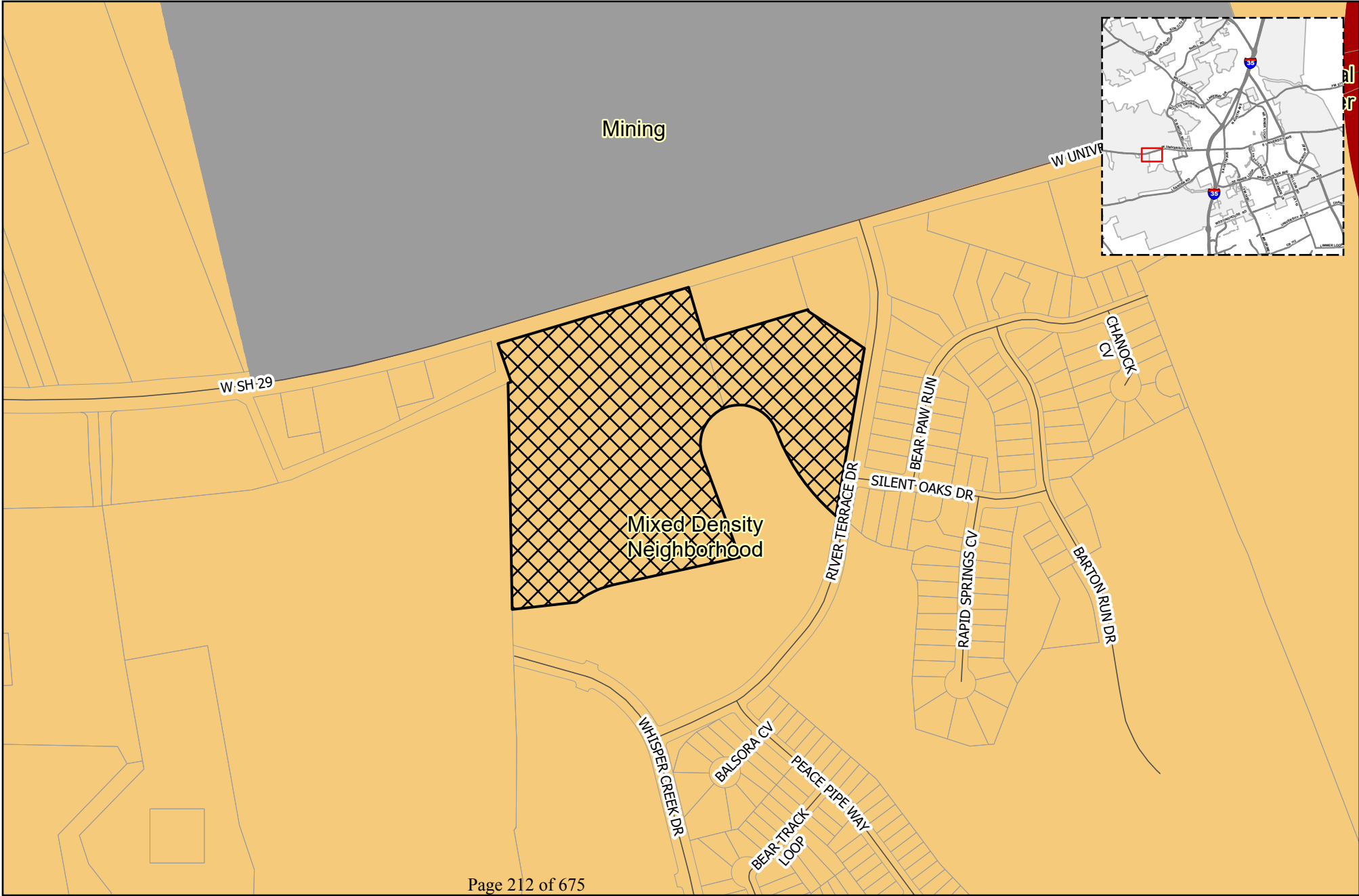
LOCATION

2020-21-REZ

Exhibit #1

-  Site
-  Parcels
-  City Limits
-  Georgetown ETJ

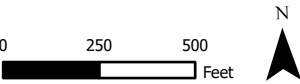




**FUTURE LAND USE/
OVERALL TRANSPORTATION
PLAN**

**2020-21-REZ
Exhibit #2**





























- Site
- Parcels
- City Limits
- Georgetown ETJ
- Future Land Use**
 - Community Center
 - Employment Center
 - Institutional
 - Mining
 - Mixed Density Neighborhood
 - Neighborhood
 - Open Space
 - Parks and Recreation
 - Regional Center
 - Rural Residential
 - Special Area
- Thoroughfare**
 - Existing Freeway
 - Existing Major Arterial
 - Existing Minor Arterial
 - Existing Collector
 - Proposed Freeway
 - Proposed Major Arterial
 - Proposed Minor Arterial
 - Proposed Collector
 - Proposed Rail

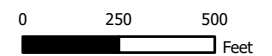


ZONING

2020-21-REZ

Exhibit #3

-  Site
 -  PUD
 -  City Limits
 -  Courthouse View Overlay
 -  Old Town Overlay
 -  Historic Overlay
 -  Downtown Overlay
 -  SPO Overlay
 -  Gateway Overlay
 -  Parcels
 -  Georgetown ETJ
- Zoning**
-  AG - Agriculture
 -  BP - Business Park
 -  C-1 - Local Commercial
 -  C-3 - General Commercial
 -  CN - Neighborhood Commercial
 -  IN - Industrial
 -  MF-1 - Low-Density Multi-family
 -  MF-2 - High-Density Multi-family
 -  MH - Manufactured Housing
 -  MU-DT - Mixed-Use Downtown
 -  OF - Office
 -  PF - Public Facility
 -  RE - Residential Estate
 -  RL - Residential Low-Density
 -  RS - Residential Single-Family
 -  TF - Two-Family
 -  TH - Townhouse



Low Density Multifamily (MF-1) District

| District Development Standards | | |
|-----------------------------------|---------------------------------------|---|
| Maximum Density = 14 units/acre | Front Setback = 20 feet | Bufferyard = 15 feet with plantings adjacent to RE, RL, RS,TF, or MH districts; 10 feet with plantings adjacent to residences in AG |
| Maximum Building Height = 35 feet | Side Setback = 10 feet | |
| Maximum Units per Building = 14* | Side Setback to Residential = 20 feet | |
| | Rear Setback = 10 feet | |
| Lot size = 12,000 sq.ft. | Rear Setback to Residential = 20 feet | |
| Lot width minimum = 50 feet | Side/Rear Street Setback = 15 feet | *Can be waived if the building design meets the criteria of Sec. 6.02.080.C. |
| | Unloaded Street Setback = 20 feet | |

| Specific Uses Allowed within the District | | |
|---|---------------------------------------|-----------------------------------|
| Allowed by Right | Subject to Limitations | Special Use Permit (SUP) Required |
| Group Home (7-15 residents) | Church (with columbarium) | Activity Center (youth/senior) |
| Multifamily Attached | Day Care (family/group/commercial) | Assisted Living |
| Multifamily Detached | Golf Course | Bed and Breakfast (with events) |
| Rooming/Boarding House | Nature Preserve/Community Garden | Emergency Services Station |
| Utilities (Minor) | Neighborhood Amenity Center | Group Home (16+ residents) |
| | Park (Neighborhood) | Halfway House |
| | School (Elementary) | Nursing/Convalescent Home |
| | Utilities (Intermediate) | Orphanage |
| | Wireless Transmission Facility (<41') | School (Middle) |
| | | Student Housing |



November 18, 2020

City of Georgetown
406 W 8th St.
Georgetown, TX 78626

Re: Letter of Intent for Rezoning (Shadow Canyon)

The current subject tracts are part of a 29-acre area which is zoned as General Commercial (C-3) and High Density Multi-Family (MF-2). The subject tracts are 25.097 acres total and are proposed to be Low Density Multi-Family (MF-1). The remaining four acres will remain zoned as General Commercial (C-3). Retaining a total of four acres of commercial zoned property fronting the highway is an appropriate land use balance at this location.

Subject Tracts:

- 25.097 acres
- Existing Zoning Designation is General Commercial (C-3) and High Density Multi-Family (MF-2)
- Existing Future Land Use designation is Mixed Density Neighborhood.
- The subject tracts border River Terrace Dr. and abut the southern edge of the remaining four acres.
- No existing structures to be maintained or utilized for future development.

Proposed Zoning District:

- 25.097 acres from General Commercial (C-3) and High Density Multi-Family (MF-2) to Low Density Multi-Family (MF-1)

UDC Sec 3.06.030 – Approval Criteria:

- A. The application is complete, and the information contained within the application is sufficient and correct enough to allow adequate review and final action;

Halff Comment: All the documents required per the Zoning Map Amendment Checklist have been provided. Furthermore, the information, exhibits, and surveys have been prepared by a Texas Licensed Professional Engineer and Texas Registered Professional Land Surveyor. Existing zoning is based off currently published City of Georgetown zoning maps and the Future Land Use Plan. Proposed uses are compatible and match existing zoning districts immediately abutting the subject property.

- B. The zoning change is consistent with the Comprehensive Plan;

Halff Comment: The 2030 Comprehensive Plan sets the basis for the Future Land Use Plan (FLUP). The FLUP shows the subject tract to be within the Mixed Density Neighborhood designation which is described as:

“This category includes a blend of single-family and medium density housing types. Medium density housing options are consistent with and complementary to the traditional single-family neighborhood with emphasis on connectivity and access to neighborhood amenities including schools and parks. Development standards for medium density housing and any nonresidential uses are in place to ensure compatibility through increased setbacks for taller buildings, architectural designs that are consistent with the neighborhood, location of more intense uses and development nearer to the edge of developments, and enhanced landscaping. Additionally, any nonresidential uses are located primarily at arterials and other major roadway intersection and include appropriate buffering and pedestrian orientation to support the surrounding residents.

As represented on the provided current zoning exhibit, the proposed district of MF-1 is inline and compatible with the 2030 Comprehensive Plan because it provides medium housing options in an appropriate location – between intense commercial zoning and single-family zoning. The proposed district of MF-1 is more suitable for the land with lower impervious cover and more green space than a commercial development. Additionally, the rezoning of the subject property maintains the desired residential to non-residential ratio in the Comprehensive Plan.

- C. The zoning change promotes the health, safety or general welfare of the City and the safe orderly, and healthful development of the City;

Halff Comment: An MF-1 development would significantly reduce traffic on River Terrace Dr. versus commercial development. MF-1 development is less intense than what is currently allowed by the existing zoning designations of C-3 and MF-2. The requested zoning change promotes responsible growth in alignment with the current zoning surrounding the subject tract and the City 2030 Comprehensive Plan for the area.

- D. The zoning change is compatible with the present zoning and conforming uses of nearby property and with the character of the neighborhood;

Halff Comment: The requested zoning change promotes responsible growth because it provides an orderly transition of land uses. The subject property currently has intense commercial zoning adjacent to single-family zoning. The rezoning of 25.097 acres to MF-1 will create a smooth transition of uses that respects the existing single-family zoning. The proposed district of MF-1 is also more compatible and in character with single-family due to reduced building heights, site lighting, and parking lots.

- E. The property to be rezoned is suitable for uses permitted by the district that would be applied by the proposed amendment.

Halff Comment: The property is suitable for development with sufficient roadway access and land area to meet the applicable development standards of the MF-1 district. There are no known environmental issues within the parcel based on visual surface inspections.

Sincerely,
HALFF ASSOCIATES, INC.



John J. Teague, III, PE
Land Development Team Leader

Andreina Davila

From: Gaynor Gray <[REDACTED]>
Sent: Monday, November 30, 2020 2:24 PM
To: Andreina Davila
Subject: Re: [EXTERNAL] Riverview

[EXTERNAL EMAIL]

Thank you again for your detailed reply - very informative.

I am disappointed to see that the area originally designated for commercial use is likely to become more apartments. Given the distance from Wolf Ranch center, I had hoped we would see some small stores at least. The size of this apartment complex is very concerning and I would ask that you please forward my comments/concerns to the appropriate person prior to the Dec 15 meeting. I know some of our neighbors have the same concerns and have also been in touch so, hopefully, our comments as a whole will be considered before anything is approved. A rendering of how the complex would look from River Terrace would also be helpful if available?

I appreciate you keeping me up to date and addressing my concerns, the information has been very helpful.

Mirna Garcia

From: Renee Fox <[REDACTED]>
Sent: Monday, November 16, 2020 11:46 AM
To: WEB_Planning
Subject: [EXTERNAL] planning meeting for 2020-21-REZ P & Z

[EXTERNAL EMAIL]

I am writing to object to the planning of changing zoning to multi family on this project. I live at 114 rapid springs cove and my neighborhood abuts this piece of land. Our homes are priced in the \$400k range and believe that having a multifamily project next door to us will affect the value of our homes.

thank you

--

Renee Fox

Mirna Garcia

From: Amanda Tjaden <[REDACTED]>
Sent: Monday, November 16, 2020 3:34 PM
To: WEB_Planning
Subject: [EXTERNAL] Planning Meeting for 2020-21- REZ P&Z

[EXTERNAL EMAIL]

I am writing to object to the proposed zoning change for this project. My family moved into our home at 1106 Silent Oaks almost 6 months ago and located close to the property in question. We actually made the move to this neighborhood after our last neighborhood decided to have multi family apartments built adjacent to our neighborhood. We noticed there was a lot more traffic in the neighborhood and the crime levels increased significantly. It also brought down the value of our homes. In the short time our family has been in this neighborhood we have built relationships with our neighbors and I know everyone has worked extremely hard to be able to afford these homes most of which are in the \$400k range. I very firmly believe that multi-family projects directly across from the main entrance to our neighborhood will bring down the value to our homes we all just purchased and will also increase traffic in the area which often leads to increase in crime.

Thank you for taking this into consideration. Our neighborhood is our livelihood and I hope it is seriously considered to NOT rezone this property.

Amanda Tjaden
512-589-0424

Mirna Garcia

From: Ben Conlan <[REDACTED]>
Sent: Monday, November 16, 2020 12:00 PM
To: WEB_Planning
Subject: [EXTERNAL] Zoning next to Riverview

[EXTERNAL EMAIL]

I am writing to object to the planning of changing zoning to multi family on the land near the entrance to Riverview on Hwy 29. I live at 102 Chanock Cove in Riverview (home being built now, moving in soon!) and my neighborhood is right next to this piece of land. Our homes are priced in the \$400k-\$500K range and believe having a multifamily project next door to us will affect the value of our homes.

Thank you in advance!

Ben Conlan
512-470-7884

Sent from my Verizon, Samsung Galaxy smartphone

Mirna Garcia

From: Demond Whitehead <[REDACTED]>
Sent: Monday, November 16, 2020 12:05 PM
To: WEB_Planning
Subject: [EXTERNAL] PLANNING MEETING FOR 2020-21-REZ P & Z

[EXTERNAL EMAIL]

Good morning,

I am writing to object to the planning of changing zoning to multi family on this project. I live at 118 rapid springs cove and my neighborhood abuts this piece of land. Our homes are priced in the \$400k range and believe that having a multifamily project next door to us will affect the value of our homes.

Demond
Sent from my iPhone

From: Heather Smith Hilgers <[REDACTED]>
Sent: Monday, November 16, 2020 1:02 PM
To: WEB_Planning
Subject: [EXTERNAL] PLANNING MEETING FOR 2020-21-REZ P & Z: 2801 W. University
Attachments: 2020-11-16_123952.pdf

[EXTERNAL EMAIL]

To the Planning Committee or Case manager Andreina Davila-Quintero,

Good Morning my name is Heather Hilgers and I live at 146 Rapid Springs Cove in the Riverview neighborhood in Georgetown Texas. I'm a neighboring property owner to the above proposed rezoning of 2801 W. University.

I OBJECT to the following rezoning for the above mentioned property for the following reasons:

- The high speed traffic off Highway 29 (University) is already VERY dangerous, and having that many people in the apartments coming in and pulling off onto the highway will make getting out of our neighborhood even more difficult than it already is. ESPECIALLY if there is an entrance or exit for these apartments off River Terrace Drive.
- The homes adjacent to the rezone are \$400k plus homes, some on half acres. If the residences built on the rezoned property will be duplex/fourplex or apartments that will be rented, that will SERIOUSLY hurt our neighborhoods home values and impact future development in our projected phases and the types of homes and builders that are built in Riverview going forward.
- Attached is the zoning map we received when purchasing our lot. The promise of larger lots in the future phases of our development

as well as the Multifamily not being adjacent to our lots were one of the most major attractions to this area for us. If multifamily is also allowed to be built on these acres on top of what is already zoned for multifamily it will seriously impact us as homeowners.

Please consider keeping this property commercial, or requiring the properties built to be owned, not rented. We were promised open space, lush trees, creeks and rolling topography of our development, NOT over 25 acres of apartments! Please help keep Georgetown safe and an investment for it's property owners.

Thank you so much for your time,
Heather Hilgers



RESIDENTIAL LOT SUMMARY

| LAND USE | ACRES | DE |
|--------------|----------|-----|
| 45' Product | 28.8 AC | 4.8 |
| 50' Product | 38.1 AC | 4.5 |
| 60' Product | 99.4 AC | 3.0 |
| Sub-Total | 166.3 AC | |
| MULTI FAMILY | 19.5 AC | |

Mirna Garcia

From: Kala Nenkova <[REDACTED]>
Sent: Monday, November 16, 2020 3:34 PM
To: WEB_Planning
Subject: [EXTERNAL] Objection to proposed zoning change

[EXTERNAL EMAIL]

Hello planning committee,

I live in 133 Rapid Springs Cove Georgetown, TX. I am writing to you in relation to the proposed zoning change to the land next to my neighborhood in Georgetown called Riverview. I am completely against this proposed change for several reasons including:

- Our homes are priced in the \$400k range and have a multi-family project will devalue the price of our brand new homes
- With a multi-family project steps away from our doorstep it will devalue our amenities and will bring it more traffic in and around our neighborhood
- When I made the choice to buy land and build my forever home here it was based on the plans and what was planned to be built surrounding our area at that time - which was a commercial zone. If I had known it would be a mulit-family I wouldn't have bought here so please don't change the zone to a multifamily

Thank you for hearing what I have to say.

Regards,
Kala

--

Kala Krassimirova Nenkova
IC2 Institute Global Commercialization Group
The University of Texas at Austin,
Austin, Texas
[+1 469-386-0769](tel:+14693860769)

Mirna Garcia

From: [REDACTED]
Sent: Monday, November 16, 2020 1:11 PM
To: WEB_Planning
Subject: [EXTERNAL] PLANNING MEETING FOR 2020-21-REZ P & Z

[EXTERNAL EMAIL]

Hello,

I live at 146 Rapid Springs Cove in Phase 1 of the Riverview subdivision. My neighborhood abuts the piece of land that is proposed to be rezoned to multi-family. I am writing to object to this rezoning. Our homes are priced in the \$400k range and believe that having a multifamily project next door to us will affect the value of the homes in our neighborhood. Additionally, the increased occupancy from a multi-family dwelling on top of the already scheduled neighborhood will cause a dangerous amount of traffic at the intersection coming into the neighborhood and highway 29.

Matthew Hilgers, CISSP, C|EH
512-787-7419
[REDACTED]

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For details about what personal information we collect and why, please see our Privacy Notice on our website at: [Read privacy policy](#)

ORDINANCE NO. _____

An Ordinance of the City Council of the City of Georgetown, Texas, amending part of the Official Zoning Map to rezone 25.093 acres being all of Lot 1, Shadow Canyon Commercial Sec 3, and a portion of Lot 1, Shadow Canyon Commercial Section 2, generally located at 2801 W University Ave, from the High Density Multi-Family (MF-2) and General Commercial (C-3) districts to the Low Density Multi-Family (MF-1) district; repealing conflicting ordinances and resolutions; including a severability clause; and establishing an effective date.

Whereas, an application has been made to the City for the purpose of amending the Official Zoning Map, adopted on the 12th day of June, 2012, for the specific Zoning District classification of the following described real property ("The Property"):

25.093 acres being all of Lot 1, Shadow Canyon Commercial Sec 3, and 5.883 acres out of Lot 1, Shadow Canyon Commercial Section 2, as recorded in Document Number 2010086635 and 2014085365 of the Official Public Records of Williamson County, Texas, hereinafter referred to as "The Property"; and

Whereas, public notice of such hearing was accomplished in accordance with State Law and the City's Unified Development Code through newspaper publication, signs posted on the Property, and mailed notice to nearby property owners; and

Whereas, the Planning and Zoning Commission, at a meeting on December 15, 2020, held the required public hearing and submitted a recommendation of approval to the City Council for the requested rezoning of the Property; and

Whereas, the City Council, at a meeting on January 12, 2021, held an additional public hearing prior to taking action on the requested rezoning of the Property.

Now, therefore, be it ordained by the City Council of the City of Georgetown, Texas, that:

Section 1. The facts and recitations contained in the preamble of this Ordinance are hereby found and declared to be true and correct, and are incorporated by reference herein and expressly made a part hereof, as if copied verbatim. The City Council hereby finds that this Ordinance implements the vision, goals, and policies of the Georgetown 2030 Comprehensive Plan and further finds that the enactment of this Ordinance is not inconsistent or in conflict with any other policies or provisions of the 2030 Comprehensive Plan and the City's Unified Development Code.

Section 2. The Official Zoning Map, as well as the Zoning District classification(s) for the Property is hereby amended from the High Density Multi-Family (MF-2) and General Commercial (C-3) districts to the Low Density Multi-Family (MF-1) district, in accordance with

Ordinance Number: _____

Page 1 of 2

Description: Shadow Canyon Commercial

Case File Number: 2020-21-REZ

Date Approved:

Exhibits A-B Attached

the attached *Exhibit A* (Location Map) and *Exhibit B* (Legal Description) and incorporated herein by reference.

Section 3. All ordinances and resolutions, or parts of ordinances and resolutions, in conflict with this Ordinance are hereby repealed, and are no longer of any force and effect.

Section 4. If any provision of this Ordinance or application thereof to any person or circumstance shall be held invalid, such invalidity shall not affect the other provisions, or application thereof, of this Ordinance which can be given effect without the invalid provision or application, and to this end the provisions of this Ordinance are hereby declared to be severable.

Section 5. The Mayor is hereby authorized to sign this ordinance and the City Secretary to attest. This ordinance shall become effective in accordance with the provisions of state law and the City Charter of the City of Georgetown.

APPROVED on First Reading on the 12th day of January, 2021.

APPROVED AND ADOPTED on Second Reading on the 26th day of January, 2021.

THE CITY OF GEORGETOWN:

ATTEST:

Josh Schroeder
Mayor

Robyn Densmore, TRMC
City Secretary

APPROVED AS TO FORM:

Skye Masson
City Attorney

Ordinance Number: _____

Description: Shadow Canyon Commercial

Date Approved:

Page 2 of 2



Case File Number: 2020-21-REZ

Exhibits A-B Attached



LOCATION

2020-21-REZ
Exhibit A

-  Site
-  Parcels
-  City Limits
-  Georgetown ETJ

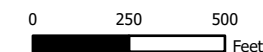


Exhibit B

Lot 1, Shadow Canyon Commercial Sec 3.

EXHIBIT "B"

County: Williamson
Project: Shadow Canyon Zoning
Half AVO: 38608.002

Page 1 of 4
September 30, 2020

A METES AND BOUNDS DESCRIPTION OF 5.883 ACRES (APPROX. 256,262 SQ. FT.), BEING A PORTION OF LOT 1, SHADOW CANYON COMMERCIAL SECTION 2, A SUBDIVISION OF RECORD FILED UNDER DOCUMENT NO. 2010086635 OF THE OFFICIAL PUBLIC RECORDS OF WILLIAMSON COUNTY, TEXAS (O.P.R.W.C.T.); SAID 5.883 ACRES OF LAND BEING MORE PARTICULARLY DESCRIBED BY METES AND BOUNDS AS FOLLOWS:

BEGINNING at a 1/2-inch iron rod with "Capital Surveying Co." cap found in the west right-of-way line of River Terrace Drive (65 foot right-of-way width, as described in Document No. 2019051534), at the most southerly corner of Lot 1 of said Shadow Commercial Section 2, being an easterly corner of a remainder portion of a called 278.212 acre tract of land conveyed to 278 Georgetown Inc. in Document No. 2014094143 of the Official Public Records of Williamson County, Texas, and being the most southerly corner of the herein described tract of land;

THENCE with the southwesterly lines of Lot 1 of said Shadow Commercial Section 2, being northeasterly lines of a remainder portion of the said 278.212 acre tract, the following three (3) courses and distances:

1. With a curve to the right, having a radius of 797.62 feet, a delta angle of 24°38'39", an arc length of 343.07 feet, and a chord which bears North 37°12'13" West, a distance of 340.44 feet to a 1/2-inch iron rod with "RPLS 5784" cap found for endpoint of said curve;
2. North 22°57'54" West, a distance of 68.09 feet to a 1/2-inch iron rod with "RPLS 5784" cap found for a point of curvature;
3. With said curve, to the left, having a radius of 150.00 feet, a delta angle of 89°56'44", an arc length of 235.48 feet, and a chord which bears North 67°50'10" West, a distance of 212.03 feet to a 1/2-inch iron rod with "RPLS 5784" cap found for the southwest corner of Lot 1 of said Shadow Commercial Section 2, being a southeasterly corner of Lot 1, Shadow Canyon Commercial Section 3, a subdivision of record filed under Document No. 2014085365, O.P.R.W.C.T., from which a 1/2-inch iron rod with "RPLS 5784" cap found in an easterly line of Lot 1 of said Shadow Canyon Commercial Section 3 bears with said curve, to the left, having a radius of 150.00 feet, a delta angle of 90°00'09", an arc length of 235.63 feet and a chord which bears South 22°11'04" West, a distance of 212.14 feet;

THENCE North 16°31'17" West, along the common line of Lot 1 of said Shadow Canyon Commercial Section 3, and Lot 1 of said Shadow Canyon Commercial Section 2, a distance of 263.82 feet to a calculated point for the northwest corner of the herein described tract of land, from which a 1/2-inch iron with "RPLS 5784" cap found in the south right-of-way line of State Highway 29 (R.O.W. with varies) at the most northerly common corner of Lot 1 of said Shadow Canyon Commercial Section 3 and Lot 1 of said Shadow Canyon Commercial Section 2, bears North 16° 31'17" West, a distance of 220.08 feet.

THENCE North 73°28'43" East, over and across Lot 1 of said Shadow Canyon Commercial Section 2, a distance of 415.98 feet to a 1/2-inch iron rod with a "Half" cap set at an angle point in the common line of Lot 1 of said Shadow Canyon Commercial Section 2 and Shadow Canyon Commercial Section 1, a subdivision of record filed under Cabinet EE, Slides 321-322 of the Plat Records of Williamson County, Texas, for the northeast corner of the herein described tract of land, from which a 1/2-inch iron rod with a "Half" cap set in the south right-of-way line of State Highway 29 at the most northerly common corner of Lot 1 of said Shadow Canyon Commercial Section 2 and Lot 1 of said Shadow Canyon Commercial Section 1 bears North 16° 27' 40" East, a distance of 220.31;

EXHIBIT "B"

County: Williamson
Project: Shadow Canyon
Halff AVO: 38608.002

Page 2 of 4
September 30, 2020

THENCE South 57°11'05" East, along the common line of Lot 1 of said Shadow Canyon Commercial Section 2 and said Shadow Canyon Commercial Section 1, a distance of 257.66 feet to a 1/2-inch iron rod with a "Halff" cap set on the west right-of-way line of said River Terrace Drive for the southeast corner of the herein described tract of land, from which a 1/2-inch iron rod with "Halff" cap set at point of curvature in the westerly right-of-way line of said River Terrace Drive, being the easterly line of said Shadow Canyon Commercial Section 1, bears North 09°48'19" East, passing a 1/2-inch iron rod with "RJ Surveying" cap found at a distance of 72.84 feet, in all, a distance of 75.06 feet;

THENCE South 09°48'19" West, along the westerly right-of-way line of said River Terrace Drive, being the easterly line of Lot 1 of said Shadow Canyon Commercial Section 2, a distance of 655.00 feet to the **POINT OF BEGINNING** and containing 5.883 acres of land, more or less, within these metes and bounds.

NOTES:

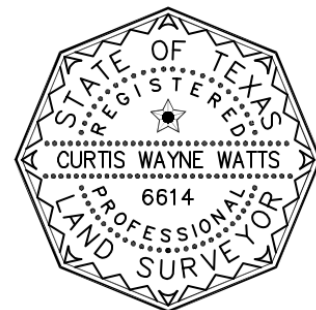
Basis of bearings is the Texas Coordinate System of 1983, Central Zone 4203 (NAD83/2011). All distances shown hereon are surface and may be converted to grid by dividing by the surface adjustment factor of 1.00012, scaled about 0,0. Units: U.S. Survey Feet. Last date of Field Survey: September 28, 2020.

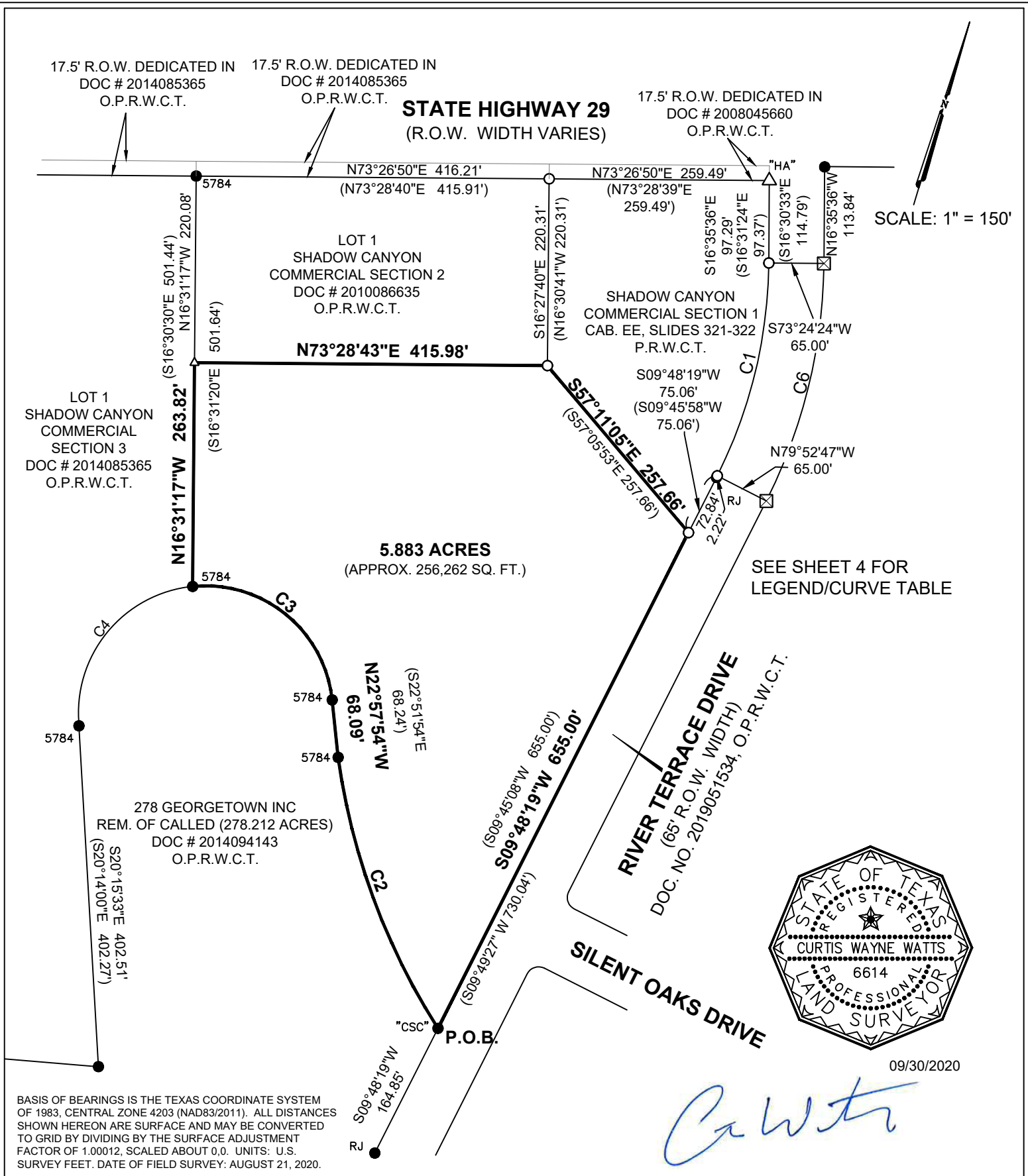
I, Curtis Wayne Watts, a Registered Professional Land Surveyor, do hereby certify that the above description is true and correct to the best of my knowledge and belief and that the property described herein was determined by a survey made on the ground under my direction and supervision.

09/30/2020

Curtis Wayne Watts, R.P.L.S.
Registered Professional Land Surveyor
Texas Registration No. 6614
Halff Associates, Inc., TBPELS Firm No. 10029607
9500 Amberglen Blvd., Bldg. F, Suite 125
Austin, Texas 78729 512-777-4600

Date





| | |
|---------------|------------|
| Issued: | 09/30/2020 |
| Scale: | 1" = 150' |
| Drawn By: | CWW |
| Approved By: | CWW |
| HALFF Office: | AUS |
| SV-ZD-38608 | |

5.883 ACRES
(APPROX. 256,262 SQ. FT.)
 PORTION OF LOT 1, SHADOW CANYON COMMERCIAL SECTION 2
 WILLIAMSON COUNTY, TEXAS
 Page 234 of 675

| | |
|---|-----------------|
|  9500 AMBERGLEN BLVD., BLDG. F, SUITE 125 AUSTIN, TEXAS 78729 TBPELS SURVEYING FIRM #10029607 TEL (512) 777-4600 FAX (512) 252-8141 | |
| SV-ZD-38608.002 | 03 of 04 |

LEGEND

- 1/2" REBAR FOUND (OR AS NOTED)
- ⁵⁷⁸⁴ 1/2" REBAR WITH "5784" CAP FOUND
- ^{RJ} 1/2" REBAR WITH "RJ SURVEYING" CAP FOUND
- ^{CSC} 1/2" REBAR WITH "CAPITAL SURVEYING CO." CAP FOUND
- 1/2" REBAR WITH "HALFF" CAP SET
- △ MAG NAIL WITH "HALFF" WASHER SET
- "HA" ☒ "X" IN CONCRETE FOUND
- △ CALCULATED POINT
- () RECORD INFORMATION

| CURVE | ARC LENGTH | RADIUS | DELTA ANGLE | CHORD BEARING | CHORD LENGTH |
|-------|------------|-----------|-------------|---------------|--------------|
| C1 | 260.37' | 567.50' | 26°17'14" | S03°23'02"E | 258.09' |
| | (260.39') | (567.50') | (26°17'22") | (S03°22'43"E) | (258.11') |
| | (260.44') | (567.50') | | (N03°23'36"W) | (258.16') |
| C2 | 343.07' | 797.62' | 24°38'39" | N37°12'13"W | 340.44' |
| | (343.51') | (797.62') | | (N37°12'18"W) | (340.86') |
| C3 | 235.48' | 150.00' | 89°56'44" | N67°50'10"W | 212.03' |
| | (235.67') | (150.00') | | (S67°51'14"E) | (212.17') |
| C4 | 235.63' | 150.00' | 90°00'09" | S22°11'04"W | 212.14' |
| | (235.76') | (150.00') | | (N22°08'E) | (212.23') |
| C5 | 156.18' | 345.00' | 25°56'14" | S64°39'55"W | 154.85' |
| | (156.12') | (345.00') | | (S64°42'W) | (154.79') |
| C6 | 290.60' | 632.50' | 26°19'28" | N03°21'57"W | 288.05' |
| | (290.70') | (632.50') | (26°20'00") | (N03°20'32"W) | (258.15') |

DOC. 2019051534

09/30/2020

C. Watts



| | |
|---------------|------------|
| Issued: | 09/30/2020 |
| Scale: | 1" = 150' |
| Drawn By: | CWW |
| Approved By: | CWW |
| HALFF Office: | AUS |
| SV-ZD-38608 | |

5.883 ACRES
(APPROX. 256,262 SQ. FT.)
 PORTION OF LOT 1, SHADOW CANYON COMMERCIAL SECTION 2
 WILLIAMSON COUNTY, TEXAS
 Page 235 of 675


HALFF
 9500 AMBERGLEN BLVD., BLDG. F, SUITE 125
 AUSTIN, TEXAS 78729
 TBPCLS SURVEYING FIRM #10029607
 TEL (512) 777-4600
 FAX (512) 252-8141

SV-ZD-38608.002

04 of 04

Shadow Canyon Commercial 2020-21-REZ

City Council
January 12, 2021

Item Under Consideration

2020-21-REZ

- Public Hearing and First Reading of an Ordinance for a Zoning Map Amendment to rezone 25.093 acres being all of Lot 1, Shadow Canyon Commercial Sec 3, and a portion (5.883 acres) of Lot 1, Shadow Canyon Commercial Section 2, from the High Density Multi-Family (MF-2) and General Commercial (C-3) districts to the Low Density Multi-Family (MF-1) district, for the property generally located at 2801 W University Ave (2020-21-REZ)e.

To IH-35 2.59 mi.



LOCATION

2020-21-REZ

Exhibit #1

-  Site
-  Parcels
-  City Limits
-  Georgetown ETJ



0 250 500
Feet



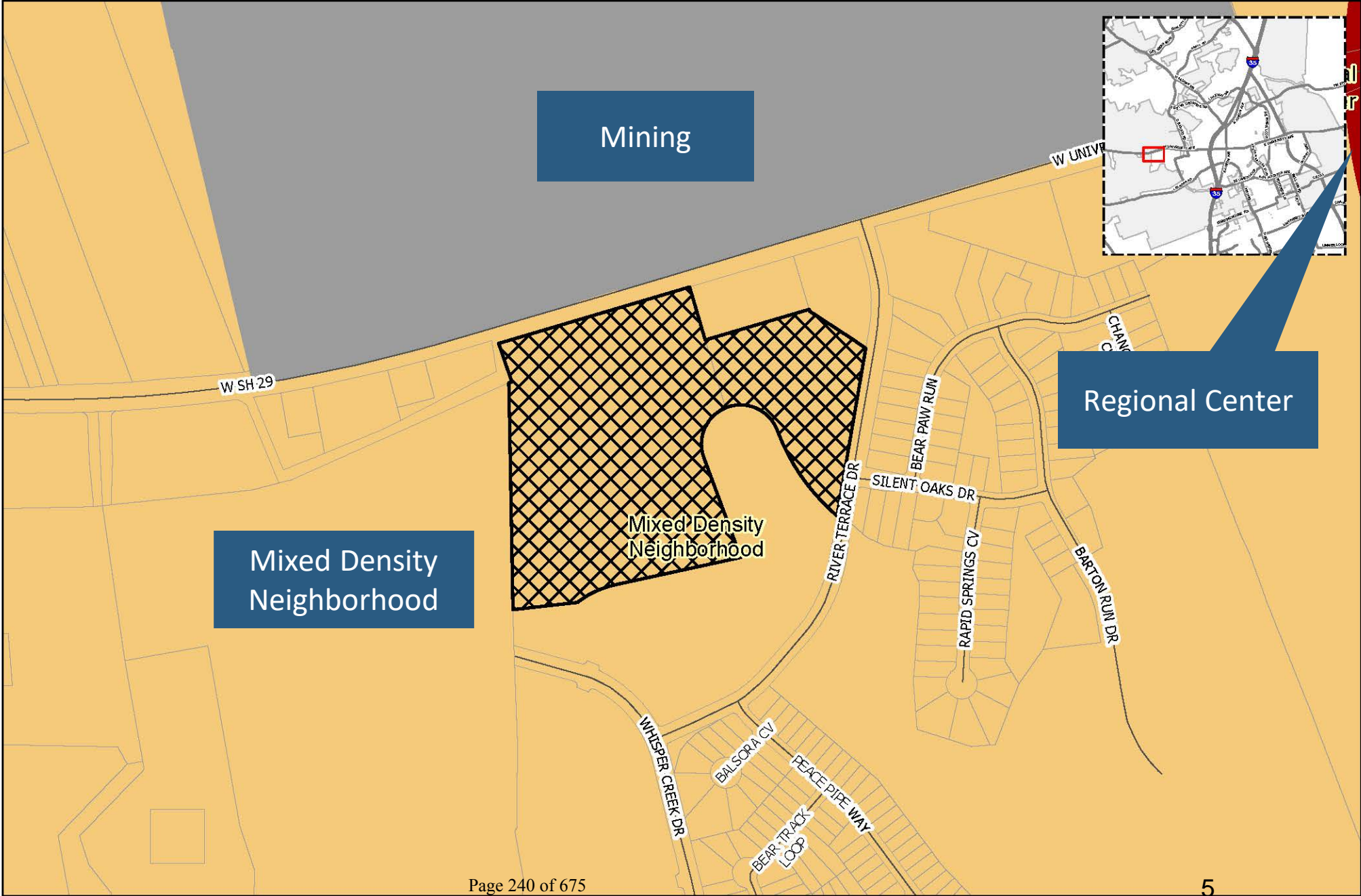
AERIAL

2020-21-REZ

- Site
- City Limits
- Georgetown ETJ



0 250 500
Feet



**FUTURE LAND USE/
OVERALL TRANSPORTATION
PLAN**

2020-21-REZ
Exhibit #2

- Site
- Parcels
- City Limits
- Georgetown ETJ
- Future Land Use
 - Community Center
 - Employment Center
 - Institutional
 - Mining
 - Mixed Density Neighborhood
 - Neighborhood
 - Open Space
 - Parks and Recreation
 - Regional Center
 - Rural Residential
 - Special Area
- Thoroughfare
 - Existing Freeway
 - Existing Major Arterial
 - Existing Minor Arterial
 - Existing Collector
 - Proposed Freeway
 - Proposed Major Arterial
 - Proposed Minor Arterial
 - Proposed Collector
 - Proposed Rail



Mixed Density Neighborhood (MDN)

- Provides for a variety of housing types within a traditional neighborhood
- Duplexes, townhomes, quadplexes, or potentially moderate density multi-family
- Compatibility between housing types can be achieved through development standards like lot size, setbacks, and building design
- Transitions of land uses and connectivity to neighborhood serving commercial is encouraged

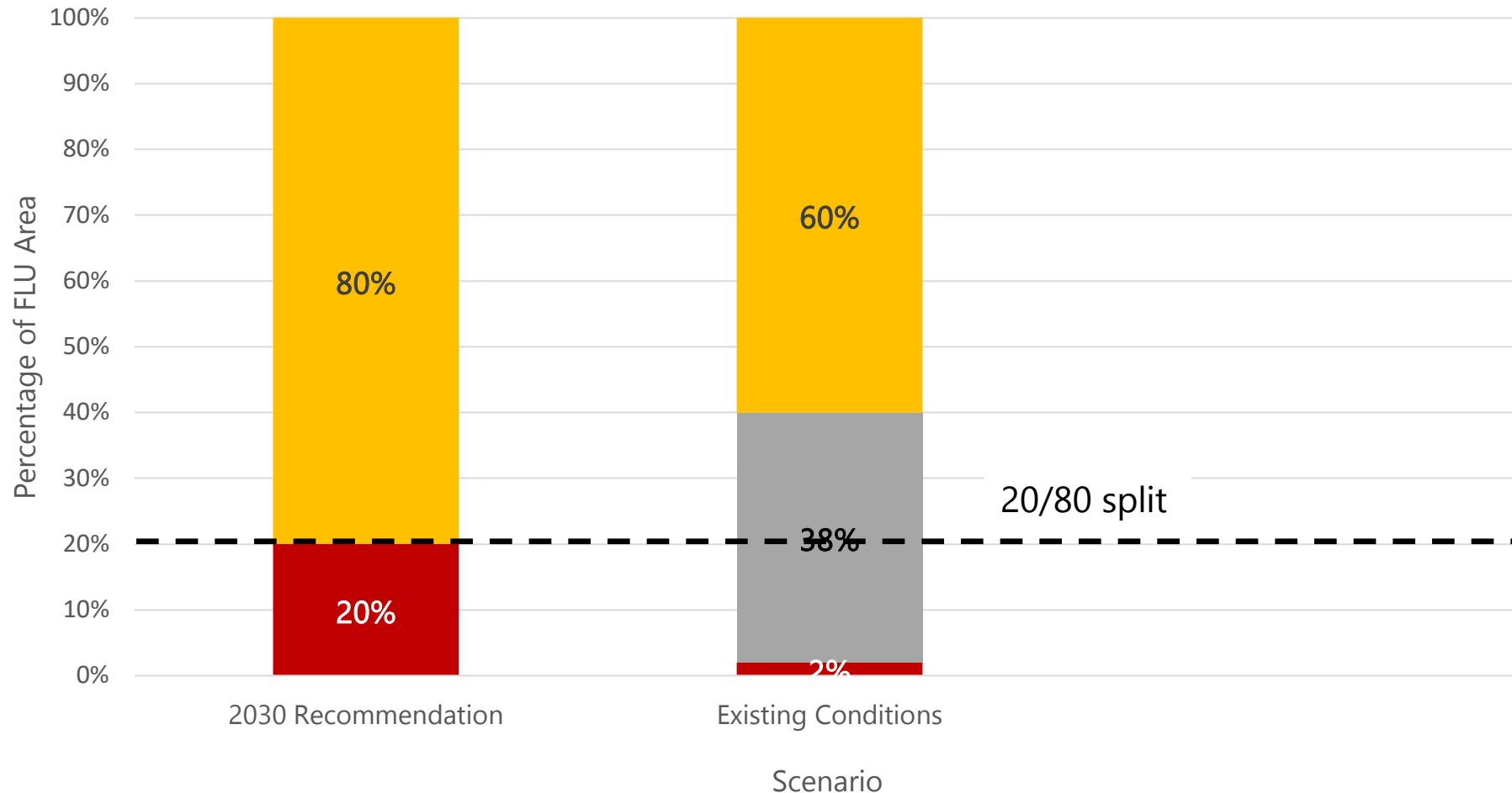
DUA: 5.1-14.0

Target Ratio: 80% residential, 20% nonresidential

Primary Use: Variety of single-family home types (detached, duplex, townhome)

Secondary Uses: Limited neighborhood-serving retail, office, institutional, and civic uses

Land Use Ratios – Mixed Density Neighborhood



■ Nonresidential ■ AG/Unentitled ■ Residential

Total Area:
2,538 acres
100%

Area of Subject Property:
25 acres
0.98%

MF Entitled:
31 acres
1.27%

AG/Unentitled:
960 acres
38%



ZONING

2020-21-REZ

Exhibit #3

- Site
 - PUD
 - City Limits
 - Courthouse View Overlay
 - Old Town Overlay
 - Historic Overlay
 - Downtown Overlay
 - SPO Overlay
 - Gateway Overlay
 - Parcels
 - Georgetown ETJ
- Zoning
- AG - Agriculture
 - BP - Business Park
 - C-1 - Local Commercial
 - C-3 - General Commercial
 - CN - Neighborhood Commercial
 - IN - Industrial
 - MF-1 - Low-Density Multi-family
 - MF-2 - High-Density Multi-family
 - MH - Manufactured Housing
 - MU-DT - Mixed-Use Downtown
 - OF - Office
 - PF - Public Facility
 - RE - Residential Estate
 - RL - Residential Low-Density
 - RS - Residential Single-Family
 - TF - Two-Family
 - TH - Townhouse

0 250 500 Feet



Low Density Multi-Family (MF-1)

- Attached and **detached** multi-family
- Apartments, condos, triplexes, fourplexes
- Should have convenient access to major thoroughfares
- Should not route traffic through low density areas
- May be appropriate adjacent to residential and non-residential districts

Dimensional Standards

- Max density = 14 units/acre
- Min. lot size = 12,000 sq. ft.
- Min. lot width = 50'
- Max building height = 35'
- Front setback = 20'
- Side setback = 10'
- Rear setback = 10'
- Side/rear street setback = 15'
- Side/rear setback to residential = 20'
- 15' bufferyard adjacent to RS

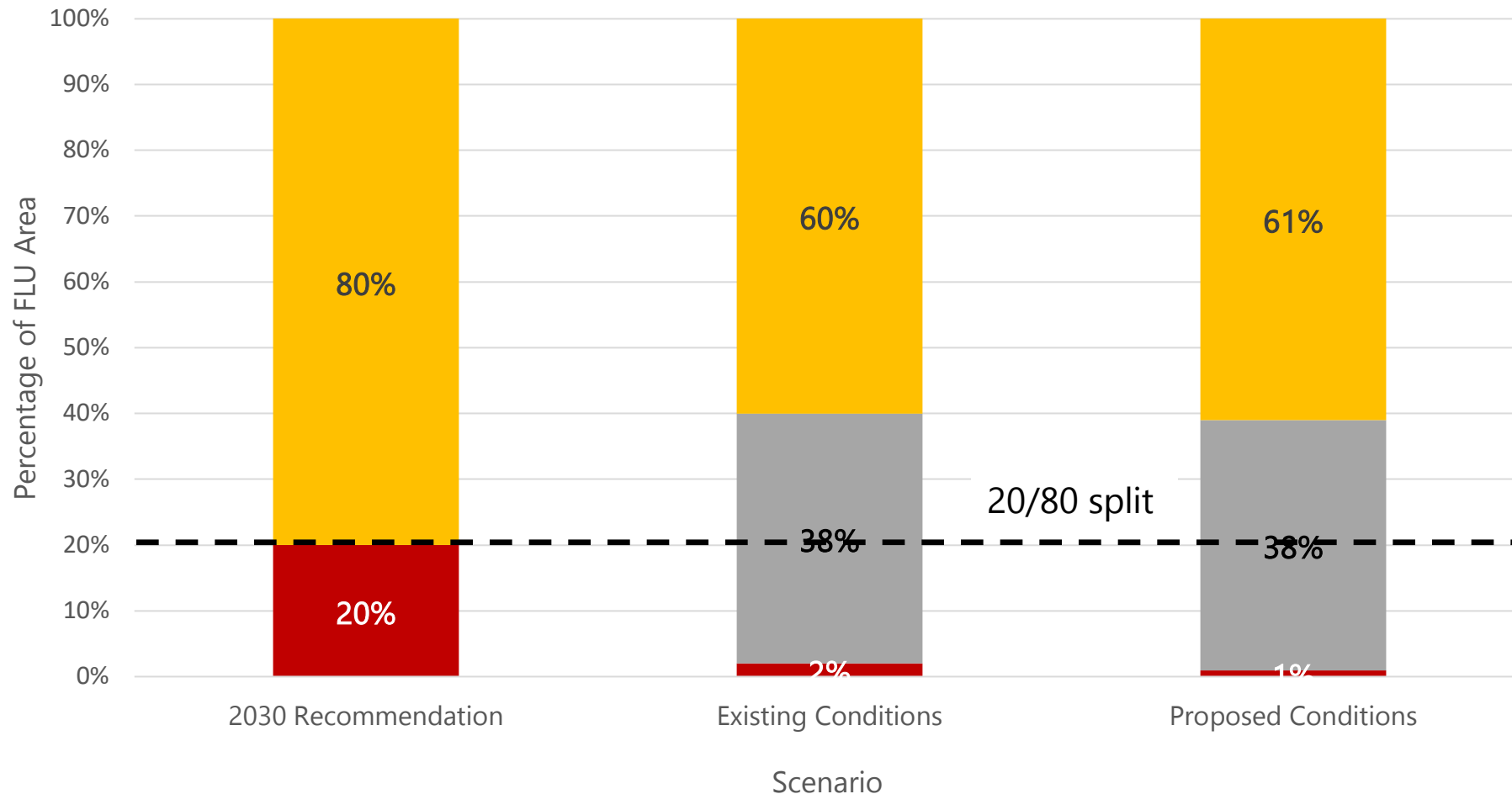
Low Density Multi-Family (MF-1)

| Permitted by Right | Permitted with Limitations | Permitted with a SUP |
|-----------------------------|---------------------------------------|---------------------------------|
| Group Home (7-15 residents) | Church (with columbarium) | Activity Center (youth/senior) |
| Multi-Family, Attached | Day Care (family/group/commercial) | Assisted Living |
| Multi-Family, Detached | Golf Course | Bed and Breakfast (with events) |
| Rooming/Boarding House | Nature Preserve/Community Garden | Emergency Services Station |
| Utilities (minor) | Neighborhood Amenity Center | Group Home (16+ residents) |
| | Park (Neighborhood) | Halfway House |
| | School (Elementary) | Nursing/Convalescent Home |
| | Utilities (Intermediate) | Orphanage |
| | Wireless Transmission Facility (<41') | School (middle) |
| | | Student Housing |

Approval Criteria – UDC Section 3.06.030

| Criteria for Zoning Map Amendment | Complies | Partially Complies | Does Not Comply |
|--|----------|--------------------|-----------------|
| The application is complete and the information contained within the application is sufficient and correct enough to allow adequate review and final action; | X | | |
| The zoning change is consistent with the Comprehensive Plan; | X | | |
| The zoning change promotes the health, safety or general welfare of the City and the safe orderly, and healthful development of the City; | X | | |

Land Use Ratios – Mixed Density Neighborhood



■ Nonresidential ■ AG/Unentitled ■ Residential

Total Area:
2,538 acres
100%

Area of Subject Property:
25 acres
0.98%

MF Entitled:
31 acres
1.27%

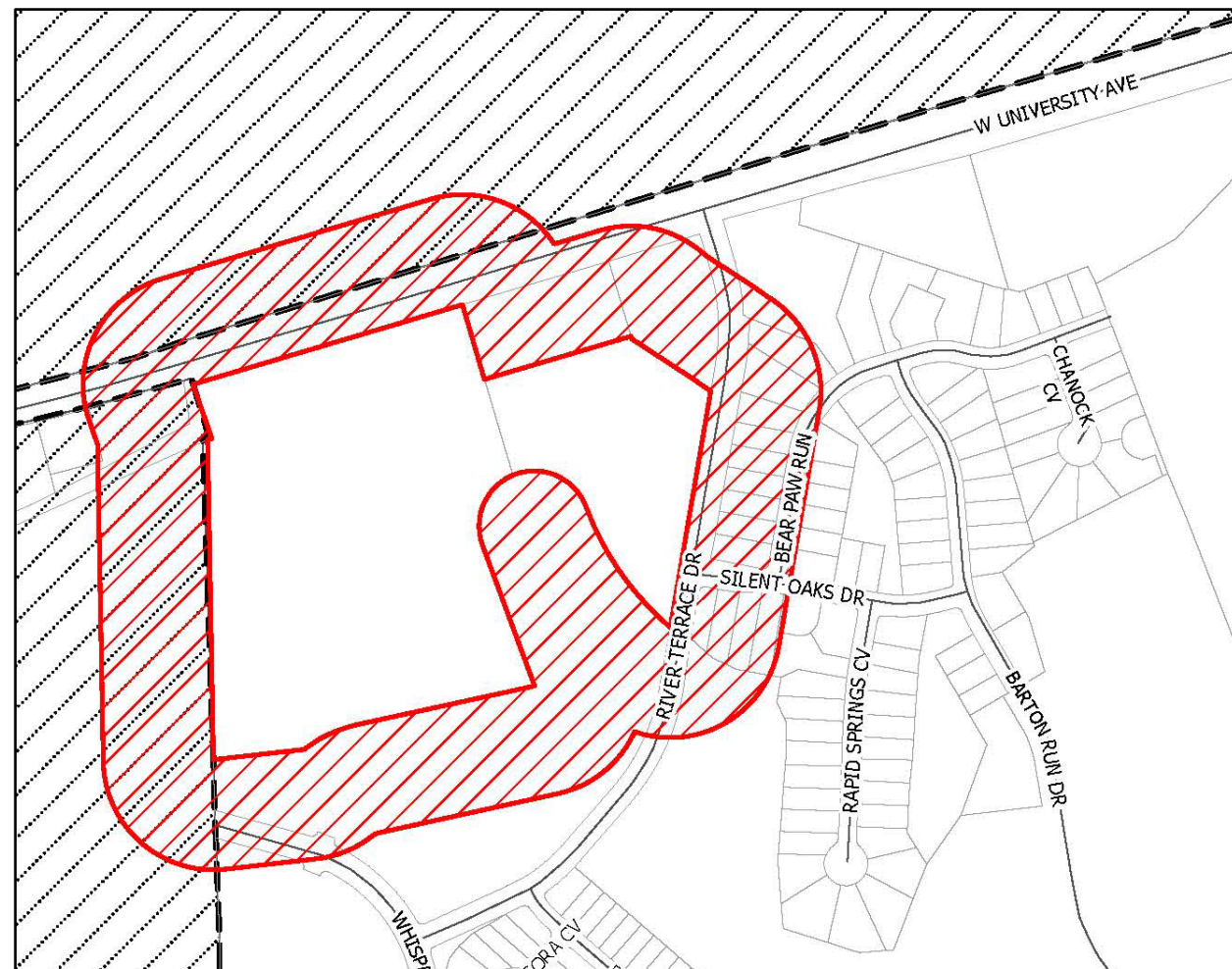
AG/Unentitled:
960 acres
38%

Approval Criteria – UDC Section 3.06.030

| Criteria for Zoning Map Amendment | Complies | Partially Complies | Does Not Comply |
|--|----------|--------------------|-----------------|
| The zoning change is compatible with the present zoning and conforming uses of nearby property and with the character of the neighborhood; and | X | | |
| The property to be rezoned is suitable for uses permitted by the district that would be applied by the proposed amendment. | X | | |

Public Notifications

- 33 property owners within the 300' buffer
- Notice in Sun News on November 29, 2020
- Signs posted on the property
- To date, staff has received 1 public comment in opposition to the request
 - 7 comments in opposition were received for the original request



Planning & Zoning Commission Action

- At their December 15, 2020 meeting, the Planning & Zoning Commission recommended approval of the request (4-0).

First Reading of an Ordinance

- An Ordinance of the City Council of the City of Georgetown, Texas, amending part of the Official Zoning Map to rezone 25.093 acres being all of Lot 1, Shadow Canyon Commercial Sec 3, and a portion of Lot 1, Shadow Canyon Commercial Section 2, generally located at 2801 W University Ave, from the High Density Multi-Family (MF-2) and General Commercial (C-3) districts to the Low Density Multi-Family (MF-1) district; repealing conflicting ordinances and resolutions; including a severability clause; and establishing an effective date.

City of Georgetown, Texas
City Council Regular Meeting
January 12, 2021

SUBJECT:

Public Hearing and First Reading of an Ordinance on a request for a **Special Use Permit (SUP)** for the **Fuel Sales specific use** in the **Local Commercial (C-1)** zoning district, for the property located at **301 FM 971**, bearing the legal description of Lot 52, Block F, Park View Estate, Section 9, to be known as **Parkview Market** -- Sofia Nelson, CNU-A, Planning Director

ITEM SUMMARY:

Overview of the Applicant's Request:

The applicant is requesting a Special Use Permit (SUP) to allow a gas station (Fuel Sales) to be constructed on the subject property, with a maximum of four (4) multi-fuel dispensers. The applicant intends to construct a new retail shell building with a convenience store build-out gas station. According to their letter of intent (Exhibit 5), the convenience store will have 4 employees, and its hours of operation will be from 8:00 am to 9:00 pm, Monday-Sunday.

Staff's Analysis:

Staff findings have balanced both a current and long-range perspective to this request. Analysis on both the immediate impact to surrounding owners and impacts to the greater neighborhood have been reviewed. Given the undeveloped nature of the corridor uses requiring a special use permit and/ or rezoning must balance the long term effects to the greater neighborhood in addition to the site layout and specifics that may be critical to property owners and residents surrounding the subject property.

Based on the findings, staff finds that the proposed Special Use Permit for a fuel sales does not appear to fully support the criteria for approval of a Special Use Permit as outlined in the attached Staff Report.

Should the use be approved, the following conditions should be made as part of the approval as shown in the attached Concept Plan (Exhibit 4):

- A mix of shrub species and grouping offsets shall be provided along all property lines.
- Trees shall not be planted close to the pavement and adjusted to accommodate offset similar to the trees across the drive access.
- Shrubs shall be place behind the easements and parallel with the ROW similar to shrubs across the drive access.
- Shrubs shall be planted along Parkview Dr., south to FM 971 within the hatched area.

Public Comments:

As required by the Unified Development Code, all property owners within a 300-foot radius of the subject property were notified of the Special Use Permit request (32 notices), a legal notice advertising the public hearing was placed in the Sun Newspaper (November 29, 2020) and signs were posted on-site. To date, staff has received 0 written comments in favor, and 66 in opposition to the request (Exhibit 6).

Planning & Zoning Commission Action:

At their December 15, 2020 meeting, the Planning & Zoning Commission recommended denial of the request (3-1).

FINANCIAL IMPACT:

None. The Applicant has paid the required application fees.

SUBMITTED BY:

Micheal Patroski, Planner

ATTACHMENTS:

Staff Report

Exhibit 1- Location Map
Exhibit 2- Future Land Use Map
Exhibit 3-Zoning Map
Exhibit 4-Conceptual Plan
Exhibit 5- Letter of Intent
Exhibit 6- Public Comments
Ordinance with Exhibits
Presenation

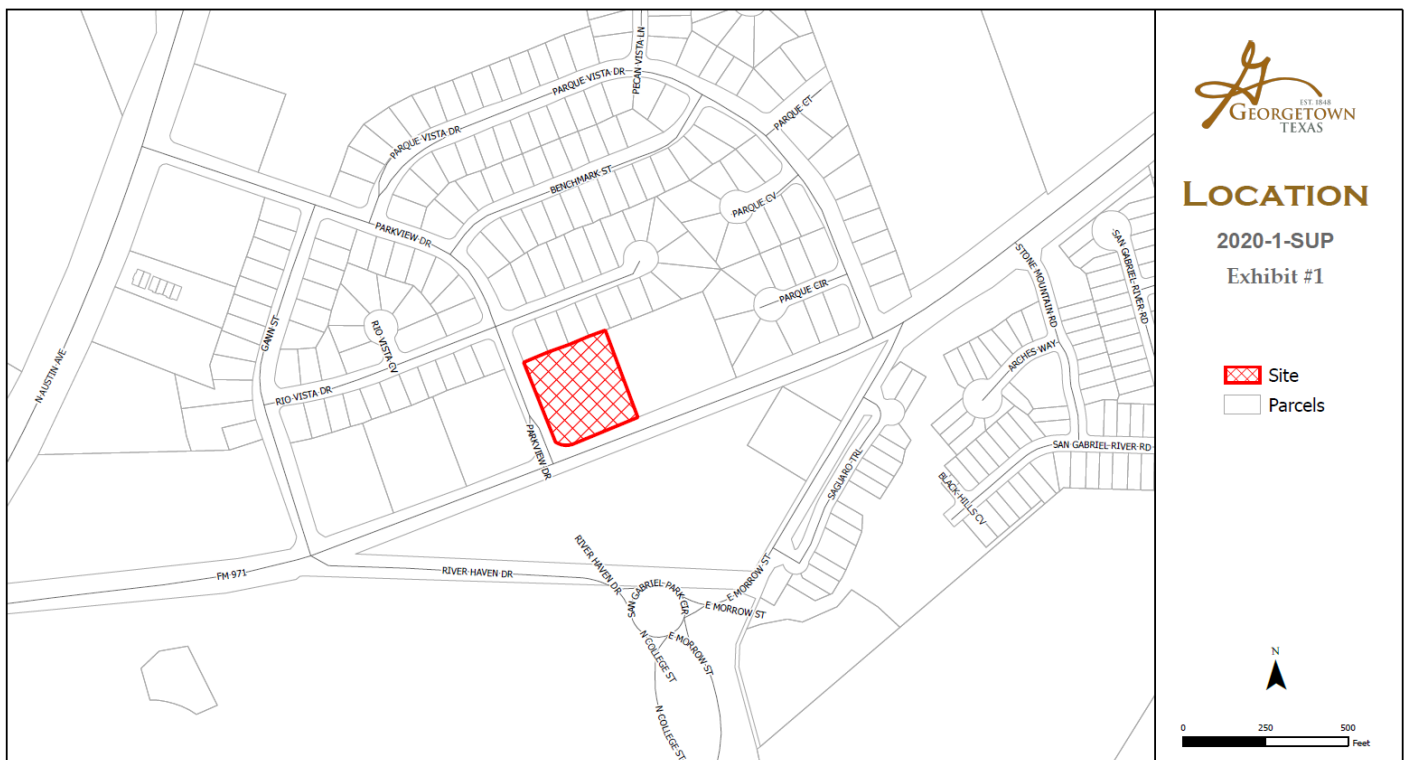


Planning and Zoning Commission Planning Department Staff Report

Report Date: December 11, 2020
Case No: 2020-1-SUP
Project Planner: Michael Patroski, Planner

Item Details

Project Name: Parkview Market
Project Location: 301 FM 971, within City Council district No. 7.
Total Acreage: 1.6 acres
Legal Description: Lot 52, Block F, Parkview Estates Section 9
Applicant: Doan Associates, c/o Julie Doan
Property Owner: Parkview Estates Investments LLC, c/o Yasin Mareida
Request: Special Use Permit (SUP) for a **Fuels Sales** use within the **Local Commercial (C-1)** zoning district.
Case History: This is the first public hearing of this request. This item was originally scheduled for the July 21, 2020 Planning and Zoning Commission meeting. The applicant requested to withdraw this project from the July 21, 2020 meeting and is now formally submitting project 2020-1-SUP for the second time.



Overview of Applicant's Request

The applicant is requesting a Special Use Permit (SUP) to allow a gas station (Fuel Sales) to be constructed on the subject property, with a maximum of four (4) multi-fuel dispensers. The applicant intends to construct a new retail shell building with a convenience store build-out gas station. According to their letter of intent (Exhibit 5), the convenience store will have 4 employees, and its hours of operation will be from 8:00 am to 9:00 pm, Monday-Sunday.

Site Information

Location:

The subject property is located at 301 FM 971. This address is located at the northeast intersection of FM 971 and Parkview Drive.

Physical and Natural Features:

The subject property is currently vacant, predominantly flat, and has moderate tree coverage.

Future Land Use and Zoning Designations:

The subject property has an existing Future Land Use designation of Community Center and is currently zoned Local Commercial (C-1) and Scenic-Natural Gateway Overlay.

Surrounding Properties:

The subject property is located near the Parkview Estates residential community entrance at the intersection of Parkview Drive and FM 971. The FM 971 corridor that has primarily developed with single-family residential neighborhoods and large ranch/agriculture tracts. Other nearby residential neighborhoods include River's Edge, Katy Cove, and Katy Crossing. While commercial zoned properties exist closer to N Austin Ave, about half of these properties are vacant and the other half developed with a medical office, fuel sales station and convenience store, and multi-family. The subject property is also adjacent to the Chevron gas station (consisting of an approximately 4, 975-sqft convenience store and four (4) multi-fuel dispensers) to the west and is located to the north of San Gabriel Park.

The current zoning, Future Land Use designation, and existing uses of the adjacent properties to the north, south, east and west are outlined in the table below:

| DIRECTION | ZONING DISTRICT | FUTURE LAND USE | EXISTING USE |
|-----------|---|----------------------------|--|
| North | Residential Single-Family (RS) | Community Center | Parkview Estates Residential Development. |
| East | Residential Single-Family (RS) | Community Center | Residential |
| South | Residential Single-Family (RS) & FM 971 | Community Center | Cemetery, San Gabriel Park, Former Nursing and Rehabilitation Structure. |
| West | Local Commercial (C-1) | Mixed-Density Neighborhood | Chevron Gas Station |



Property History:

The subject property was Annexed into the city limits in 1985 with the base zoning of Residential Single-Family (RS) (1985-39). The property was also platted in 1985. In 1986, the subject property was rezoned from Residential Single-Family (RS) to Local Commercial (C-1) (Or. 86-4).

Comprehensive Plan Guidance

Future Land Use Map:

The Future Land Use of the subject property is Community Centers (CC). Areas within this category are typically configured as “nodes” of smaller scale at the intersection of arterial roads and other major thoroughfares. These developments provide local retail, professional office, and service-oriented businesses that serve the residents of Georgetown. While typically auto-oriented, pedestrian connections to the surrounding neighborhoods are provided. Well-integrated residential developments, which encourage the interaction of residents and businesses, are appropriate and vertical mixed-use developments are encouraged. To promote the interaction of integrated and adjacent residential development, these areas emphasize quality building and site design, such as enhanced architectural features, landscaping, and prominent pedestrian facilities.

DUA: 14 or more

Target Ratio: 80% nonresidential, 20% residential

Primary Use: Small to mid-size retailers

Secondary Uses: Medium and high density residential, local restaurants, specialty retailers, professional office, and civic uses

Planning Department Staff Report

Utilities

The subject property is located within the City's service area for water and wastewater. The subject property is also located within a dual service area for electric, City of Georgetown and Pedernales Electric Cooperative (PEC). It is anticipated that there is adequate capacity to serve the subject property at this time. A Utility Evaluation may be required at time of Site Development Plan to determine capacity and any necessary utility improvements.

Transportation

The subject property is located at the northeast corner of FM 971 and Parkview Drive. FM 971 is classified as a Major Arterial. Arterial streets provide traffic movement through and between different areas within the city and access to adjacent land uses. Access is more controllable because driveway spacing requirements are much greater and, if safety dictates, overall access can be limited to specific turning movements. Major Arterials connect major traffic generators and land use concentrations and serve much larger traffic volumes over greater distances.

Parkview Drive is a Residential Collector. These streets are intended to balance traffic between arterial streets and local streets. These streets tend to carry a high volume of traffic over shorter distances, providing access and movement between neighborhoods, parks, schools, retail areas and the arterial street system.

Zoning district

The Local Commercial (C-1) district is intended to provide areas for commercial and retail activities that primarily serve residential areas. Uses should have pedestrian access to adjacent and nearby residential areas, but are not appropriate along residential streets or residential collectors. The district is more appropriate along major and minor thoroughfares and corridors.

Permitted uses in this district include, but are not limited to, assisted living, financial centers, food catering services, general retail and office, and library and museums. Other uses such as bar/tavern/pub, church, and self-storage are permitted subject to specific design limitations. Certain land uses, including event facilities, event market, car wash, fuel sales, and restricted personal services, require a Special Use Permit (SUP).

Special Use Permits allow for City Council approval of uses with unique or widely varying operating characteristics or unusual site development features, subject to the terms and conditions set forth in this Code. In addition to the criteria shown below for Special Use Permits, the use is subject to the other standards of the Unified Development Code (UDC).

In May 2019, the City Council amended the UDC to require a SUP for fuel sales use within the Local Commercial (C-1) zoning district. (Or. 2019-30). This determination was based upon the intent of providing local services within the zoning district without providing an abundance of one particular use, especially along major roadways.

Planning Department Staff Report

UDC Section 5.04.020 (T) provides limitations and additional standards for fuel sales uses as follows:

1. No more than four multi-fuel dispensers (eight fuel positions) shall be permitted except where one of the following conditions is met:
 - a. The property is located on a corner of a major arterial roadway and a major collector or higher level roadway as classified in the Overall Transportation Plan (OTP); or
 - b. The proposed fuel sales establishment is an accessory use to a commercial development such as a grocery store or retail center with a gross floor area of 50,000 square feet or more; or
 - c. The property is adjacent to the SH 130 Toll or IH-35 roadways.
2. When one of the conditions outlined in Subsection (1) above is met, in no case shall a fuel sales establishment be permitted more than ten multi-fuel dispensers or 20 fuel positions.
3. When a fuel sales establishment in the Local Commercial (C-1) zoning district is designed for four multi-fuel dispensers (eight fuel positions), the canopy and arrangement of such multi-fuel dispensers shall be designed in a relatively square pattern as opposed to a linear distribution of the multi-fuel dispensers, as depicted below (where X = one multi-fuel dispenser = two fuel positions):

| <u>Acceptable C-1 Pump Arrangement:</u> | | <u>Unacceptable C-1 Pump Arrangement:</u> | | | |
|---|---|---|---|---|---|
| X | X | X | X | X | X |
| X | X | | | | |

4. No more than four multi-fuel dispensers (eight fuel positions) shall be located within 100 feet of a single-family residential zoned property.
5. An eight-foot masonry wall shall be required at the property line of residentially-zoned property, in addition to the required bufferyards in [Chapter 8](#).
6. Fuel positions, vacuum, air, and water stations as well as other similar equipment are prohibited between the principal structure and the property line of a residentially-zoned property and shall comply with the building setbacks in all other circumstances.
7. The bottom of the canopy shall be a minimum of 13 feet six inches in height. The maximum height of the overall canopy shall not exceed 17 feet.
8. In addition to the requirements in [Section 7.04](#), any freestanding light fixtures shall be reduced in height to 15 feet if the use is adjacent to a residential district.
9. No full-service or self-service car wash is allowed with the fuel sales use. Only an accessory one-bay automatic car wash is allowed.

Intergovernmental and Interdepartmental Review

The proposed Special Use Permit request was reviewed by all applicable City Departments to determine the appropriateness of the requested specific use on the subject property. No comments were issued regarding the zoning request.

Planning Department Staff Report

Approval Criteria

Staff has reviewed the request in accordance with the Unified Development Code (UDC) and other applicable codes. Staff has determined that the proposed request complies with 1 out of 4 criteria and partially complies with 3 out of 4 criteria established in UDC Section 3.07.030 for a Special Use Permit, as outlined in the attached Staff Report.

| SPECIAL USE PERMIT (SUP) APPROVAL CRITERIA | |
|---|---------------------------|
| 1. The proposed special use is not detrimental to the health, welfare, and safety of the surrounding neighborhood or its occupants. | Partially Complies |
| <p>The proposed fuel sales operation, with four (4) multi-fuel dispensers, is located at the intersection of a major arterial (FM 971) and residential collector (Parkview Dr) in front of one of the entrances to the Parkview Estate residential neighborhood where another fuel sales station of similar scale and design is located. The proposed Concept Plan includes landscaping to provide screening around the perimeter of the site, which will help minimize visual impacts from FM 971. The surrounding residential development are also buffered from the site by a combination of landscaping and an eight-foot tall masonry screening wall along the north and east property lines. In addition, the use, as proposed, meets the additional design and use requirements outlined in UDC Section 5.04.020.T including but not limited to the arrangement of pumps, number of multi-fuel dispensers when located within 100 feet of a residential zoned property, and location of fuel positions, vacuum, air and water stations, to minimize the impact of the use on the surrounding area. Because of this, staff finds that the proposed use in its self does not appear to adversely affect the health or safety of the surrounding occupants.</p> <p>However, staff finds that the proposed use may be detrimental to the welfare of the surrounding neighborhood. The Parkside Estate neighborhood is a stable single-family residential neighborhood that generally extends between Austin Avenue and FM 971. This neighborhood is within walking distance to Georgetown Highschool via Austin Avenue and San Gabriel Park and is largely bordered with property zoned Local Commercial (C-1). The C-1-zoned property is intended to provide local retail, professional office, and service-oriented businesses that serve the residents of the adjacent neighborhoods. Additionally, the commercial uses are intended to function as a transition between the higher intensity roadways and residential development. In large part the commercial uses surrounding the neighborhood meet the intended purpose of this zoning category.</p> <p>Given the adjacency of the developed single-family neighborhood and other residential zoned property north along FM 971 the proposed fuel sales use could detrimentally impact the surrounding neighborhoods in the following ways:</p> <ol style="list-style-type: none">1) Should two fuel stations be located at the same intersection it will likely create a larger intensity commercial entrance to surrounding neighborhood than originally planned and designed for.2) The impact of 2 adjacent fuel stations could create a node that is more evident of a General Commercial (C-3) zoned property than a local commercial entrance. The impact of an unplanned increase in intensity would immediately be felt in two ways:<ol style="list-style-type: none">a. By the adjacent single-family residents—due to the lack of transitional uses between the fuel stations and the single-family homes. | |

| SPECIAL USE PERMIT (SUP) APPROVAL CRITERIA | |
|--|----------------------------------|
| <p>b. On a larger neighborhood level-- the development of a C-3 like intense node could create an adverse impact by setting a pattern for future redevelopment along FM971 to be more auto oriented in nature rather than development that promotes and compliments the surrounding neighborhoods with a variety of supporting uses and services.</p> | |
| <p>2. The proposed conceptual site layout, circulation plan, and design are harmonious with the character of the surrounding area.</p> | <p>Partially Complies</p> |
| <p>The subject property is located along FM 971 at one of the entrances to the Parkview Estates residential neighborhood. FM 971, a major arterial roadway, has slowly developed with primarily single-family residential neighborhoods and large ranch/agriculture tracts. While commercial zoned (Local Commercial (C-1)) properties exist along this major roadway closer to its intersection with N Austin Ave, about half of these properties are vacant and the other half developed with a medical office, fuel sales station and convenience store, and multi-family. On the south side of FM 971 is the San Gabriel regional park, and a vacant property that used to house a nursing facility (currently zoned Residential Single-Family (RS)). The purpose of the Local Commercial (C-1) zoning district is to provide areas for commercial and retail activities that primarily serve residential areas. Because of this, special consideration must be taken in the use of available commercial land to ensure supporting commercial and personal services are available to the surrounding residential neighborhoods.</p> <p>The proposed conceptual site layout, circulation plan and design area a mirror image of the existing fuel sales station and convenience store that is located across the street of Parkview Dr. The Concept Plan shows the multi-fuel dispenser and pumps centrally located within the subject property, the convenience store along its northern portion closer to the residential neighborhood, adequate parking along its west side and front, and a 30' landscape bufferyard along the eastern property line where it also abuts a residential property.</p> <p>However, while the proposed Conceptual Plan mirrors the existing fuel sales and convenience store uses across the street and thus is in character with this property, the intensity of two fuel stations immediately adjacent to each other is not harmonious with the low impact/neighborhood building scale character of the surrounding area and envisioned character for the area. Recent development, updated development standards and the vision that was adopted for the FM 971 corridor as part of the 2030 Plan Update allow for special consideration on the request to ensure this corridor develops in line with the existing and envisioned character of the area.</p> <p>2030 Envisioned Character: FM 971 has been identified as a Scenic Corridor in the 2030 Plan. Scenic corridors preserve the rural, low-intensity, natural environment that surrounds Georgetown. Appropriate uses along scenic corridors include residential, commercial, retail. Scenic corridors not only serve as major arterials into the community, but also serve as corridors to the rural farmland to the east and lower density development of the hill country to the west. The priority of these are to create a welcoming gateway that allows for a transition from the rural/ lower intensity development of these areas into the formally developed portions of the city. Promotion of this areas includes:</p> | |

| SPECIAL USE PERMIT (SUP) APPROVAL CRITERIA | |
|--|---------------------------|
| <ul style="list-style-type: none"> ○ Prioritizing lower intensity uses along the scenic corridors. ○ Creating transitions in uses and streetscaping within corridors that were previously identified as scenic but have evolved into urban corridors. <p>The intensity associated with adjacent fuel stations is contrary to the intensity proposed in the scenic corridor. Additionally, the land use patterns that could establish because of two fuel stations adjacent to each other are not supportive of the image corridor vision for this area.</p> | |
| 3. The proposed use does not negatively impact existing uses in the area and in the City through impacts on public infrastructure such as roads, parking facilities, and water and sewer systems and on public services such as police and fire protection and solid waste collection and the ability of existing infrastructure and services to adequately provide services. | Complies |
| <p>The proposed fuel sales use will not adversely affect the public infrastructure and other City facilities. The subject property is located along FM 971 a Major Arterial with water and wastewater lines located throughout or adjacent to the site. Due to the existing conditions of the property and availability of public infrastructure, the proposed use will therefore not directly impose an additional demand on the system and other services provided by the City.</p> | |
| 4. The proposed use does not negatively impact existing uses in the area and in the City through the creation of noise, glare, fumes, dust, smoke, vibration, fire hazard or other injurious or noxious impact. | Partially Complies |
| <p>Per the UDC, the subject property will be required to construct an eight-foot masonry screening wall at the property line along the adjacent Residential Single-Family (RS) development to the north and east. In addition, any freestanding light fixtures located within the subject property will be reduced to 15' in height and shielded with a maximum of 2.0 foot-candle intensity level at the property line. The canopy for the fuel pump area will be limited to 17' in height. Therefore, the proposed use will not create any excessive forms of noise, glare, fumes, dust, smoke, vibration, or fire hazard, impacts to the property or adjacent parcels.</p> <p>However, it is important to note that, should this use be approved, it will be the second fuel sales use located in front of the same entrance of a residential neighborhood. The concentration of the same use at this location may bring other injurious impact to the adjacent property, to include a high level of activity along this residential collector level roadway. While the Conceptual Plan shows compliance with the additional site design and use standards to minimize the impact of this use, these standards do not accommodate for a second fuel sales use at the same intersection of a primary residential area.</p> | |

Staff Summary:

The above findings have balanced both a current and long-range perspective to this request. Analysis on both the immediate impact to surrounding owners and impacts to the greater neighborhood have been reviewed. Given the undeveloped nature of the corridor uses requiring a special use permit and/or rezoning must balance the long term effects to the greater neighborhood in addition to the site layout and specifics that may be critical to property owners and residents surrounding the subject property.

Planning Department Staff Report

Based on the findings listed above, staff finds that the proposed Special Use Permit for a fuel sales does not appear to fully support the criteria for approval of a Special Use Permit.

Should the use be approved, the following conditions should be made as part of the approval as shown in the attached Concept Plan (Exhibit 4):

- A mix of shrub species and grouping offsets shall be provided along all property lines.
- Trees shall not be planted close to the pavement and adjusted to accommodate offset similar to the trees across the drive access.
- Shrubs shall be placed behind the easements and parallel with the ROW similar to shrubs across the drive access.
- Shrubs shall be planted along Parkview Dr., south to FM 971 within the hatched area.

Public Notification

As required by the Unified Development Code, all property owners within a 300-foot radius of the subject property were notified of the Special Use Permit request (32 notices), a legal notice advertising the public hearing was placed in the Sun Newspaper (November 29, 2020) and signs were posted on-site. To date, staff has received 0 written comments in favor, and 66 in opposition to the request (Exhibit 6).

Meetings Schedule

December 15, 2020– Planning and Zoning Commission

January 12, 2021 – City Council First Reading of the Ordinance

January 26, 2021 – City Council Second Reading of the Ordinance

Attachments

Exhibit 1 – Location Map

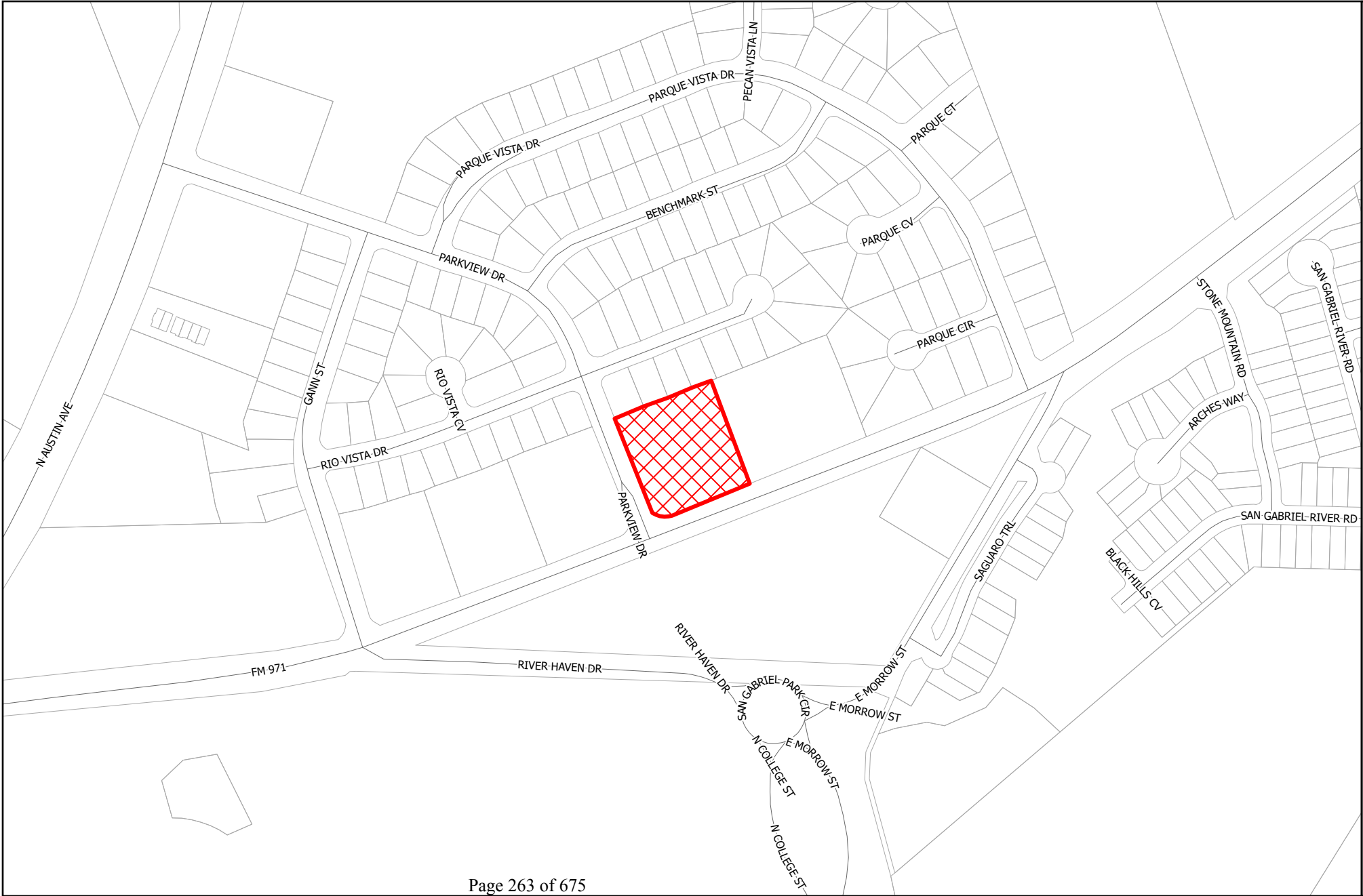
Exhibit 2 – Future Land Use Map

Exhibit 3 – Zoning Map

Exhibit 4 – Conceptual Plan

Exhibit 5 – Letter of Intent

Exhibit 6 – Public Comments

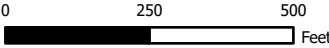


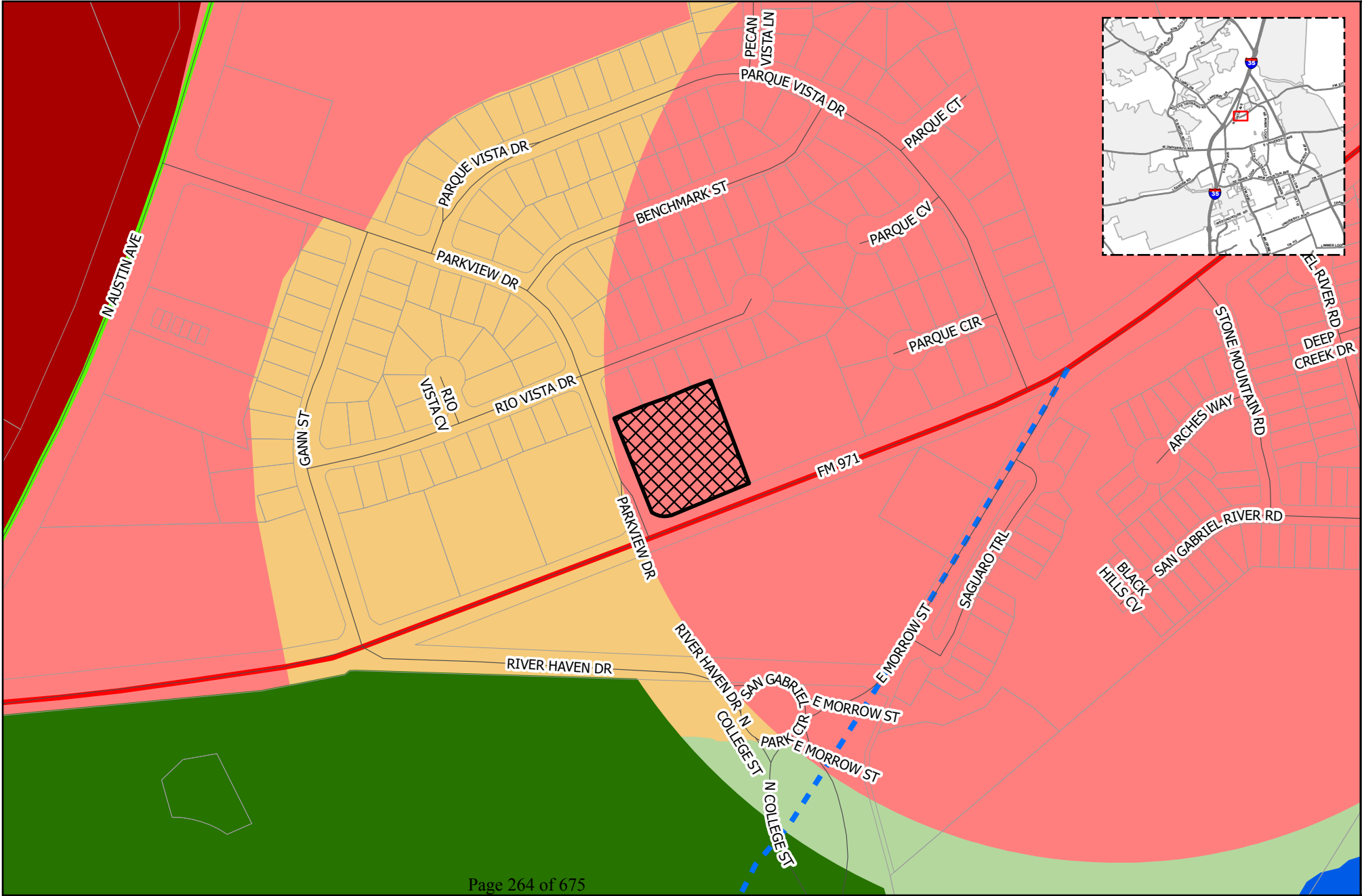
LOCATION

2020-1-SUP

Exhibit #1

-  Site
-  Parcels





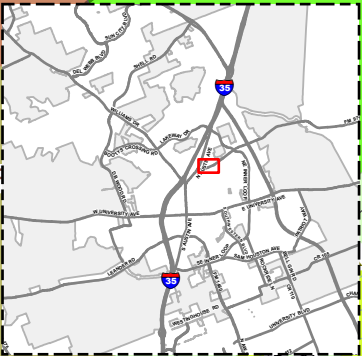
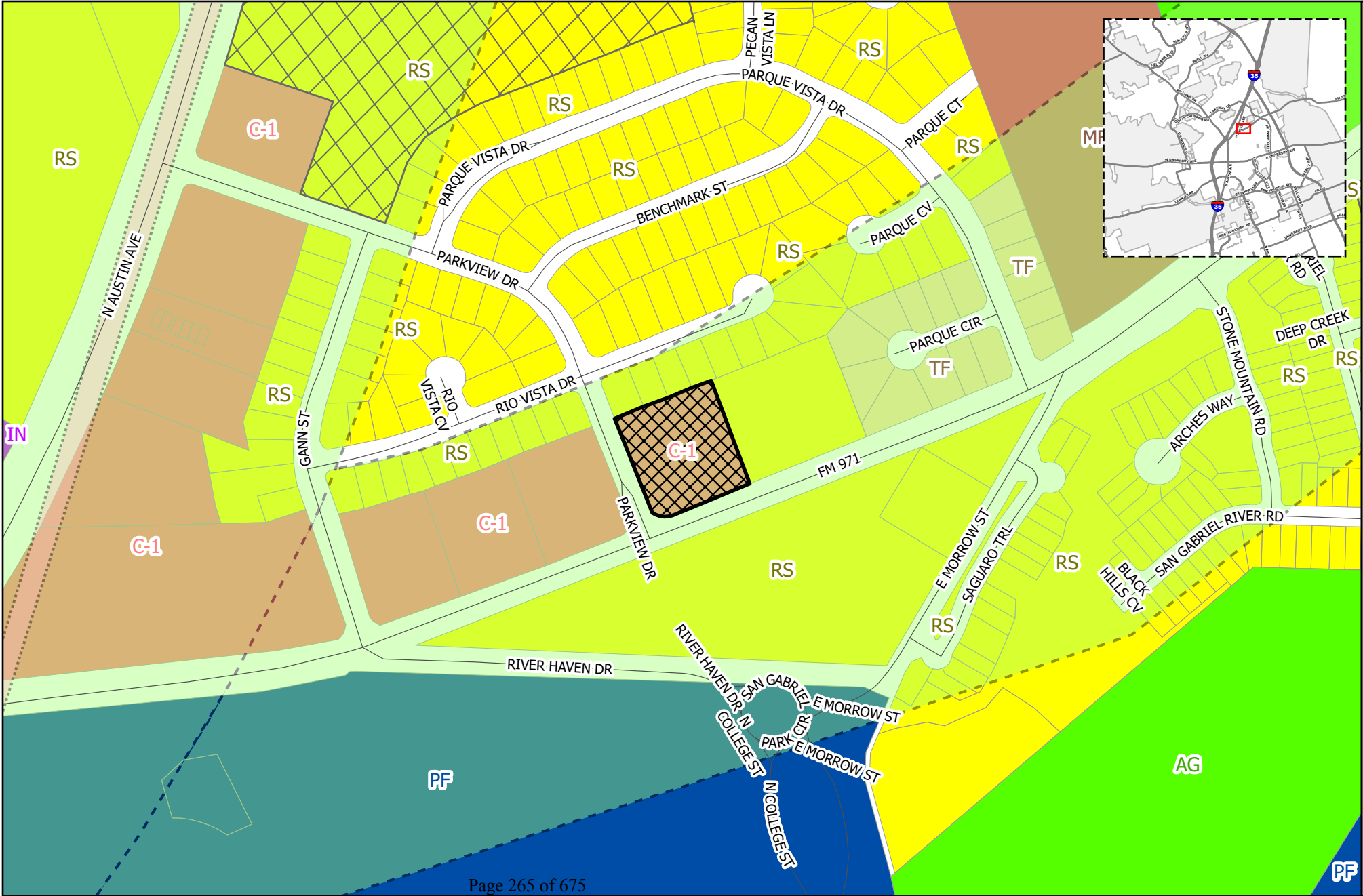
**FUTURE LAND USE/
OVERALL TRANSPORTATION
PLAN**

2020-1-SUP
Exhibit #2

- Site
- Parcels
- City Limits
- Georgetown ETJ
- Future Land Use**
 - Community Center
 - Employment Center
 - Institutional
 - Mining
 - Mixed Density Neighborhood
 - Neighborhood
 - Open Space
 - Parks and Recreation
 - Regional Center
 - Rural Residential
 - Special Area
- Thoroughfare**
 - Existing Freeway
 - Existing Major Arterial
 - Existing Minor Arterial
 - Existing Collector
 - Proposed Freeway
 - Proposed Major Arterial
 - Proposed Minor Arterial
 - Proposed Collector
 - Proposed Rail

0 150 300
Feet



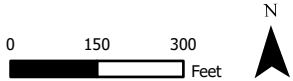


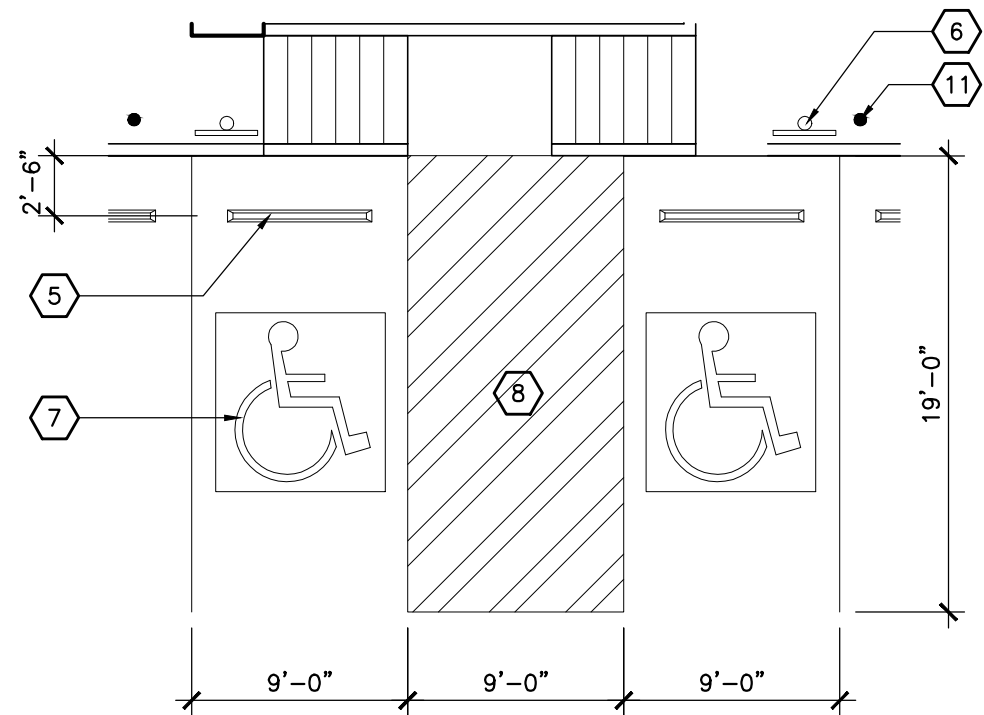
ZONING
2020-1-SUP

Exhibit #3

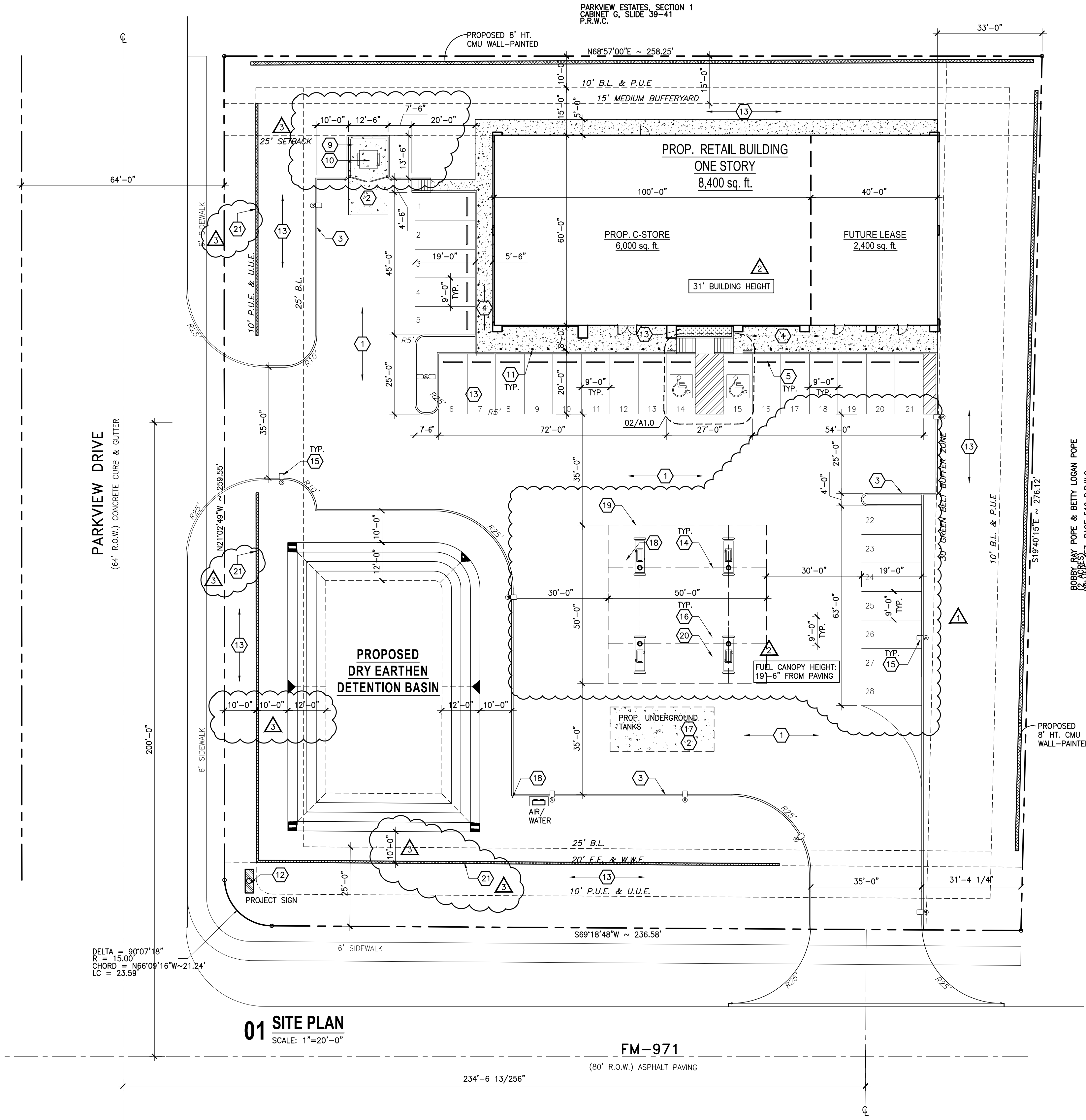
- Site
- PUD
- Courthouse View Overlay
- Old Town Overlay
- Historic Overlay
- Downtown Overlay
- SPO Overlay
- Gateway Overlay
- Parcels

- Zoning**
- AG - Agriculture
 - BP - Business Park
 - C-1 - Local Commercial
 - C-3 - General Commercial
 - CN - Neighborhood Commercial
 - IN - Industrial
 - MF-1 - Low-Density Multi-family
 - MF-2 - High-Density Multi-family
 - MH - Manufactured Housing
 - MU-DT - Mixed-Use Downtown
 - OF - Office
 - PF - Public Facility
 - RE - Residential Estate
 - RL - Residential Low-Density
 - RS - Residential Single-Family
 - TF - Two-Family
 - TH - Townhouse



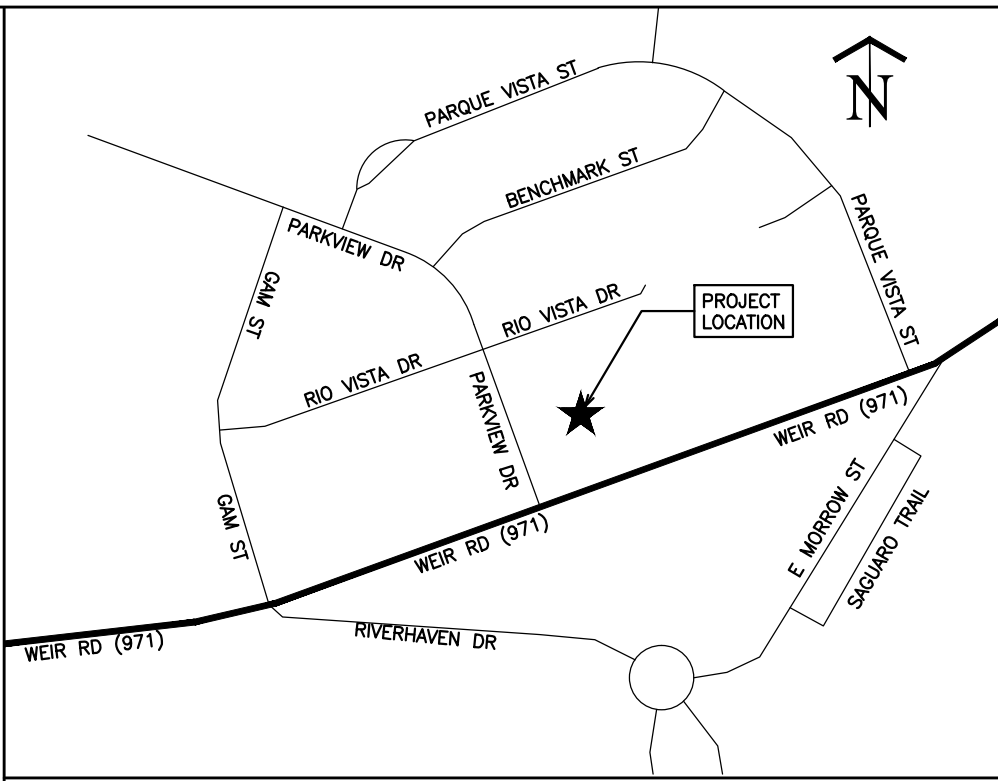
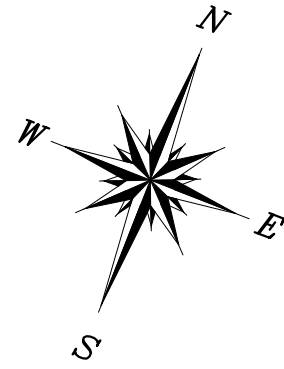


02 ADA PARKING DETAIL
SCALE: 1/8"=1'-0"



01 SITE PLAN
SCALE: 1"=20'-0"

| SITE DATA TABLE: | | |
|------------------|-----------------------|--|
| 1 | NAME OF DEVELOPMENT | PARKVIEW MARKET |
| 2 | LEGAL DESCRIPTION | S4346 - PARKVIEW ESTATES SEC 9, BLOCK F, LOT 52 |
| 3 | ADDRESS | 301 FM 971, GEORGETOWN, TX 78626 |
| 4 | SIZE OF LOT | 1.608 ACRE |
| 5 | ZONING OF THE SITE | C1- LOCAL COMMERCIAL |
| 6 | NAME OF OWNER | PARKVIEW ESTATES LLC, |
| 7 | WCAD NUMBER | R-20-8929-0000-0001 |
| 8 | SIZE OF SITE PROPOSED | 6,000 SQ.FT. C-STORE AND 2,400 SQ.FT. FUTURE LEASE AND 2,500 SQ.FT. CANOPY |



VICINITY MAP N.T.S.

SITE PLAN NOTES:

- ALL WORK SHALL COMPLY WITH CODES, REGULATIONS AND ORDINANCES FOR THE STATES OF TEXAS AND ALL OTHER AUTHORITIES HAVING JURISDICTION AT THE SITE OF CONSTRUCTION.
- CONSTRUCTION OF ALL DRIVEWAYS IN STREET RIGHT OF WAY SHALL BE CONFORMANCE BY CITY OF GEORGETOWN.
- CONTRACTOR SHALL OBTAIN AND PAY ALL FEES & PERMITS NECESSARY TO PERFORM ALL WORK WITHIN THE PROPERTY AND IN THE STREET RIGHT OF WAY.
- SPECIAL CARE SHALL BE TAKEN ALONG THE ADJACENT PROPERTY LINES DURING NEW CONSTRUCTION.
- THE CONTRACTOR SHALL PROVIDE & MAINTAIN ALL SIGNS, BARRICADES AND TRAFFIC CONTROL AS REQUIRED BY SAFETY TO ALL PEDESTRIANS, VEHICLES AND SURROUNDING BUILDING UTILITIES DURING THE CONSTRUCTION.
- "ELECTRIC PVC" CONDUIT PIPE FOR FUTURE USE OF ELECTRICAL SHALL BE MARKED AND STUBBED UP TO 4" BELOW FINISH GRADE AND CAPPED. ALL ELECTRICAL PVC SLEEVES SHALL HAVE PULL WIRES INSTALLED.
- SIDEWALK SHALL BE MIN. 5" THICK WITH #3 @ 16" O.C.
- REFER TO CIVIL, ELECTRICAL, PLUMBING DRAWINGS FOR ALL UTILITIES SERVICES TO AND ON THE SITE.
- REFER TO CIVIL PLAN FOR NEW PAVING AND DETAILS.

LEGEND:

| | |
|-----|-------------------------------|
| --- | PROPERTY LINE |
| --- | WALL LINE |
| --- | EASEMENT OR LOT DIVISION LINE |
| --- | MISC. IMPROVEMENTS |
| --- | COVERED CONCRETE |
| --- | COVERED CONCRETE |
| --- | COV. CONC. |
| --- | UTILITY EASEMENT |
| --- | AERIAL EASEMENT |
| --- | BUILDING LINE |
| --- | HARRIS COUNTY CLERK'S FILE |
| --- | DEED RECORDS OF HARRIS COUNTY |
| --- | MAP RECORDS OF HARRIS COUNTY |
| --- | FILM CODE |
| --- | LIGHT STANDARD |
| --- | STEEL BOX |
| --- | ELECTRIC BOX |

KEYED NOTES:

- 6" THICK CONCRETE PAVING. REFER TO CIVIL DWG.
- 8" THICK CONCRETE PAVING @ DUMPSTER AND GAS TANK
- 6" CONCRETE CURB. REFER TO DETAIL 01 & 06/A1.1
- CONCRETE SIDEWALK REFER TO DETAIL 11 & 16/A1.1
- CONCRETE WHEEL STOP. REFER TO DETAIL 02/A1.1
- HANDICAP SIGN. REFER TO DETAIL 07/A1.1
- HANDICAP SYMBOL. REFER TO DETAIL 08/A1.1
- 4" WIDE STRIPES, PAINTED WHITE (TYP.)
- DUMPSTER ENCLOSURE (SEE DETAIL - 05/A1.1)
- DUMPSTER (BY OTHERS)
- PROTECTIVE BOLLARD. REFER TO DETAIL 03/A1.1
- PROJECT SIGN (BY OTHERS); SIGN COMPANY SHALL COMPLY WITH CODES, REGULATIONS, ORDINANCES AND EASEMENTS WITH THE CITY/COUNTY DEPT. BEFORE PERFORMING THE WORK
- GREEN AREA. REFER TO LANDSCAPING PLAN
- GAS CANOPY COLUMN. SEE DETAIL 04/A1.2
- PARKING LIGHT POLE (TYP.). REFER TO ELECT. PLAN
- U-SHAPED PIPE GUARDS. SEE DETAIL 19/A1.1 (TYP.)
- UNDERGROUND GAS TANK. CONTRACTOR SHALL VERIFY WITH OWNER AND SUPPLIER FOR SIZE AND LOCATION BEFORE INSTALLATION.
- INSTALL AIR & WATER LINE AT EACH GAS PUMP STATION (TYP.)
- PROPOSED GAS CANOPY, 50' x 50' (BY OTHERS)
- GAS PUMPS (BY OTHERS)
- 3' HIGH RETAINING WALL, SPLIT-FACE CMU. RE: 02/L1.0

PARKING ANALYSIS:

| PARKING REQUIRED: (17 TOTAL) | | | |
|-------------------------------|------------|-----------------|----------------------|
| C-STORE | 8,400 S.F. | 1 P.S./ 300 GSF | 28 SPACES |
| TOTAL REQUIRED PARKING SPACES | | | 28 SPACES |
| PARKING PROVIDED | | | 28 (INCLUDING 2 ADA) |

DOAN
ASSOCIATES

11700 Southwest Fwy, Ste. 205
Houston, TX 77031
T 281 564 2200
F 281 564 2700
doan@doanassociates.com
www.doanassociates.com

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The firm shall not have control or charge of and shall not be responsible for construction means, methods, deviations, techniques, sequences, or procedures, or for safety precautions and programs in connection with the work, for the acts or omissions of the contractor, subcontractors or any other persons performing any of the work, or failure of any of them to carry out the work in accordance with the contract documents. Always use dimensions as shown. Drawings are not to be scaled.

Drawing scales as indicated are for reference only and are not intended to accurately depict actual or designed conditions. Written dimensions shall govern.

| DATE ISSUED | REMARKS |
|-------------|---------------|
| 03/16/2020 | City Comments |
| 04/20/2020 | City Comments |
| 05/26/2020 | City Comments |

STAMP

PROJECT NAME

PARKVIEW MARKET

301 FM 971
GEORGETOWN, TX 78626

DRAWING TITLE

SITE PLAN

PROJECT # **19-046**

SCALE **AS SHOWN**

DATE **10/28/2019**

DRAWN BY **SG**

CHECKED BY **JD**

SHEET #

A1.0

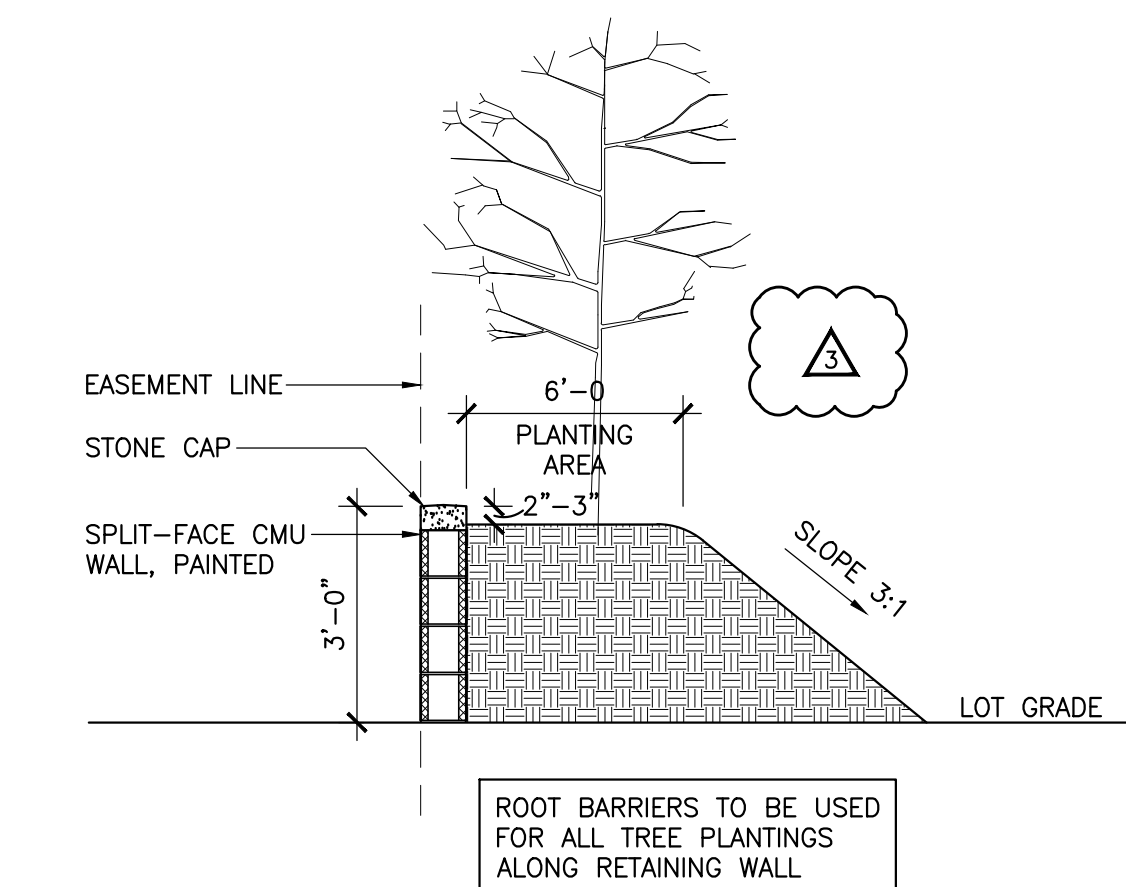


| LANDSCAPING LEGEND | | | | | | | |
|--------------------------------|--------|---------------|-------------------|--------------------------|--------------------------|-----------|------------|
| TYPE | SYMBOL | SYMBOLIC NAME | QUANTITY PROVIDED | COMMON NAME | BOTANICAL NAME | WATER USE | EVER-GREEN |
| SHADE TREE (28 TOTAL) | | SLO | 10 | SOUTHERN LIVE OAK (L-VL) | QUERCUS VIRGINIANA | L-VL | E |
| | | BO | 6 | BUR OAK (VL) | QUERCUS MACROCARPA | VL | D |
| | | LCO | 6 | LACEY OAK (VL) | QUERCUS LACEYI | VL | D |
| | | RC | 6 | EASTERN RED CEDAR (M) | JUNIPERUS VIRGINIANA | M | E |
| ORNAMENTAL TREES (20 TOTAL) | | A | 10 | ANACUA | EHRETIA ANACUA | M | E |
| | | ML | 10 | TEXAS MOUNTAIN LAUREL | SOPHORA SECUNDFLORA | L | E |
| SHRUBS (174 TOTAL) | | DW | 41 | DWARF WAX MYRTLE | MYRICA PUSILLA | M | E |
| | | IH | 44 | INDINA HAWTHORNE | RHAPHIOLEPIS INDICA | M | E |
| | | FS | 44 | FRAGRANT SUMAC | RHUS AROMATICA | L | D |
| | | BH | 45 | BURFORD HOLLY | ILEX CORNUTA 'BURFORDII' | L | E |
| GRASS | | VERIFY SF. | | GULF MUHLY | MUHLENBERGIA CAPILLARIS | | |

| STREET YARD CALCULATIONS | | | | |
|--------------------------|-----------|----------------|------------------------|------------------------------|
| AREA | REQ. AREA | LANDSCAPE AREA | SHADE TREES | SHRUBS |
| | 0.2000 | 0.0000 | 1 PER 5,000 SF | 3 PER 5,000 SF |
| 55,545 SF | 11,109 SF | 19,134 SF | 50,000: 10 5,545: 1 | 50,000 SF: 30 5,545 SF: 3 |
| TOTALS: | | | 11 SHADE TREES REQ | 33 SHRUBS REQ |
| | | | | 59 SHRUBS PROV. |

| PARKING LOT CALCULATIONS: | | | |
|---------------------------|---------------------------|---------------------------------------|--|
| # OF PARKING STALLS | REQ. AREA 20 SF PER STALL | TREES REQ. 1 SHADE TREE PER 12 STALLS | |
| 28 STALLS | 560 SF | 3 TREES (CREDIT TO STREET YARD) | |

| GATEWAY OVERLAY DISTRICT CALC: | |
|--------------------------------|-----------|
| LOT WIDTH | 251' |
| BUFFER DEPTH | 25' |
| TOTAL: | 6275 SF |
| LIVE COVERAGE 80% | 5020 SF |
| SHADE TREE REQ. 2/1,000 SF | 13 TREES |
| SHRUBS REQ./PROV. 5/1,000 SF | 31 SHRUBS |



02 RETAINING WALL DETAIL

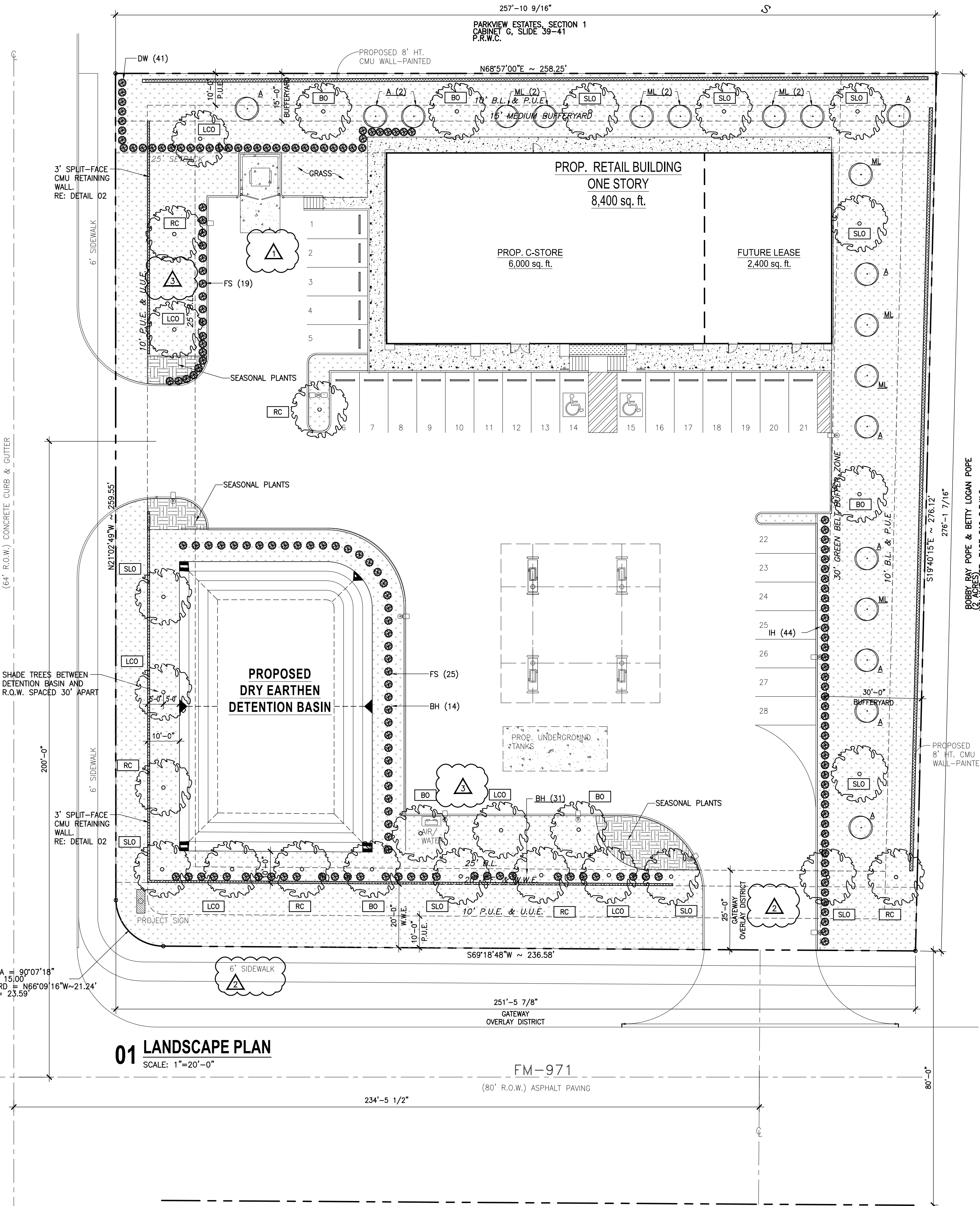
N.T.S.

BUFFERYARD @ REAR

| MEDIUM BUFFERYARD (C-1 NEXT TO RS) | 258' | | REQUIRED/ PROVIDED: |
|------------------------------------|-------|-----|---------------------|
| SHADE TREE | 1 PER | 50' | 5 |
| EVERGREEN ORNAMENTAL TREES | 2 PER | 50' | 10 |
| EVERGREEN SHRUBS | 8 PER | 50' | 41 |

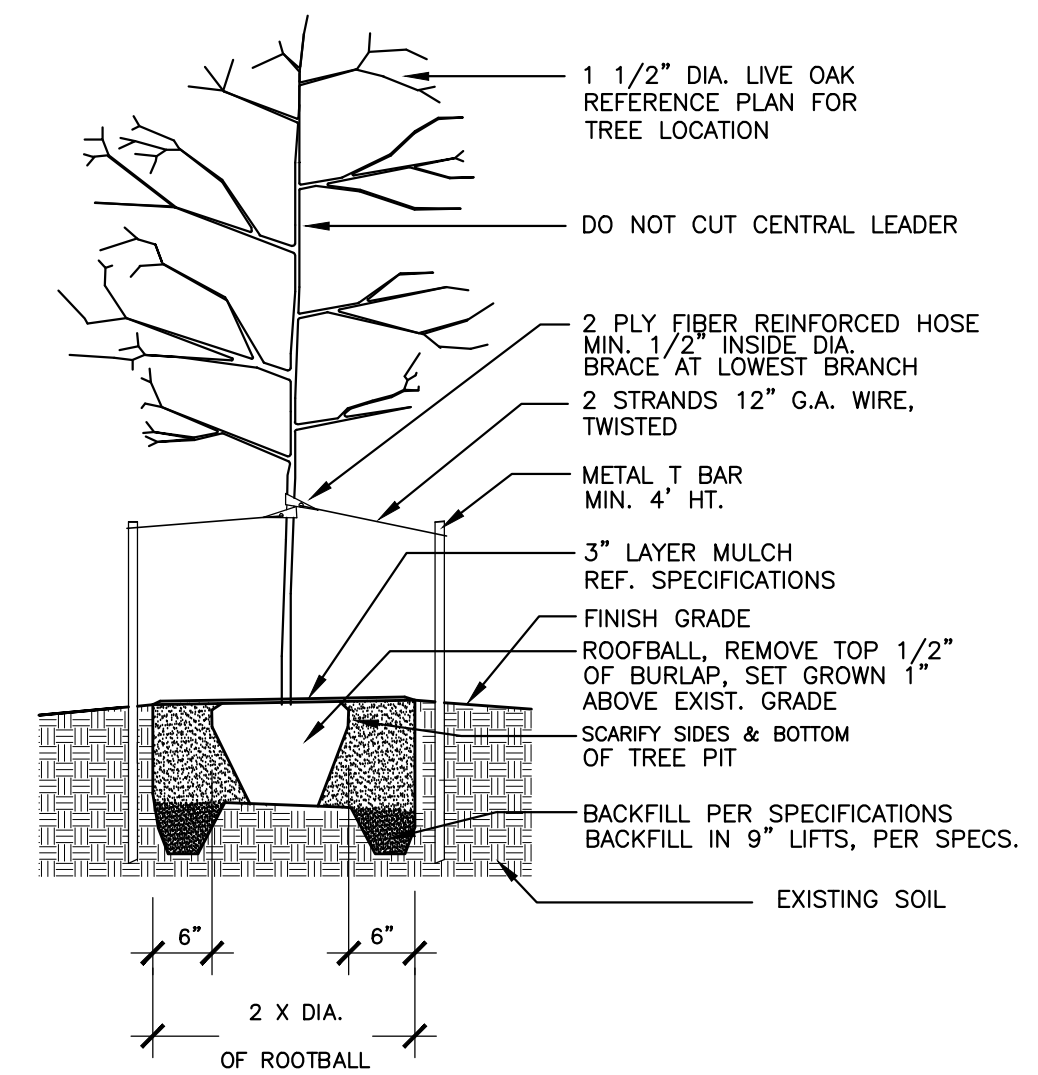
BUFFERYARD @ SIDE

| MEDIUM BUFFERYARD (C-1 NEXT TO RS) | 276' | | REQUIRED/ PROVIDED: |
|------------------------------------|-------|-----|---------------------|
| SHADE TREE | 1 PER | 50' | 6 |
| EVERGREEN ORNAMENTAL TREES | 2 PER | 50' | 11 |
| EVERGREEN SHRUBS | 8 PER | 50' | 44 |

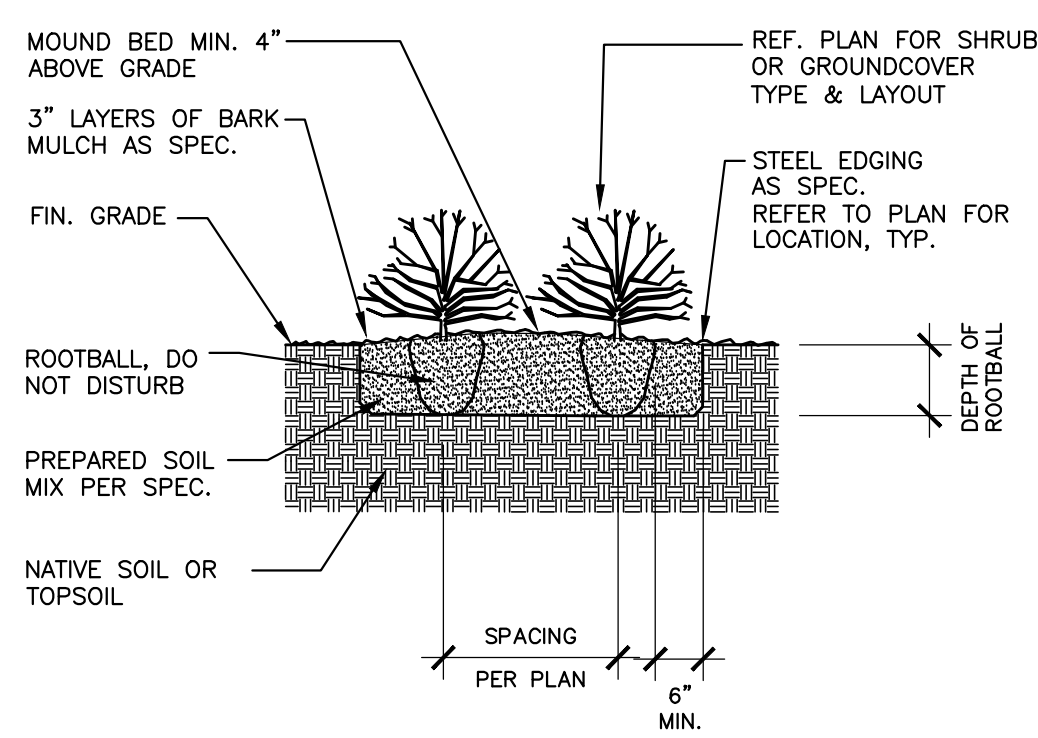


01 LANDSCAPE PLAN

SCALE: 1"=20'-0"



04 TREE STAKING/PLANTING PROCEDURE DETAIL



03 SHRUB/GROUNDCOVER PLANTING DETAIL

LANDSCAPE INSTALLATION NOTES

- PLANT MATERIALS**
PLANTS SHALL BE NURSERY GROWN, VIGOROUS, WELL-BRANCHED, OF NORMAL HABIT OF GROWTH FOR THE SPECIES & SHALL BE FREE FROM DEFECTS, SUN SCALD INJURIES, FROST CRACKS, ABRASIONS OF THE BARK, PLANT DISEASES, INSECT EGGS OR INFESTATIONS. PROVIDE STOCK TRUE TO BOTANICAL NAME & LEGIBLY TAGGED BY GROWER. ALL SUBSTITUTIONS MUST BE APPROVED BY THE LANDSCAPE ARCHITECT. PLANTS NOT MEETING SPECIFICATIONS WILL BE REJECTED. PERFORM ALL WORK REQUIRED TO COMPLETE THE LANDSCAPING INDICATED BY THE DRAWINGS & FURNISH ALL SUPPLEMENTARY ITEMS NECESSARY FOR ITS PROPER INSTALLATION. WARRANTY ALL PLANTS MATERIAL FOR NINETY DAYS UPON FINAL ACCEPTANCE. REMOVE EXCESS SOIL & OTHER MATERIALS FROM SITE. LEAVE SITE IN CLEAN ORDERLY MANNER DAILY.
- LAWN**
FIELD VERIFY TOTAL LAWN. TILL AREA WHEN SOIL IS DRY TO A DEPTH OF 6" AND REMOVE CLODS & DEBRIS GREATER THAN 1 1/2" IN DIAMETER. TILL AREA TO A DEPTH OF 12" WITHIN 5 FEET DIAMETER OF PROPOSED TREES. FINE GRADE TO INSURE POSITIVE DRAINAGE. (REFER TO SPECIFICATIONS & ALLOW FOR MINIMUM 40 C.Y. OF TOPSOIL FOR FINE GRADING). MOUNT PARKING ISLANDS IN CENTER FOR POSITIVE DRAINAGE TO CURB. SOIL SOD AREA WITH "TEXTURE" BERMUDA. PROOF ROLL SOD.
- BED PREPARATION AREA & SOIL & MULCH**
FIELD VERIFY SHRUB/GROUNDCOVER/FLOWER BED PREPARATION AREA - PROVIDE SANDY LOAM AND COMPOST OR PROFESSIONAL BEDDING MIX BY VITAL EARTH RESOURCES. SPREAD 50/50 MIX OF SANDY LOAM/COMPOST (OR PROFESSIONAL BEDDING MIX) TO A DEPTH OF 4" IN PLANTING BEDS AND TILL INTO SOIL TO A DEPTH OF 12". TILL WHEN SOIL IS DRY OR MOIST, BUT NOT WET. REMOVE DEBRIS AND CLODS GREATER THAN 1 1/2" DIAMETER PRIOR TO PLANTING. SLOPE OR MOUND BEDS FOR POSITIVE DRAINAGE. MOUND BEDS MINIMUM OF 4" ABOVE THE CURB IN PARKING LOT ISLANDS. FINISH GRADE OF SOIL LEVEL SHALL BE NO LESS THAN 6" BELOW FINISH FLOOR. PROVIDE COARSELY SHREDDED BARK MULCH BY LIVING EARTH TECHNOLOGIES, OR APPROX TO MIN. DEPTH OF 2 1/2" IN PLANTING BEDS. DO NOT MULCH ABOVE FINISH FLOOR OR BOTTOM OF FOUNDATION VENTS.
- UTILITY LOCATIONS**
THE LANDSCAPE CONTRACTOR IS RESPONSIBLE TO CONTACT UTILITY/COMMUNICATIONS COMPANIES TO FLAG THE LOCATIONS OF UNDERGROUND UTILITIES PRIOR TO INSTALLATION. VERIFY WITH THE OWNER, ARCHITECT OR GENERAL CONTRACTOR THE PRESENCE OF UTILITIES. UTILITIES WHICH MAY BE ENCOUNTERED INCLUDE ELECTRICAL LINE, GAS MAIN AND LATERAL LINES, TELEPHONE CABLE, TELEVISION CABLE, FIBER OPTICS CABLE, WATER, STORM SEWER, SANITARY SEWER AND IRRIGATION MAIN AND LATERAL LINES.
- DAMAGE**
THE GENERAL CONTRACTOR IS REQUIRED TO REPAIR WITH SAME KIND MATERIALS ANY DAMAGE DONE TO THE TREES, BUILDINGS, STRUCTURES, PAVING, UTILITIES OR OTHER SITE IMPROVEMENTS. THE LANDSCAPE CONTRACTOR SHALL BEAR THE COST OF REPAIR. REPAIR MATERIALS AND METHODS MUST BE APPROVED BY THE OWNER'S REPRESENTATIVE.
- RESPONSIBILITIES**
THE LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR ALL PERMITS, LICENSES AND RELATED FEES TO INSTALL THE LANDSCAPE.

TREE PROTECTION & REMOVAL
PROTECT ALL THE EXISTING TREES ON THE SITE SHOWN ABOVE. TREE PROTECTION MUST OCCUR PRIOR TO SITE WORK OR BUILDING CONSTRUCTION. CONSULT WITH THE OWNER/ARCHITECT BEFORE REMOVING ANY SHRUBBERY.

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02 NOTES

DOAN ASSOCIATES

11700 Southwest Fwy, Ste. 205
Houston, TX 77031
T 281 564 2200
F 281 564 2700
doan@doanassociates.com
www.doanassociates.com

This Drawing is an instrument of service and is the sole property of Doan & Associates, any use of this drawing without written consent by Doan & Associates is prohibited.

The firm shall not have control or charge of and shall not be responsible for construction means, methods, deviations, techniques, sequences, or procedures, or for safety precautions and programs in connection with the work, for the acts or omissions of the contractor, subcontractors or any other persons performing any of the work, or failure of any of them to carry out the work in accordance with the contract documents. Always use dimensions as shown. Drawings are not to be scaled.

Drawing scales as indicated are for reference only and are not intended to accurately depict actual or designed conditions. Written dimensions shall govern.

| DATE ISSUED | REMARKS |
|-------------|---------------|
| 03/16/2020 | City Comments |
| 04/20/2020 | City Comments |
| 05/26/2020 | City Comments |

STAMP

PROJECT NAME

PARKVIEW MARKET

301 FM 971
GEORGETOWN, TX 78626

DRAWING TITLE

LANDSCAPING PLAN

| | |
|------------|------------|
| PROJECT # | 19-046 |
| SCALE | AS SHOWN |
| DATE | 10/28/2019 |
| DRAWN BY | SG |
| CHECKED BY | JD |
| SHEET # | |

L1.0

Per Sec 8.02.030 and 8.02.040
- There are a number of existing trees on site, please show and identify those that will remain
- Also make sure to account for mitigation through on-site replacement trees as this will be required first before other forms of Mitigation, see link below for mitigation types and ratios:
https://library.municode.com/tx/georgetown/codes/unified_development_code?nodeId=UNDECO_CH8TRPLAFE_S8.02TRPRPR_S8.02.040REPRHETR

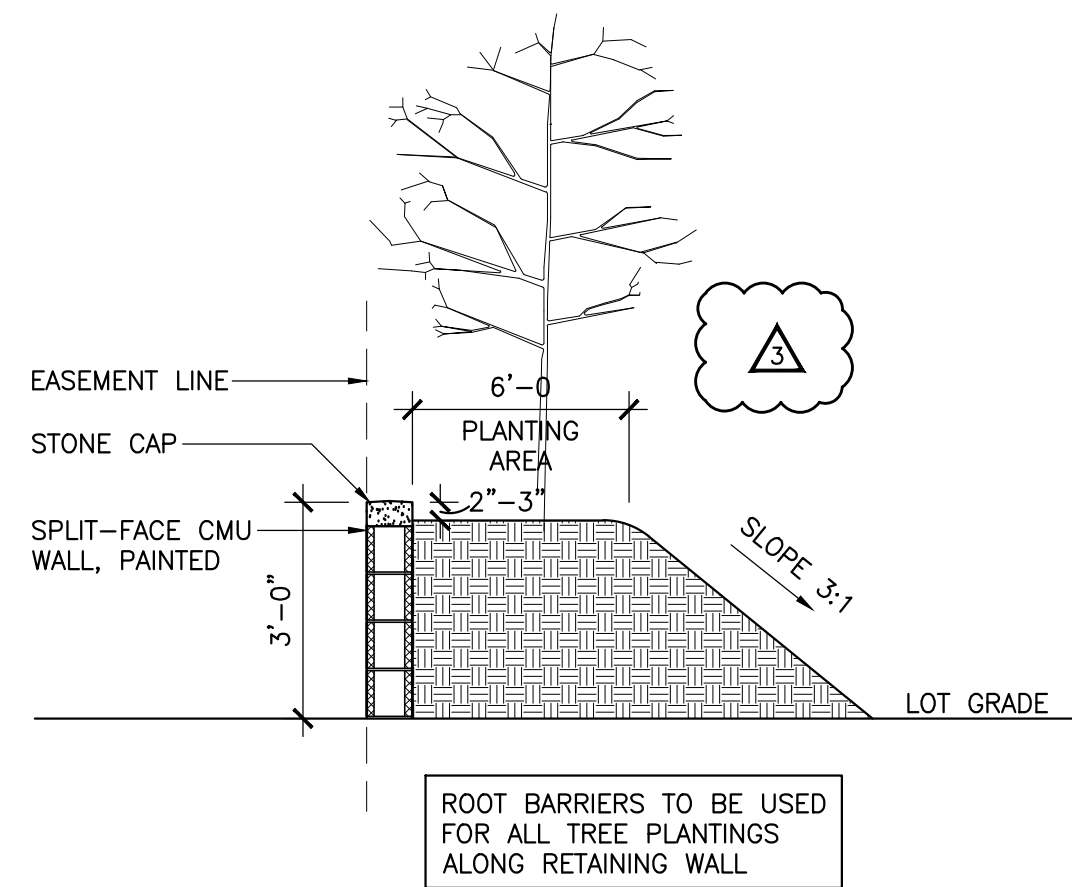


| LANDSCAPING LEGEND | | | | | | | |
|--------------------------------|--------|---------------|-------------------|--------------------------|-------------------------|-----------|------------|
| TYPE | SYMBOL | SYMBOLIC NAME | QUANTITY PROVIDED | COMMON NAME | BOTANICAL NAME | WATER USE | EVER-GREEN |
| SHADE TREE (28 TOTAL) | | SLO | 10 | SOUTHERN LIVE OAK (L-VL) | QUERCUS VIRGINIANA | L-VL | E |
| | | BO | 6 | BUR OAK (VL) | QUERCUS MACROCARPA | VL | D |
| | | LCO | 6 | LACEY OAK (VL) | QUERCUS LACEYI | VL | D |
| | | RC | 6 | EASTERN RED CEDAR (M) | JUNIPERUS VIRGINIANA | M | E |
| ORNAMENTAL TREES (20 TOTAL) | | A | 10 | ANACUA | EHRETIA ANACUA | M | E |
| | | ML | 10 | TEXAS MOUNTAIN LAUREL | SOPHORA SECUNDIFLORA | L | E |
| SHRUBS (174 TOTAL) | | DW | 41 | DWARF WAX MYRTLE | MYRICA PUSILLA | M | E |
| | | IH | 44 | INDINA HAWTHORNE | RHAPHIOLEPIS INDICA | M | E |
| | | FS | 44 | FRAGRANT SUMAC | RHUS AROMATICA | L | D |
| | | BH | 45 | BURFORD HOLLY | ILEX CORNUTA 'BURFORDI' | L | E |
| GRASS | | VERIFY SF. | | GULF MUHLY | MUHLENBERGIA CAPILLARIS | | |

| STREET YARD CALCULATIONS | | | | |
|--------------------------|-----------|----------------|------------------------|------------------------------|
| AREA | REQ. AREA | LANDSCAPE AREA | SHADE TREES | SHRUBS |
| | 0.2000 | 0.0000 | 1 PER 5,000 SF | 3 PER 5,000 SF |
| 55,545 SF | 11,109 SF | 19,134 SF | 50,000: 10 5,545: 1 | 50,000 SF: 30 5,545 SF: 3 |
| TOTALS: | | | 11 SHADE TREES REQ | 33 SHRUBS REQ |
| | | | | 59 SHRUBS PROV. |

| PARKING LOT CALCULATIONS: | | | |
|---------------------------|-----------|---------------------------------|--|
| # OF PARKING STALLS | REQ. AREA | TREES REQ. | |
| 28 STALLS | 560 SF | 1 SHADE TREE PER 12 STALLS | |
| | | 3 TREES (CREDIT TO STREET YARD) | |

| GATEWAY OVERLAY DISTRICT CALC: | |
|--------------------------------|-----------|
| LOT WIDTH | 251' |
| BUFFER DEPTH | 25' |
| TOTAL: | 6275 SF |
| LIVE COVERAGE 80% | 5020 SF |
| SHADE TREE REQ. 2/1,000 SF | 13 TREES |
| SHRUBS REQ./PROV. 5/1,000 SF | 31 SHRUBS |



02 RETAINING WALL DETAIL

N.T.S.

BUFFERYARD @ REAR

| MEDIUM BUFFERYARD (C-1 NEXT TO RS) | 258' | | REQUIRED/ PROVIDED: |
|------------------------------------|-------|-----|---------------------|
| SHADE TREE | 1 PER | 50' | 5 |
| EVERGREEN ORNAMENTAL TREES | 2 PER | 50' | 10 |
| EVERGREEN SHRUBS | 8 PER | 50' | 41 |

BUFFERYARD @ SIDE

| MEDIUM BUFFERYARD (C-1 NEXT TO RS) | 276' | | REQUIRED/ PROVIDED: |
|------------------------------------|-------|-----|---------------------|
| SHADE TREE | 1 PER | 50' | 6 |
| EVERGREEN ORNAMENTAL TREES | 2 PER | 50' | 11 |
| EVERGREEN SHRUBS | 8 PER | 50' | 44 |

- Distribute shrub plantings from northern property line at Parkview Dr., south to FM 971 within the hatched area
- Ensure a mix of shrub species and please offset the grouping (east & west)

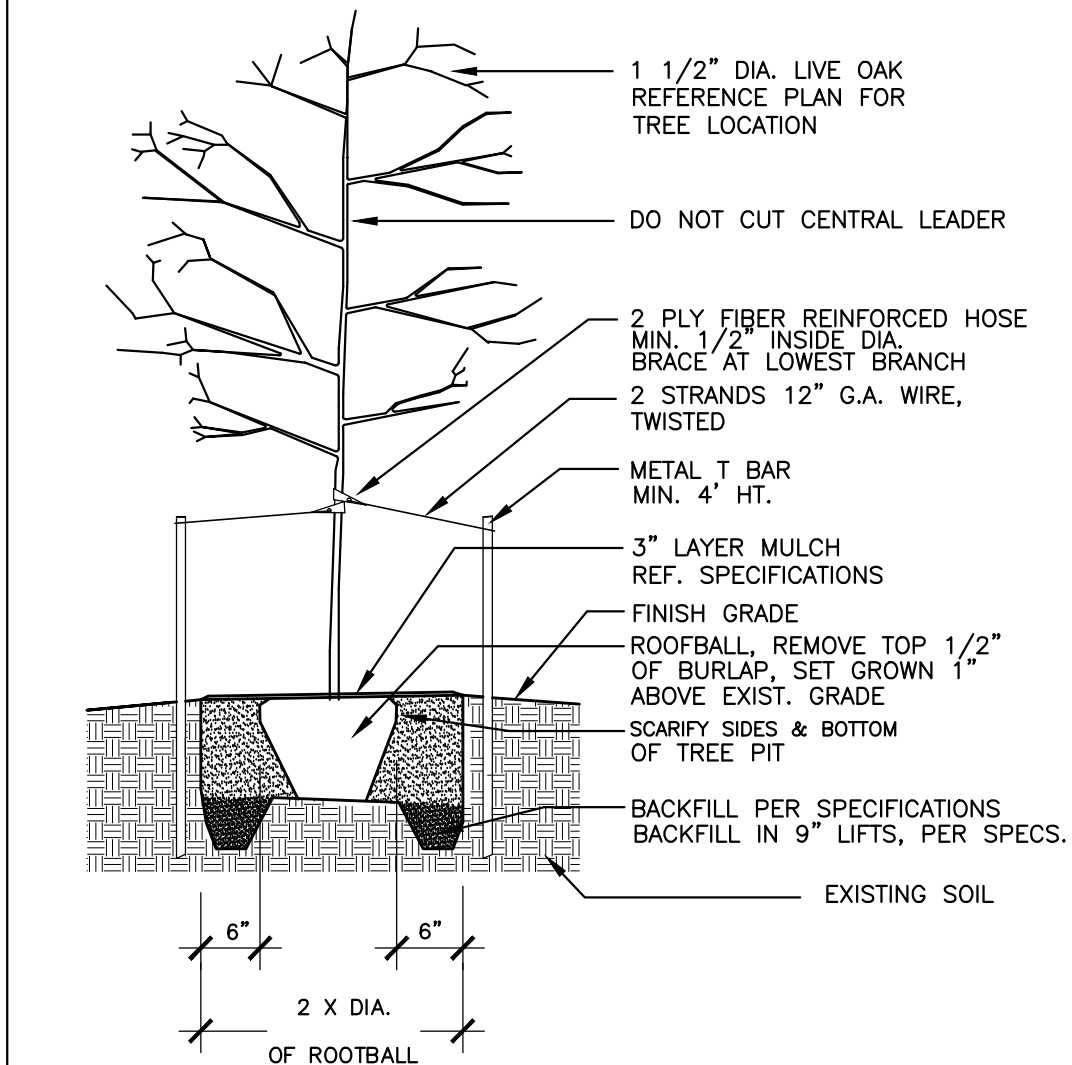
- Ensure a mix of shrub species and please offset the grouping (north & south)

Adjust tree location, to close to pavement.
Adjust trees to accommodate offset similar to trees across drive access

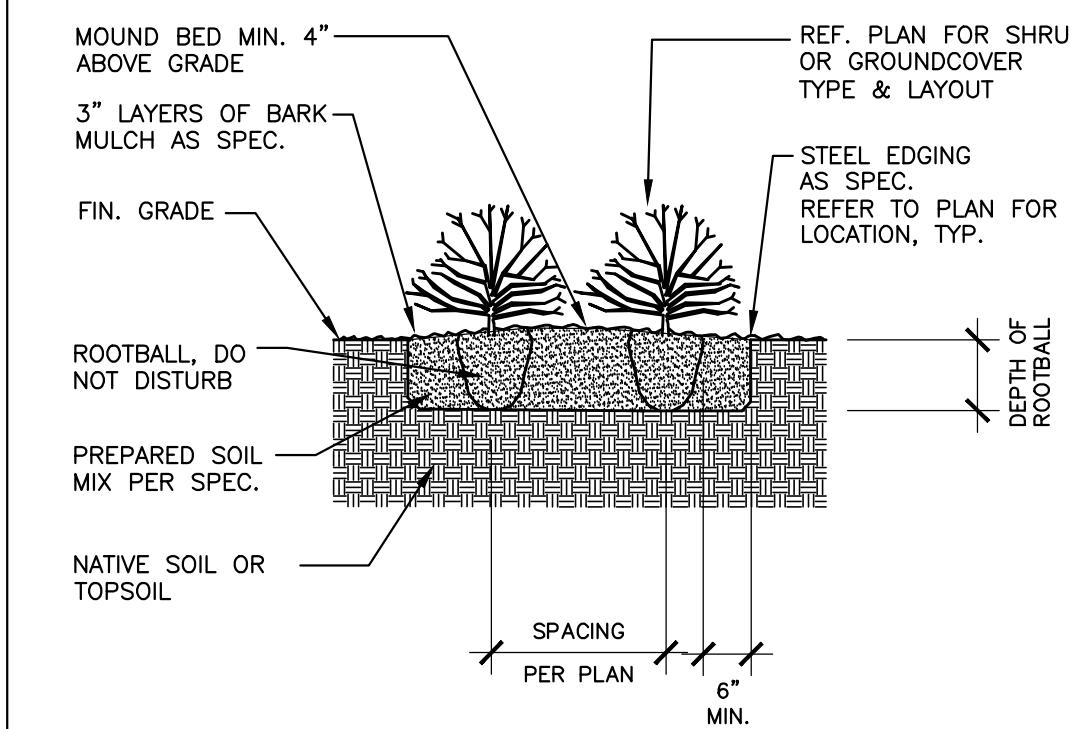
Please adjust shrubs within easements to behind the easement and parallel with ROW similar to shrubs across drive access

01 LANDSCAPE PLAN

SCALE: 1"=20'-0"



04 TREE STAKING/PLANTING PROCEDURE DETAIL



03 SHRUB/GROUNDCOVER PLANTING DETAIL

LANDSCAPE INSTALLATION NOTES

- PLANT MATERIALS**
PLANTS SHALL BE NURSERY GROWN, VIGOROUS, WELL-BRANCHED, OF NORMAL HABIT OF GROWTH FOR THE SPECIES & SHALL BE FREE FROM DEFECTS, SUN SCALD INJURIES, FROST CRACKS, ABRASIONS OF THE BARK, PLANT DISEASES, INSECT EGGS OR INFESTATIONS. PROVIDE STOCK TRUE TO BOTANICAL NAME & LEGIBLY TAGGED BY GROWER. ALL SUBSTITUTIONS MUST BE APPROVED BY THE LANDSCAPE ARCHITECT. PLANTS NOT MEETING SPECIFICATIONS WILL BE REJECTED. PERFORM ALL WORK REQUIRED TO COMPLETE THE LANDSCAPING INDICATED BY THE DRAWINGS & FURNISH ALL SUPPLEMENTARY ITEMS NECESSARY FOR ITS PROPER INSTALLATION. WARRANTY ALL PLANTS MATERIAL FOR NINETY DAYS UPON FINAL ACCEPTANCE. REMOVE EXCESS SOIL & OTHER MATERIALS FROM SITE. LEAVE SITE IN CLEAN ORDERLY MANNER DAILY.
- LAWN**
FIELD VERIFY TOTAL LAWN. TILL AREA WHEN SOIL IS DRY TO A DEPTH OF 6" AND REMOVE CLODS & DEBRIS GREATER THAN 1 1/2" IN DIAMETER. TILL AREA TO A DEPTH OF 12" WITHIN 5 FEET DIAMETER OF PROPOSED TREES. FINE GRADE TO INSURE POSITIVE DRAINAGE. (REFER TO SPECIFICATIONS & ALLOW FOR MINIMUM 40 C.Y. OF TOPSOIL FOR FINE GRADING). MOUNT PARKING ISLANDS IN CENTER FOR POSITIVE DRAINAGE TO CURB. SOIL SOD AREA WITH "TEXTURE" BERMUDA. PROOF ROLL SOD.
- BED PREPARATION AREA & SOIL & MULCH**
FIELD VERIFY SHRUB/GROUNDCOVER/FLOWER BED PREPARATION AREA - PROVIDE SANDY LOAM AND COMPOST OR PROFESSIONAL BEDDING MIX BY VITAL EARTH RESOURCES. SPREAD 50/50 MIX OF SANDY LOAM/COMPOST (OR PROFESSIONAL BEDDING MIX) TO A DEPTH OF 4" IN PLANTING BEDS AND TILL INTO SOIL TO A DEPTH OF 12". TILL WHEN SOIL IS DRY OR MOIST, BUT NOT WET. REMOVE DEBRIS AND CLODS GREATER THAN 1 1/2" DIAMETER PRIOR TO PLANTING. SLOPE OR MOUND BEDS FOR POSITIVE DRAINAGE. MOUND BEDS MINIMUM OF 4" ABOVE THE CURB IN PARKING LOT ISLANDS. FINISH GRADE OF SOIL LEVEL SHALL BE NO LESS THAN 6" BELOW FINISH FLOOR. PROVIDE COARSELY SHREDDED BARK MULCH BY LIVING EARTH TECHNOLOGIES OR APPROX. TO MIN. DEPTH OF 2 1/2" IN PLANTING BEDS. DO NOT MULCH ABOVE FINISH FLOOR OR BOTTOM OF FOUNDATION VENTS.
- UTILITY LOCATIONS**
THE LANDSCAPE CONTRACTOR IS RESPONSIBLE TO CONTACT UTILITY/COMMUNICATIONS COMPANIES TO FLAG THE LOCATIONS OF UNDERGROUND UTILITIES PRIOR TO INSTALLATION. VERIFY WITH THE OWNER, ARCHITECT OR GENERAL CONTRACTOR THE PRESENCE OF UTILITIES. UTILITIES WHICH MAY BE ENCOUNTERED INCLUDE ELECTRICAL LINE, GAS MAIN AND LATERAL LINES, TELEPHONE CABLE, TELEVISION CABLE, FIBER OPTICS CABLE, WATER, STORM SEWER, SANITARY SEWER AND IRRIGATION MAIN AND LATERAL LINES.
- DAMAGE**
THE GENERAL CONTRACTOR IS REQUIRED TO REPAIR WITH SAME KIND MATERIALS ANY DAMAGE DONE TO THE TREES, BUILDINGS, STRUCTURES, PAVING, UTILITIES OR OTHER SITE IMPROVEMENTS. THE LANDSCAPE CONTRACTOR SHALL BEAR THE COST OF REPAIR. REPAIR MATERIALS AND METHODS MUST BE APPROVED BY THE OWNER'S REPRESENTATIVE.
- RESPONSIBILITIES**
THE LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR ALL PERMITS, LICENSES AND RELATED FEES TO INSTALL THE LANDSCAPE.

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02 NOTES

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| DATE ISSUED | REMARKS |
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| 03/16/2020 | City Comments |
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PROJECT NAME

PARKVIEW MARKET

301 FM 971
GEORGETOWN, TX 78626

DRAWING TITLE

LANDSCAPING PLAN

| | |
|------------|------------|
| PROJECT # | 19-046 |
| SCALE | AS SHOWN |
| DATE | 10/28/2019 |
| DRAWN BY | SG |
| CHECKED BY | JD |
| SHEET # | |

L1.0

DOAN & ASSOCIATES, LLC

11700 Southwest Freeway, Suite # 205. Houston, Texas 77031. Tel: (281) 564-2200 Fax: (281) 564-2700

April 20, 2020

Planning & Development Department
City Council of Georgetown
406 W. 8th Street
Georgetown, TX 78626

Reference: Parkview Market
301 FM 971
Georgetown, Texas 78626

To whom it may concern,

This letter summarizes the proposed land development located at 301 FM 971, Georgetown, Texas 78626. The proposed development is construction of a new retail shell building with a convenience store build-out & gas station. The convenience store will have 4 employees, and its hours of operation will be from 8:00 am to 9:00 pm, Monday-Sunday.

Sec. 3.07.030 Approval Criteria:

A. Conceptual site plan attached.

B: The conceptual site layout (A1.0) includes all items listed. Some items are shown on sheets L1.0 (Landscape plan), P1.0 (Plumbing Site Plan), and Civil drawings.

C:

C1. The proposed use is a typical gas station and convenience store, with room for future lease build outs which will provide nearby services to the surrounding area. There are no unique proposed features of this use that pose any harm to the surrounding area.

C2. The proposed use is a C-1 zone next to RS zones, so the proposed use has appropriate landscape buffers along these RS zones. There are also proposed 8' walls along the residential zones to provide additional screen and barrier. The proposed development lies along a scenic gateway route (FM 971) and has the required landscaping buffer as well. It has two driveways, one on Parkview and one on FM 971, which allows for convenient access from both cross streets. The visibility at the intersection is clear.

C3. The proposed convenience store and gas station have typical operations and impose no special strain on existing infrastructure. There is a kitchen inside the store, and an appropriate grease trap and sample well will be provided. There is adequate room for fire apparatus and waste collection. Parking requirements are met.

January 13, 2020
New Retail C-Store Gas Station
Page 2 of 2

C4. The proposed use is a typical gas station and convenience store. The kitchen inside the c-store will have a standard fire suppression system and fire extinguishers. There will be an emergency shut-off for the fuel system as well.

If you have any questions, please call at 281-564-2200.

Julie Doan

Principal



CITY OF GEORGETOWN
NOTICE OF PUBLIC HEARING

Comments from Neighboring Property Owners

You are being notified as a requirement of the City of Georgetown Code of Ordinances. You are invited to express your views or concerns regarding the – described petition by returning this comment form and/or by attending one or both of the scheduled public hearings on the matter.

Project Name/Address: 301 FM 971

Project Case Number: 2020-1-SUP P&Z Date: July 21, 2020 Case Manager: Michael Patroski

Name of Respondent: Regina Watson
(Please print name)

Signature of Respondent: [Signature]
(Signature required for protest)

Address of Respondent: 116 Parque Vista Drive
(Address required for protest)

I am in FAVOR: _____ I OBJECT: ✓

Additional Comments:

see attached

Written comments may be sent to City of Georgetown Planning Department, P. O. Box 1458 Georgetown, Texas 78627. Emailed comments may be sent to planning@georgetown.org. Any such comments may be presented to the Commission.



Date 7/20/2020

Re: 301 FM 971 Project Case Number: 2020-1-SUP PZ Date: 7/21/2020 Case Manager: Michael Patroski

Chairman and Commissioners,

I think we can all agree Georgetown is growing at an amazing pace. I think we can also agree that the best way to manage growth is a good plan. A good plan is one that is flexible and can accommodate the needs of local residents.

The commission has worked hard to make wise decisions. Parkview Estates has worked hard to cultivate our own sense of community that we treasure. Young families interspersed with empty nesters. Strollers side by side with mobility walkers, children on scooters, and adult trikes.

Human interconnectivity is the heart of our community, which has been established for over 25 years. For many families this is their forever home.

I accept the C-1 zoning of 301 FM 971. However, the concern I share with my neighbors is that a direct exit on to Parkview Drive would dramatically increase traffic through our neighborhood. The effect of that traffic would not only compromise public safety; it would irreversibly divide our neighborhood into two. Something we could never recover from. We would never be the same again. Simply said, it would split us asunder.

Imagine 28 parking spots with 4 double-sided fueling stations. This 1.6 acre development could contain as many as 36 cars at a time. Plus, the community would be woken up at 4:00 AM with noise from trash pick-up from trash receptacle housed up against the fence.

I also have concern for the elementary children who will be congregating on Parkview drive each weekday to get on and off the bus. I think about the high school track team crossing Parkview Drive daily to get to San Gabriel Park and the challenges to their personal safety. The speeding on Parkview Drive has become an issue over the last two to three years as motorists have increasingly used our neighborhood as a short cut to Austin Avenue. The proposed development, as currently planned, will only make it worse.

Due to an incline on the east end of Parkview Drive visibility is limited. Cross-traffic between the proposed and existing gas station would provide more concern. Parkview Drive will become a shortcut to get to northbound IH 35.

Increased traffic puts our most vulnerable citizens, young and old alike at risk. This is a HUGE public safety concern for our community.

A traffic impact study must be done before this development is voted on by the commission. City Planning, please provide the daily estimated number of cars on Parkview Drive if there is a Parkview Market entrance on Parkview Drive. Please provide peak hour traffic, which I suspect coincides with school hours. Our community is surrounded by three schools. Traffic calming may eventually be needed. Unfortunately, that will be after the fact. A traffic calming study would be eventually needed.



In addition, as good stewards of the land, it is important that EVERY heritage and native tree on the 301 FM 971 property be preserved and not removed to accommodate the proposed convenience store. We want to maintain our Texas Native trees and plants, and respectfully request that the Unified Development Code and Ordinances are enforced on the land located at 301 FM 971. It is my understanding that the corporation can receive credit to save the trees that are located on that land. If not, they must mitigate what they take. This mitigation should be held in a public hearing.

Furthermore, it is possible the current owner may be planning to flip this property if the SUP is approved. I request if the SUP is approved that it does not automatically convey to any subsequent owners. Any subsequent owners would have to re-apply for the SUP.

I understand the desire of the commission to promote thoughtful development while maintaining our neighborhoods, which is something I personally value. However, when I look at the proposed Parkview Market entrance on Parkview Drive I do not see it as a positive. I see increased transitory traffic.

I believe that the city, the owner of Parkview Market, and our HOA can collaborate and come up with alternatives that make sense for all involved. I OBJECT to the current proposal.

Thank you for carefully considering my request.

Respectfully,

Printed Name: Regina Watson

Signature: _____

Address: 116 Parque Vista Drive, Georgetown TX 78626



Date 7-20-2020

Re: 301 FM 971 Project Case Number: 2020-1-SUP PZ Date: 7/21/2020 Case Manager: Michael Patroski

Chairman and Commissioners,

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The commission has worked hard to make wise decisions. Parkview Estates has worked hard to cultivate our own sense of community that we treasure. Young families interspersed with empty nesters. Strollers side by side with mobility walkers, children on scooters, and adult trikes.

Human interconnectivity is the heart of our community, which has been established for over 25 years.

I accept the C-1 zoning of 301 FM 971. However, my concern, which I share with my neighbors, is that a direct exit on to Parkview Drive would dramatically increase traffic through our neighborhood. The effect of that traffic would not only compromise public safety; it would irreversibly divide our neighborhood into two. Something we could never recover from. We would never be the same again. Simply said, it would split us asunder.

I also have concern for the elementary children who will be congregating on Parkview drive each weekday to get on and off the bus. I think about the high school track team crossing Parkview Drive daily to get to San Gabriel Park and the challenges to their personal safety. The speeding on Parkview Drive has become an issue over the last two to three years as motorists have increasingly used our neighborhood as a short cut to Austin Avenue. The proposed development, as currently planned, will only make it worse.

Increased traffic puts our most vulnerable citizens, young and old alike are at risk.

This is a HUGE public safety concern for our community. A traffic impact study must be done before this development is voted on by the commission. City Planning, please provide the daily estimated number of cars on Parkview Drive if there is a Parkview Market entrance on Parkview Drive. Please provide peak hour traffic, which I suspect coincides with school hours. Our community is surrounded by three schools.

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I understand the desire of the commission to promote thoughtful development while maintaining our neighborhoods, which is something I personally value. However, when I look at the proposed Parkview Market entrance on Parkview Drive I do not see it as a positive. I see increased transitory traffic.

I believe that the city, the owner of Parkview Market, and our HOA can collaborate and come up with alternatives that make sense for all involved. **OBJECT to the current proposal.**

Thank you for carefully considering my request.

Respectfully,

Printed Name Bettye Ledbetter

Signature Bettye L. Ledbetter

Address 121 Parque Vista Dr.





CITY OF GEORGETOWN
NOTICE OF PUBLIC HEARING

Comments from Neighboring Property Owners

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Project Name/Address: 301 FM 971

Project Case Number: 2020-1-SUP P&Z Date: July 21, 2020 Case Manager: Michael Patroski

Name of Respondent: Amy Thornton-Miles
(Please print name)

Signature of Respondent: [Signature]
(Signature required for protest)

Address of Respondent: 120 Rio Vista Dr Georgetown, TX 78626
(Address required for protest)

I am in FAVOR: _____

I OBJECT: ✓

Additional Comments:

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CITY OF GEORGETOWN
NOTICE OF PUBLIC HEARING

RECEIVED

JUL 20 2020

CITY OF GEORGETOWN
PLANNING DEPARTMENT

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Project Name/Address: 301 FM 971

Project Case Number: 2020-1-SUP P&Z Date: July 21, 2020 Case Manager: Michael Patroski

Name of Respondent:

Debra L. Young

(Please print name)

Signature of Respondent:

Debra L. Young

(Signature required for protest)

Address of Respondent:

103 Benchmark Street, Georgetown, TX 78626

(Address required for protest)

I am in FAVOR: _____

I OBJECT: _____

X

Additional Comments:

- (1) Increase traffic will cause safety concern to us.
- (2) Speeding cars/trucks will dramatically increase - already an issue. OLD AND YOUNG.
- (3) Home values will go down due to traffic concerns
- (4) Division of neighborhood into two sections

Written comments may be sent to City of Georgetown Planning Department, P. O. Box 1458 Georgetown, Texas 78627. Emailed comments may be sent to planning@georgetown.org. Any such comments may be presented to the Commission.

- (5) Loss of heritage trees - A large issue with development now going on.
- (6) Homeless - safety concern for our neighborhood. There would be an attraction as it has in many places in Georgetown, Round Rock and Austin. There is a growing population in the park.

Date July 18, 2020

Re: 301 FM 971 Project Case Number: 2020-1-SUP PZ Date: 7/21/2020 Case Manager: Michael Patroski

Chairman and Commissioners,

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This is a HUGE public safety concern for our community. A traffic impact study must be done before this development is voted on by the commission. City Planning, please provide the daily estimated number of cars on Parkview Drive if there is a Parkview Market entrance on Parkview Drive. Please provide peak hour traffic, which I suspect coincides with school hours. Our community is surrounded by three schools.

In addition, as good stewards of the land, it is important that EVERY heritage tree on the 301 FM 971 property be preserved and not removed to accommodate the proposed convenience store.

I understand the desire of the commission to promote thoughtful development while maintaining our neighborhoods, which is something I personally value. However, when I look at the proposed Parkview Market entrance on Parkview Drive I do not see it as a positive. I see increased transitory traffic.

I believe that the city, the owner of Parkview Market, and our HOA can collaborate and come up with alternatives that make sense for all involved. I OBJECT to the current proposal. *yes I do object*

Thank you for carefully considering my request.

Respectfully,

Printed Name

Shawn E. Sabo

Signature

Shawn Sabo

Address

205 Rio Vista Dr Georgetown

RECEIVED

JUL 20 2020

**CITY OF GEORGETOWN
PLANNING DEPARTMENT**

Date 07.18.20

Re: 301 FM 971 Project Case Number: 2020-1-SUP PZ Date: 7/21/2020 Case Manager: Michael Patroski

Chairman and Commissioners,

I think we can all agree Georgetown is growing at an amazing pace. I think we can also agree that the best way to manage growth is a good plan. A good plan is one that is flexible and can accommodate the needs of local residents.

The commission has worked hard to make wise decisions. Parkview Estates has worked hard to cultivate our own sense of community that we treasure. Young families interspersed with empty nesters. Strollers side by side with mobility walkers, children on scooters, and adult trikes.

Human interconnectivity is the heart of our community, which has been established for over 25 years.

I accept the C-1 zoning of 301 FM 971. However, my concern, which I share with my neighbors, is that a direct exit on to Parkview Drive would dramatically increase traffic through our neighborhood. The effect of that traffic would not only compromise public safety; it would irreversibly divide our neighborhood into two. Something we could never recover from. We would never be the same again. Simply said, it would split us asunder.

I also have concern for the elementary children who will be congregating on Parkview drive each weekday to get on and off the bus. I think about the high school track team crossing Parkview Drive daily to get to San Gabriel Park and the challenges to their personal safety. The speeding on Parkview Drive has become an issue over the last two to three years as motorists have increasingly used our neighborhood as a short cut to Austin Avenue. The proposed development, as currently planned, will only make it worse.

Increased traffic puts our most vulnerable citizens, young and old alike at risk.

This is a HUGE public safety concern for our community. A traffic impact study must be done before this development is voted on by the commission. City Planning, please provide the daily estimated number of cars on Parkview Drive if there is a Parkview Market entrance on Parkview Drive. Please provide peak hour traffic, which I suspect coincides with school hours. Our community is surrounded by three schools.

In addition, as good stewards of the land, it is important that EVERY heritage tree on the 301 FM 971 property be preserved and not removed to accommodate the proposed convenience store.

I understand the desire of the commission to promote thoughtful development while maintaining our neighborhoods, which is something I personally value. However, when I look at the proposed Parkview Market entrance on Parkview Drive I do not see it as a positive. I see increased transitory traffic.

I believe that the city, the owner of Parkview Market, and our HOA can collaborate and come up with alternatives that make sense for all involved. I OBJECT to the current proposal.

Thank you for carefully considering my request.

Respectfully,

Printed Name

Paul and Rebecca Krentz

Signature

Paul Krentz

Address

103 Parque Vista Drive Georgetown, TX 78626

RECEIVED

JUL 20 2020

CITY OF GEORGETOWN
PLANNING DEPARTMENT

Date 7/19/2020

Re: 301 FM 971 Project Case Number: 2020-1-SUP PZ Date: 7/21/2020 Case Manager: Michael Patroski

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I believe that the city, the owner of Parkview Market, and our HOA can collaborate and come up with alternatives that make sense for all involved. I OBJECT to the current proposal.

Thank you for carefully considering my request.

Respectfully,

Printed Name Paul M. Neri, Sr.

Signature Paul M. Neri, Sr.

Address 111 Birchmont St Georgetown TX 78626





CITY OF GEORGETOWN
NOTICE OF PUBLIC HEARING

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Project Name/Address: 301 FM 971

Project Case Number: 2020-1-SUP P&Z Date: July 21, 2020 Case Manager: Michael Patroski

Name of Respondent: William A. McNally Jr.
(Please print name)

Signature of Respondent: W. A. McNally Jr.
(Signature required for protest)

Address of Respondent: 204 PARKVIEW DR. 78626
(Address required for protest)

~~I am in FAVOR:~~ _____ I OBJECT: X

Additional Comments:

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Date 7-19-2020

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Thank you for carefully considering my request.

Respectfully,

Printed Name

William A. McNally Jr.

Signature

W.A. McNally Jr.

Address

204 PARKVIEW DR. 78626

RECEIVED

JUL 20 2020

CITY OF GEORGETOWN
PLANNING DEPARTMENT



CITY OF GEORGETOWN
NOTICE OF PUBLIC HEARING

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Project Name/Address: 301 FM 971

Project Case Number: 2020-1-SUP P&Z Date: July 21, 2020 Case Manager: Michael Patroski

Name of Respondent: Mike Braught
(Please print name)

Signature of Respondent: Michael Braught
(Signature required for protest)

Address of Respondent: 207 Rio Vista
(Address required for protest)

I am in FAVOR: _____ I OBJECT: X

Additional Comments:

I wish something different could be built since
we already have the same type of business
across the street

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Thank you for carefully considering my request.

Respectfully,

Printed Name

Mike Braught

Signature

Michael Braught

Address

207 Rio Vista





CITY OF GEORGETOWN
NOTICE OF PUBLIC HEARING

Comments from Neighboring Property Owners

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Project Name/Address: 301 FM 971

Project Case Number: 2020-1-SUP P&Z Date: July 21, 2020 Case Manager: Michael Patroski

Name of Respondent: DUDLEY A. PORTER
(Please print name)

Signature of Respondent: *Dudley A. Porter*
(Signature required for protest)

Address of Respondent: 200 Rio Vista Drive
(Address required for protest)

I am in FAVOR: _____

I OBJECT:

Building a Gas Station
on Parkview Estate Dr.

Additional Comments:

The entrance on to Parkview Estate Dr. will
have Two different convenient Store accesses.
There is only room for one.

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Date July 18, 2020

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I believe that the city, the owner of Parkview Market, and our HOA can collaborate and come up with alternatives that make sense for all involved. I OBJECT to the current proposal.

Thank you for carefully considering my request.

Respectfully,

Printed Name Richard Risener - Charlotte Risener
Signature Charlotte Risener
Address 114 Paque Vista Dr. Georgetown, TX 78626





CITY OF GEORGETOWN
NOTICE OF PUBLIC HEARING

7/20/20

Comments from Neighboring Property Owners

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Project Name/Address: 301 FM 971

Project Case Number: 2020-1-SUP P&Z Date: July 21, 2020 Case Manager: Michael Patroski

Name of Respondent: W. SAMUEL MAY, JR., M.D.
(Please print name)

Signature of Respondent: [Signature]
(Signature required for protest)

Address of Respondent: 107 PECAN VISTA W. GT 78626
(Address required for protest)

I am in FAVOR: _____ I OBJECT: X

Additional Comments:

There's already one gas station/mini mart
across the street from proposed location
that is rarely busy. We don't need two
to add to traffic in our neighborhood

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NOTICE OF PUBLIC HEARING

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Project Name/Address: 301 FM 971

Project Case Number: 2020-1-SUP P&Z Date: July 21, 2020 Case Manager: Michael Patroski

Name of Respondent: Michael S. Farmer
(Please print name)

Signature of Respondent: [Signature]
(Signature required for protest)

Address of Respondent: 127 Parque Vista Dr.
(Address required for protest)

I am in FAVOR: _____ I OBJECT: ✓

Additional Comments:

One gas station is enough this close to a neighborhood. We do not need increased traffic day + night through or near our neighborhood for overpriced gas + beer runs. There is already too much traffic on FM 971 + no sign of it slowing down with all the development that has been allowed. The property needs to be used for something that has 9+5 hrs so that the impact to the neighborhood will be minimized.

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Another gas station? Really?



Date 7/20/20

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Respectfully,

Printed Name Michael S. Farmer

Signature [Signature]

Address 127 Parque Vista Dr.





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Project Name/Address: 301 FM 971

Project Case Number: 2020-1-SUP P&Z Date: July 21, 2020 Case Manager: Michael Patroski

Name of Respondent: ROBERT BACHMAN
(Please print name)

Signature of Respondent: [Signature]
(Signature required for protest)

Address of Respondent: 203 RIO VISTA DR. GEORGETOWN TX 78626
(Address required for protest)

I am in FAVOR: _____

I OBJECT: ✓

Additional Comments:

Light blinds in windows.

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Thank you for carefully considering my request.

Respectfully,

Printed Name

ROBERT BACHMAN

Signature

Robert Bachman

Address

203 RIO VISTA DR GEORGETOWN TX 78626

RECEIVED

JUL 20 2020

CITY OF GEORGETOWN
PLANNING DEPARTMENT



CITY OF GEORGETOWN
NOTICE OF PUBLIC HEARING



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Project Name/Address: 301 FM 971

Project Case Number: 2020-1-SUP P&Z Date: July 21, 2020 Case Manager: Michael Patroski

Name of Respondent: KELLY PATTILLO
(Please print name)

Signature of Respondent: [Signature] 7/19/20
(Signature required for protest)

Address of Respondent: 115 BENCHMARK ST, GEORGETOWN TX 78626
(Address required for protest)

I am in FAVOR: _____ I OBJECT: X

Additional Comments:

I OBJECT to allowing a second convenience store and gas station at this intersection. People in the surrounding area consistently use Parkview Drive as a shortcut/cut-through to get between FM 971 and Austin Avenue to the north. Parkview Drive was not designed for that level of traffic, those cut-through drivers

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frequently speed, and it poses a danger to the children, parents with strollers, and other neighborhood residents for whom Parkview Drive is the center of our neighborhood. A second convenience store and gas station will only encourage more traffic and more drivers cutting through our neighborhood. I urge you not to allow this project to move forward. Thank you.

Date 7-19-20

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Thank you for carefully considering my request.

Respectfully,

Printed Name

Signature

Address

Connie and Milton Bowman
Connie Bowman and Milton Bowman
104 Rio Vista Dr, Georgetown Tx 78626

RECEIVED

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CITY OF GEORGETOWN
PLANNING DEPARTMENT

Date 7/19/20

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In addition, as good stewards of the land, it is important that EVERY heritage tree on the 301 FM 971 property be preserved and not removed to accommodate the proposed convenience store.

I understand the desire of the commission to promote thoughtful development while maintaining our neighborhoods, which is something I personally value. However, when I look at the proposed Parkview Market entrance on Parkview Drive I do not see it as a positive. I see increased transitory traffic.

I believe that the city, the owner of Parkview Market, and our HOA can collaborate and come up with alternatives that make sense for all involved. I OBJECT to the current proposal.

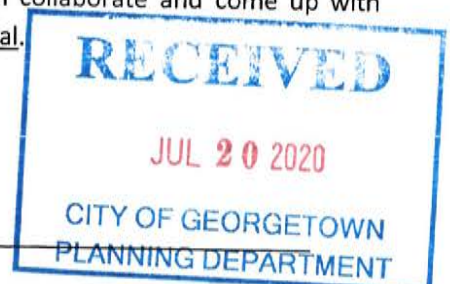
Thank you for carefully considering my request.

Respectfully,

Printed Name Mitchell Lakner

Signature Mitchell Lakner

Address 112 Parque Vista Dr. Georgetown Tx 78626





CITY OF GEORGETOWN
NOTICE OF PUBLIC HEARING

Comments from Neighboring Property Owners

You are being notified as a requirement of the City of Georgetown Code of Ordinances. You are invited to express your views or concerns regarding the – described petition by returning this comment form and/or by attending one or both of the scheduled public hearings on the matter.

Project Name/Address: 301 FM 971

Project Case Number: 2020-1-SUP P&Z Date: July 21, 2020 Case Manager: Michael Patroski

Name of Respondent: Mitchell Lakner
(Please print name)

Signature of Respondent: Mitchell Lakner
(Signature required for protest)

Address of Respondent: 112 Parque Vista Dr, Georgetown, TX
(Address required for protest)

I am in FAVOR: _____

I OBJECT: ✓

Additional Comments:

This property location would be squandered with an additional gas station
and must not be developed as such. This development is a short sighted, and a dangerous,
decision that must not move forward without consulting the needs of
the local community.

Written comments may be sent to City of Georgetown Planning Department, P. O. Box 1458 Georgetown, Texas 78627. Emailed comments may be sent to planning@georgetown.org. Any such comments may be presented to the Commission.





CITY OF GEORGETOWN
NOTICE OF PUBLIC HEARING

Comments from Neighboring Property Owners

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Project Name/Address: 301 FM 971

Project Case Number: 2020-1-SUP P&Z Date: July 21, 2020 Case Manager: Michael Patroski

Name of Respondent: Daniel Russell Jr
(Please print name)

Signature of Respondent: [Signature]
(Signature required for protest)

Address of Respondent: 121 Benchmark St
(Address required for protest)

I am in FAVOR: _____ I OBJECT: [Signature]

Additional Comments:

Written comments may be sent to City of Georgetown Planning Department, P. O. Box 1458 Georgetown, Texas 78627. Emailed comments may be sent to planning@georgetown.org. Any such comments may be presented to the Commission.



Date 10 July 2020

Re: 301 FM 971 Project Case Number: 2020-1-SUP PZ Date: 7/21/2020 Case Manager: Michael Patroski

Chairman and Commissioners,

I think we can all agree Georgetown is growing at an amazing pace. I think we can also agree that the best way to manage growth is a good plan. A good plan is one that is flexible and can accommodate the needs of local residents.

The commission has worked hard to make wise decisions. Parkview Estates has worked hard to cultivate our own sense of community that we treasure. Young families interspersed with empty nesters. Strollers side by side with mobility walkers, children on scooters, and adult trikes.

Human interconnectivity is the heart of our community, which has been established for over 25 years.

I accept the C-1 zoning of 301 FM 971. However, my concern, which I share with my neighbors, is that a direct exit on to Parkview Drive would dramatically increase traffic through our neighborhood. The effect of that traffic would not only compromise public safety; it would irreversibly divide our neighborhood into two. Something we could never recover from. We would never be the same again. Simply said, it would split us asunder.

I also have concern for the elementary children who will be congregating on Parkview drive each weekday to get on and off the bus. I think about the high school track team crossing Parkview Drive daily to get to San Gabriel Park and the challenges to their personal safety. The speeding on Parkview Drive has become an issue over the last two to three years as motorists have increasingly used our neighborhood as a short cut to Austin Avenue. The proposed development, as currently planned, will only make it worse.

Increased traffic puts our most vulnerable citizens, young and old alike are at risk.

This is a HUGE public safety concern for our community. A traffic impact study must be done before this development is voted on by the commission. City Planning, please provide the daily estimated number of cars on Parkview Drive if there is a Parkview Market entrance on Parkview Drive. Please provide peak hour traffic, which I suspect coincides with school hours. Our community is surrounded by three schools.

In addition, as good stewards of the land, it is important that EVERY heritage tree on the 301 FM 971 property be preserved and not removed to accommodate the proposed convenience store.

I understand the desire of the commission to promote thoughtful development while maintaining our neighborhoods, which is something I personally value. However, when I look at the proposed Parkview Market entrance on Parkview Drive I do not see it as a positive. I see increased transitory traffic.

I believe that the city, the owner of Parkview Market, and our HOA can collaborate and come up with alternatives that make sense for all involved. I OBJECT to the current proposal.

Thank you for carefully considering my request.

Respectfully,

Printed Name Daniel Russell

Signature D. Russell

Address 121 Benchmark St

RECEIVED

JUL 20 2020

**CITY OF GEORGETOWN
PLANNING DEPARTMENT**

Re: 301 FM 971 Project Case Number: 2020-1-SUP PZ Date: 7/21/2020 Case Manager: Michael Patroski

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I believe that the city, the owner of Parkview Market, and our HOA can collaborate and come up with alternatives that make sense for all involved. I OBJECT to the current proposal.

Thank you for carefully considering my request.

Respectfully,

Printed Name

Debbie Spivey

Signature

D Spivey

Address

124 Benchmark St, GT, TX 78624

RECEIVED

JUL 20 2020

CITY OF GEORGETOWN
PLANNING DEPARTMENT



CITY OF GEORGETOWN
NOTICE OF PUBLIC HEARING

Comments from Neighboring Property Owners

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Project Name/Address: 301 FM 971

Project Case Number: 2020-1-SUP P&Z Date: July 21, 2020 Case Manager: Michael Patroski

Name of Respondent: Debbie Spivey 7.19.20
(Please print name)

Signature of Respondent: [Signature]
(Signature required for protest)

Address of Respondent: 124 Benchmark St. GT, TX 78626
(Address required for protest)

I am in FAVOR: _____ I OBJECT: ✓

Additional Comments:

Written comments may be sent to City of Georgetown Planning Department, P. O. Box 1458 Georgetown, Texas 78627. Emailed comments may be sent to planning@georgetown.org. Any such comments may be presented to the Commission.



Date 7/19/20

Re: 301 FM 971 Project Case Number: 2020-1-SUP PZ Date: 7/21/2020 Case Manager: Michael Patroski

Chairman and Commissioners,

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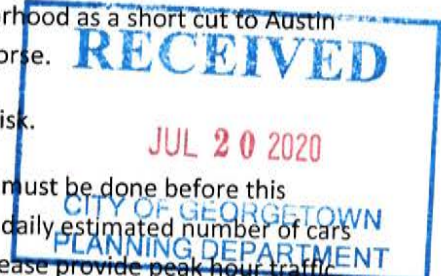
Thank you for carefully considering my request.

Respectfully,

Printed Name VICKI C. MAY

Signature [Handwritten Signature]

Address 107 PECAN VISTA LN, GT 78626



*PLEASE DON'T
ALLOW THIS*

Date 7-18-2020

Re: 301 FM 971 Project Case Number: 2020-1-SUP PZ Date: 7/21/2020 Case Manager: Michael Patroski

Chairman and Commissioners,

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I believe that the city, the owner of Parkview Market, and our HOA can collaborate and come up with alternatives that make sense for all involved. I OBJECT to the current proposal.

Thank you for carefully considering my request.

Respectfully,

Printed Name FRANCES R. HECKMAN

Signature Frances R. Heckman

Address 202 Parkview Drive, Georgetown, TX. 78626



Date 7/18/2020

Re: 301 FM 971 Project Case Number: 2020-1-SUP PZ Date: 7/21/2020 Case Manager: Michael Patroski

Chairman and Commissioners,

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I believe that the city, the owner of Parkview Market, and our HOA can collaborate and come up with alternatives that make sense for all involved. I OBJECT to the current proposal

Thank you for carefully considering my request.

Respectfully,

Printed Name

Brian Frick

Signature

[Signature]

Address

210 GARDEN STREET, GEORGETOWN 78626

RECEIVED

JUL 20 2020

CITY OF GEORGETOWN
PLANNING DEPARTMENT



CITY OF GEORGETOWN
NOTICE OF PUBLIC HEARING

Comments from Neighboring Property Owners

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Project Name/Address: 301 FM 971

Project Case Number: 2020-1-SUP P&Z Date: July 21, 2020 Case Manager: Michael Patroski

Name of Respondent: Robin Ritter
(Please print name)

Signature of Respondent: [Signature] 7/18/2020
(Signature required for protest)

Address of Respondent: 210 Rio Vista Drive, Georgetown TX 78626
(Address required for protest)

I am in FAVOR: _____ I OBJECT: [Initials]

Additional Comments:

The proposal for a "Parkview Market" with fueling stations and a Convenience store should not be allowed to proceed. All of the services proposed are already available just across the street thus rendering this development redundant.

Additionally it would increase sound and light pollution and traffic in an established neighborhood of children and elderly residents,

Written comments may be sent to City of Georgetown Planning Department, P. O. Box 1458 Georgetown, Texas 78627. Emailed comments may be sent to planning@georgetown.org. Any such comments may be presented to the Commission.





CITY OF GEORGETOWN
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Project Name/Address: 301 FM 971

Project Case Number: 2020-1-SUP P&Z Date: July 21, 2020 Case Manager: Michael Patroski

Name of Respondent: Paul Krentz
(Please print name)

Signature of Respondent: Paul Krentz
(Signature required for protest)

Address of Respondent: 103 Parque Vista Drive Georgetown, 78626
(Address required for protest)

I am in FAVOR: _____ I OBJECT: X

Additional Comments:

I am opposed to this proposal. Students from Georgetown High School cross over to get to San Gabriel Porcena daily basis. Already, now, vehicles neglect to stop for the Yield to Pedestrian signs. Adding more cars to this area will make it even less safe.

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Project Name/Address: 301 FM 971

Project Case Number: 2020-1-SUP P&Z Date: July 21, 2020 Case Manager: Michael Patroski

Name of Respondent: KATHRYN WATSON
(Please print name)

Signature of Respondent: Kathryn Watson
(Signature required for protest)

Address of Respondent: 204 Rio Vista DR
(Address required for protest)

I am in FAVOR: _____ I OBJECT: ☒

Additional Comments:

This will cause so much traffic which people already
use a short cut from 971 to Austin Ave. This will
cause alot of noise since there is a station across
the street which you can hear late at night also

Written comments may be sent to City of Georgetown Planning Department, P. O. Box 1458 Georgetown, Texas 78627. Emailed comments may be sent to planning@georgetown.org. Any such comments may be presented to the Commission.



Date July 18, 2020

Re: 301 FM 971 Project Case Number: 2020-1-SUP PZ Date: 7/21/2020 Case Manager: Michael Patroski

Chairman and Commissioners,

I think we can all agree Georgetown is growing at an amazing pace. I think we can also agree that the best way to manage growth is a good plan. A good plan is one that is flexible and can accommodate the needs of local residents.

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Human interconnectivity is the heart of our community, which has been established for over 25 years.

* I accept the C-1 zoning of 301 FM 971. However, my concern, which I share with my neighbors, is that a direct exit on to Parkview Drive would dramatically increase traffic through our neighborhood. The effect of that traffic would not only compromise public safety; it would irreversibly divide our neighborhood into two. Something we could never recover from. We would never be the same again. Simply said, it would split us asunder.

* I also have concern for the elementary children who will be congregating on Parkview drive each weekday to get on and off the bus. I think about the high school track team crossing Parkview Drive daily to get to San Gabriel Park and the challenges to their personal safety. The speeding on Parkview Drive has become an issue over the last two to three years as motorists have increasingly used our neighborhood as a short cut to Austin Avenue. The proposed development, as currently planned, will only make it worse.

* Increased traffic puts our most vulnerable citizens, young and old alike at risk.

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In addition, as good stewards of the land, it is important that EVERY heritage tree on the 301 FM 971 property be preserved and not removed to accommodate the proposed convenience store.

I understand the desire of the commission to promote thoughtful development while maintaining our neighborhoods, which is something I personally value. However, when I look at the proposed Parkview Market entrance on Parkview Drive I do not see it as a positive. I see increased transitory traffic.

* I believe that the city, the owner of Parkview Market, and our HOA can collaborate and come up with alternatives that make sense for all involved. I OBJECT to the current proposal.

*
Thank you for carefully considering my request.

Respectfully,

Printed Name

KATHRYN WATSON

Signature

Kathryn Watson

Address

204 Rio Vista Dr.

RECEIVED

JUL 20 2020

CITY OF GEORGETOWN
PLANNING DEPARTMENT

From: Mehul Shah <mshah972@gmail.com>
Sent: Monday, July 20, 2020 9:32 AM
To: WEB_Planning <planning@georgetown.org>
Subject: [EXTERNAL] Re: 301 FM 971 Project Case Number: 2020-1-SUP PZ

[EXTERNAL EMAIL]

Re: 301 FM 971 Project Case Number: 2020-1-SUP PZ

Date 7/20/2020

Date: 7/21/2020 Case Manager: Michael Patroski

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I believe that the city, the owner of Parkview Market, and our HOA can collaborate and come up with alternatives that make sense for all involved.

I OBJECT to the current proposal.

Thank you for carefully considering my request.

Respectfully,

A handwritten signature in black ink, appearing to read 'Mehul Shah', with a stylized flourish at the end.

Mehul Shah

From: Clara Hollis <clarahollislcsw@yahoo.com>

Sent: Monday, July 20, 2020 12:31 PM

To: WEB_Planning <planning@georgetown.org>

Subject: [EXTERNAL] Objection to Project Case Number 2020-1-SUP

[EXTERNAL EMAIL]

I am a neighboring property owner. I live in Parkview Estates at 103 Pecan Vista Cove, Georgetown 78626. I object to the following project:

Project name: 301 FM 971

Project case no.: 2020-1-SUP

P&Z date: 7-21-2030

Case Manager: Michael Patroski

Sincerely,

Clara J. Hollis

[Sent from Yahoo Mail for iPhone](#)



CITY OF GEORGETOWN
NOTICE OF PUBLIC HEARING

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Project Name/Address: 301 FM 971

Project Case Number: 2020-1-SUP P&Z Date: July 21, 2020 Case Manager: Michael Patroski

Name of Respondent: NORMA Quinten
(Please print name)

Signature of Respondent: [Signature]
(Signature required for protest)

Address of Respondent: 112 Rio Vista Dr, Georgetown
(Address required for protest)

I am in FAVOR: _____

I OBJECT: ✓

Additional Comments:

We have one Market That produces Traffing
Noise, bright lighting, potential for Accidents
And criminal Activity in The Area. I Am
Against having A second location.

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Project Name/Address: 301 FM 971

Project Case Number: 2020-1-SUP P&Z Date: July 21, 2020 Case Manager: Michael Patroski

Name of Respondent: Helga and David Hempton (Please print name)

Signature of Respondent: Helga Hempton David Hempton (Signature required for protest)

Address of Respondent: 208 Rio Vista Drive (Address required for protest)

I am in FAVOR: _____ I OBJECT: XXXX

Additional Comments: See attached

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- Data indicates increased crime in and around convenience stores.
- Destruction of Heritage trees
 - As good stewards of the land, it is important that EVERY heritage tree on the 301 FM 971 property be preserved and not removed to accommodate the proposed convenience store.
- Home values may be negatively affected for the entire neighborhood as increased traffic diminishes our quaint neighborhood lifestyle that is so appealing.

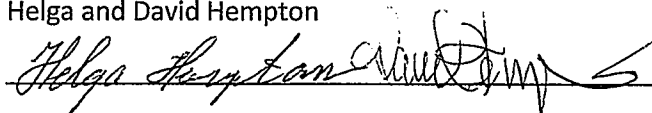
We strongly **OBJECT** to the current proposal.

Thank you for carefully considering my request.

Respectfully,

Printed Name: Helga and David Hempton

Signature:

A handwritten signature in cursive script, appearing to read "Helga Hempton", written over a horizontal line.

Address 208 Rio Vista Drive

CITY OF GEORGETOWN NOTICE OF PUBLIC HEARING

Comments from Neighboring Property Owners

You are being notified as a requirement of the City of Georgetown Code of Ordinances. You are invited to express your views or concerns regarding the – described petition by returning this comment form and/or by attending one or both of the scheduled public hearings on the matter.

Project Name/Address: 301 FM 971

Project Case Number: 2020-1-SUP P&Z Date: July 21, 2020 Case Manager: Michael Patroski

Name of Respondent: Michael and Elizabeth Blom (Please print name)

Signature of Respondent: _____ (Signature required for protest)

Address of Respondent: 212 Rio Vista (Address required for protest)

I am in FAVOR: _____ I OBJECT: XXXX

Additional Comments: See attached

Written comments may be sent to City of Georgetown Planning Department, P. O. Box 1458 Georgetown, Texas 78627. Emailed comments may be sent to planning@georgetown.org. Any such comments may be presented to the Commission.

Chairman and Commissioners,

We can all agree Georgetown is growing at an amazing pace. I think we can also agree that the best way to manage growth is a good plan. A good plan is one that is flexible and can accommodate the needs of local residents.

The commission has worked hard to make wise decisions. Parkview Estates has worked hard to cultivate our own sense of community that we treasure. Young families interspersed with empty nesters. Strollers side by side with mobility walkers, children on scooters, and adult trikes.

Human interconnectivity is the heart of our community, which has been established for over 25 years.

I **object** to changes presented in project 301 FM 971 case number 2020-1-SUP. My concern, which I share with my neighbors, covers several valid points of which I do not see considered in proposal. Those points are the following:

- Existing similar business across Parkview Drive
 - We fail to see the need to add 4 fueling stations when there are 8 fueling stations across the street that have not come close to reaching capacity.
- Driveway and increased traffic on Parkview Drive - This is a HUGE public safety concern for our community. A traffic impact study must be done before this development is voted on by the commission. City Planning, please provide the daily estimated number of cars on Parkview Drive. Please provide peak hour traffic, which I suspect coincides with school hours. Our community is surrounded by three schools. Also consider that school traffic is not what we would consider normal at this time.
 - The existing Parkside Convenience Store has already increase traffic on Parkview Drive. A second convenience store and driveway onto Parkview Drive will most certainly increase the traffic cutting through to Austin Ave and exacerbate -
 - A division of the neighborhood
 - A public safety concern - The corner of Parkview Drive and Gann Avenue is a bus stop for elementary school children. The high school track team crosses Parkview Drive daily as well as students going to and from school. Our neighborhood has seniors and young families with children who actively walk throughout the day. Increased traffic would put them all at risk.
 - Speeding - has always been an issue on Parkview Drive. Additional traffic from another convenience store entrance/exit would only make it worse. To the best of our knowledge no traffic impact study has been performed.
- Increased traffic and entrance on FM 971 – Increased traffic on FM 971 is inevitable and planned. That said, now is the time to consider the traffic patterns on and off of FM 971.
 - This would make the 6th entrance onto FM 971 in a short distance. While we recognize that a driveway into the property is necessary, the in and out traffic of a convenience store presents unwelcomed volume and a potential collision hot spot.
 - Traffic turning into the entrance is at risk of a collision based on the short visibility distance of approaching traffic.
- Increased pedestrian traffic on Parkview Drive and FM 971
 - FM 971 pedestrian traffic currently walks a narrow path on the side of the road.
 - Pedestrian traffic on Parkview Drive has increased the amount of trash along the road. The last block down the hill and towards FM 971 requires folks to walk on the street. These pedestrians are often children. Children walking in the street and increased vehicle traffic do not mix well.
- Increased noise pollution
- Increased light pollution
- Increased roadside trash
- Increased crime
 - Data indicates increased crime in and around convenience stores.

- Destruction of Heritage trees
 - As good stewards of the land, it is important that EVERY heritage tree on the 301 FM 971 property be preserved and not removed to accommodate the proposed convenience store.
- Home values may be negatively affected for the entire neighborhood as increased traffic diminishes our quaint neighborhood lifestyle that is so appealing.

Please find attached pictures of roadside trash. While it may be a little trash to you, it is the lack of respect for our neighborhood to us. This trash may not have come from the existing store, however that seems very likely.

Also find pictures of the zoning change notice. Please confirm who's responsibility it is to post this notice on the property. As the pictures show, these signs have been laying on the ground and not viewable for several days now. If it is the responsibility of the new owners to care for and ensure these notifications signs are in place and viewable, then I'm already not sure they would be responsible neighbors.

We strongly **OBJECT** to the current proposal.

Thank you for carefully considering my request.

Respectfully,

Printed Name: Michael and Elizabeth Blom

Signature: _____

Address 212 Rio Vista











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Project Name/Address: 301 FM 971

Project Case Number: 2020-1-SUP P&Z Date: July 21, 2020 Case Manager: Michael Patroski

Name of Respondent: Bobby R. Pope
(Please print name)

Signature of Respondent: [Signature]
(Signature required for protest)

Address of Respondent: 401 FM 971
(Address required for protest)

I am in FAVOR: _____ I OBJECT: X

Additional Comments:

SEE ATTACHED PAGES -

Written comments may be sent to City of Georgetown Planning Department, P. O. Box 1458 Georgetown, Texas 78627. Emailed comments may be sent to planning@georgetown.org. Any such comments may be presented to the Commission.

Bobby Ray Pope

P. O. Box 448
Georgetown, Texas 78627
Phone: (512) 863-2092
Cell: (512) 848-9328

City of Georgetown
Planning Department
PO Box 1458
Georgetown, Tx 78627

July 20, 2020

Re: 301 FM 971 Project Case Number: 2020-1-SUP PZ Date: 7/21/2020
Case Manager: Michael Patroski

Chairman & Commissioners,

My name is B. R. Pope and I have lived at 401 FM 971 with my wife, Betty, since 1967. I am a lifelong resident of Georgetown and have seen many changes to this town over the years. I respectfully ask that you would consider my comments thoughtfully as you ponder a decision on the proposed convenience store next to my home. I object to its construction for the following reasons:

Traffic Increases/Entrance Proximity to other Entrances on FM 971

Currently, looking to the west from my driveway there are three entrances, including my driveway, Parkview Estates entrance, and Parkplace Market entrance. These entrances are all less than 1/10 of a mile apart total. It is already a challenge to safely pull out of our driveway with current traffic conditions and a limited sight line to the east as well. The new entrance onto FM 971 from the proposed Parkview Market will dump out a mere 45 feet to the west of my driveway. Construction workers frequent these stores and are often pulling 20 ft trailers to further complicate the dangerous in and out nature of these businesses. To make matters worse, the joining of Northwest Boulevard and FM 971 (currently under construction) to the west of my property will only increase traffic to more dangerous levels.

Homeless Issue and Pedestrian Traffic

Since the closing of the Sweetbriar Nursing Home about 10 years ago, we have noticed a steady increase of homeless individuals in and around the abandoned structure. Naturally, the existing convenience and liquor stores are a hangout for them as they are just across the street. We've had a few wander on to our front porch asking for money, etc. While I am sympathetic to any person in this condition, I am equally fearful of the criminal element that exists in these situations. Another convenience store even closer to our property will only increase these interactions. Pedestrian traffic coming to and leaving these stores is also dangerous as there are no sidewalks on FM 971.

Noise Pollution, Trash, Lights and Potential Water Contamination

The current positioning of the proposed convenience store is within 200 feet of our home/bedroom. The typical hours of operation in these businesses are a concern because of lighting and noise. The dumpster unloading that we hear in the middle of the night at the existing convenience store is already intrusive. The trash generated from these businesses and the trash generated from the aforementioned homeless situation is problematic. In addition, I am worried about the quality of our well water being damaged from underground fuel storage at the proposed site.

Heritage Trees

I would like to see any and all Heritage Trees protected on this site.

Home Value Decrease

I object to this project for the obvious devaluation of my home and property that it will create.

Traffic Study

I would like to ask if a traffic study has been conducted by TXDOT as to the negative consequences of having this many entrances jammed this close together on a busy State Farm to Market Road?

Thanks for your consideration of this matter.

Very truly yours,

A handwritten signature in black ink, appearing to read 'B.R. Pope', with a long horizontal flourish extending to the right.

B.R. Pope

Dear Neighbors and Residents of Parkview Estates,

The Georgetown we love and enjoy is changing at a rapid pace with new development. Thoughtful development is always welcome. However, this may not be the case for a proposed commercial development at the corner of **Park View Drive and 301 FM 971**.

The proposed "**Parkview Market**" is planned to have **4 fueling stations on 1.6 acres** (see attached). **It will be across the street from the existing Parkside Convenience Store which has 8 fueling stations.**

As currently planned, **the proposed convenience store will have two entrances**, which would allow access from both FM 971 and Parkview Drive.

If allowed, the second entrance would connect directly to Parkview Drive and inevitably increase traffic to Austin Avenue. As you know, traffic on Parkview has been increasing for some time now and this would make it worse.

The Parkview Estates Board of Directors has serious concerns that aspects of this development will be a detriment to our neighborhood for a variety of reasons:

- **Division of the neighborhood** - Increased traffic would permanently divide our caring neighborhood in two, a division we could never recover from as a community.
- **Increased traffic creating a public safety concern** – The corner of Parkview Drive and Gann Avenue is a bus stop for elementary school children. The high school track team crosses Parkview Drive daily as well as students going to and from school. Our neighborhood has seniors and young families with children who actively walk throughout the day. Increased traffic would put them all at risk.
- **Speeding** has always been an issue on Parkview Drive. Additional traffic from another convenience store entrance/exit would only make it worse. To the best of our knowledge no traffic impact study has been performed.
- **Loss of heritage trees** to accommodate the development is a very real possibility.
- **Home values may be negatively affected** for the entire neighborhood as increased traffic diminishes our quaint neighborhood lifestyle that is so appealing.



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Project Name/Address: 301 FM 971

Project Case Number: 2020-1-SUP P&Z Date: July 21, 2020 Case Manager: Michael Patroski

Name of Respondent: PETER & MARY KENNEDY
(Please print name)

Signature of Respondent: Peter L. Kennedy Mary Kennedy
(Signature required for protest)

Address of Respondent: 122 Benchmark
(Address required for protest)

I am in FAVOR: _____

I OBJECT: X

Additional Comments:

Written comments may be sent to City of Georgetown Planning Department, P. O. Box 1458 Georgetown, Texas 78627. Emailed comments may be sent to planning@georgetown.org. Any such comments may be presented to the Commission.

Tad & Ki Browning
101 Benchmark Street
Georgetown, TX 78626
512-876-0071

July 20, 2020

Michael Patroski, Case Mgr
City of Georgetown, Planning & Zoning

Via Email: Michael.Patroski@georgetown.org

Heather McFarling
Urban Development Commission
Parks and Recreation Department

Via Email: Heather.McFarling@georgetown.org

Scott Stance, President
Gina Watson, Vice President
Parkview Estates HOA Board

Via Email: Scott.pve.board@gmail.com

Via Email: Gina.pve.board@gmail.com

Re: **Land located at 301 FM 971, Case No. 2020-1-SUP**
Case Manager: Michael Patroski, PZ Date: 7/21/2020
Proposed Parkview Market, Convenience Store and Gas Station
Located at Parkview Estates and the Chevron Station located on 971 near Austin Avenue

To Whom It May Concern:

We appreciate all that the P&Z Commission has done to manage the vast expansion of Georgetown in such a short amount of time. We are so thankful to live in such a great city and really enjoy seeing our City's progress. Prospectors will always be interested in the outskirts of any large metropolis like Austin, and we welcome that growth. I think we all can agree that thoughtful development of the City of Georgetown is needed verses just expanding when some capital arrives.

We respectfully request a denial for a curb cut/entrance/exit from the proposed Parkview Market Convenience Store onto Parkview Drive. It will most inevitably increase traffic through our quaint neighborhood amplifying potential accidents and dividing our neighborhood. Our community has a variety of elementary school and elderly residents. The Georgetown High School Student Track Team and other athletic groups run from the school through our neighborhood to the San Gabriel Park almost daily during the school term. We know that Commission's vote impacts three schools, all the surrounding neighbors, and several hundred Georgtownians, and others.

Additionally, we want **to maintain our Texas Native trees and plants**, and respectfully request that the Unified Development Code and Ordinances are enforced on the land located at 301 FM 971. We want to claim the heritage and Texas preferred trees to preserve our Texas Natives. It is my understanding that the corporation can receive credit to save the trees and plants located on that land. If not, they must mitigate what they take. This mitigation should be held in public hearing and the family home owners directly impacted by this construction located on Rio Vista Drive should be the beneficiaries of some of the monies received for the loss of these Texas Natives and the privacy to their homes.

It is clear that the expansion of 971 is well underway. We want to **confirm that a traffic-wall canceling some of the traffic noise** will be erected to protect our neighborhood. We should not be subjected to all the noise associated with the construction and usage of a convenience store and/or a 3 or 4 lane road without mitigation and relief.

I believe that the City, our HOA, the owner of the proposed Parkview Market all can collaborate on the best way to progress with these changing times. **Human interconnectivity is the heart of our neighborhood**, which has been established for over 25 years. I know we can find a solution that works for the greatest number of local residents.

Please reconsider the location of the convenience store. We really need a convenience store and gas station located at 971 and Tollway 130, just a few miles east of the current location near the elementary school. There are no gas stations located on 130 between 971 and the Austin Airport. Please reconsider the location.

We object to the current proposal and thank you for carefully considering our request.

Respectfully, Ki & Tad Browning, Residents Parkview Estates HOA



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Project Name/Address: 301 FM 971

Project Case Number: 2020-1-SUP P&Z Date: July 21, 2020 Case Manager: Michael Patroski

Name of Respondent: Sandra Smith
(Please print name)

Signature of Respondent: [Signature]
(Signature required for protest)

Address of Respondent: 201 Rio Vista Dr.
(Address required for protest)

I am in FAVOR: _____

I OBJECT: ✓

Additional Comments:

I object for the following Reasons: (1) we don't need another gas station, since there is already one across the street (2) the traffic on Parkview Dr. will increase tremendously causing safety issues (3) My house is on the corner of Parkview

Written comments may be sent to City of Georgetown Planning Department, P. O. Box 1458 Georgetown, Texas 78627. Emailed comments may be sent to planning@georgetown.org. Any such comments may be presented to the Commission.

→ Rio Vista and I constantly have trash in my yard from the current Chevron and Market that is currently there; it will only increase with the addition of another gas station. (4) Noise. The noise from the current gas station often waking me up at night. Specifically from the trash dumpster being emptied. (5) Affecting the

(5) cont. Value of my house. One gas station was okay, but two will decrease the value of my house due to the previous reasons: traffic, trash, noise.

(6) I worry with the increase in foot traffic at the gas stations, the crime in our neighborhood will increase.

Date 07/21/2020

Re: 301 FM 971 Project Case Number: 2020-1-SUP PZ Date: 7/21/2020 Case Manager: Michael Patroski

Chairman and Commissioners,

I think we can all agree Georgetown is growing at an amazing pace. I think we can also agree that the best way to manage growth is a good plan. A good plan is one that is flexible and can accommodate the needs of local residents.

The commission has worked hard to make wise decisions. Parkview Estates has worked hard to cultivate our own sense of community that we treasure. Young families interspersed with empty nesters. Strollers side by side with mobility walkers, children on scooters, and adult trikes.

Human interconnectivity is the heart of our community, which has been established for over 25 years.

I accept the C-1 zoning of 301 FM 971. However, my concern, which I share with my neighbors, is that a direct exit on to Parkview Drive would dramatically increase traffic through our neighborhood. The effect of that traffic would not only compromise public safety; it would irreversibly divide our neighborhood into two. Something we could never recover from. We would never be the same again. Simply said, it would split us asunder.

I also have concern for the elementary children who will be congregating on Parkview drive each weekday to get on and off the bus. I think about the high school track team crossing Parkview Drive daily to get to San Gabriel Park and the challenges to their personal safety. The speeding on Parkview Drive has become an issue over the last two to three years as motorists have increasingly used our neighborhood as a short cut to Austin Avenue. The proposed development, as currently planned, will only make it worse.

Increased traffic puts our most vulnerable citizens, young and old alike at risk.

This is a HUGE public safety concern for our community. A traffic impact study must be done before this development is voted on by the commission. City Planning, please provide the daily estimated number of cars on Parkview Drive if there is a Parkview Market entrance on Parkview Drive. Please provide peak hour traffic, which I suspect coincides with school hours. Our community is surrounded by three schools.

In addition, as good stewards of the land, it is important that EVERY heritage tree on the 301 FM 971 property be preserved and not removed to accommodate the proposed convenience store.

I understand the desire of the commission to promote thoughtful development while maintaining our neighborhoods, which is something I personally value. However, when I look at the proposed Parkview Market entrance on Parkview Drive I do not see it as a positive. I see increased transitory traffic.

I believe that the city, the owner of Parkview Market, and our HOA can collaborate and come up with alternatives that make sense for all involved. I OBJECT to the current proposal.

Thank you for carefully considering my request.

Respectfully,

Printed Name

Albert A. Suarez Jr.

Signature

[Signature]

Address

106 Benchmark St.





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Project Name/Address: 301 FM 971

Project Case Number: 2020-1-SUP P&Z Date: July 21, 2020 Case Manager: Michael Patroski

Name of Respondent: Albert A. Suarez Jr.
(Please print name)

Signature of Respondent: [Signature]
(Signature required for protest)

Address of Respondent: 106 Benchmark St, Georgetown, TX, 78626
(Address required for protest)

I am in FAVOR: _____ I OBJECT: ✓

Additional Comments:

A small park or coffee shop would be
great, but neighboring fuel stations at the neighborhood
entrance isn't a pleasant sight. How about a cross walk
over 971 to access the park safely.

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Project Name/Address: 301 FM 971

Project Case Number: 2020-1-SUP P&Z Date: July 21, 2020 Case Manager: Michael Patroski

Name of Respondent: BONNIE FLUGER
(Please print name)

Signature of Respondent: Bonnie Fluger
(Signature required for protest)

Address of Respondent: 100 RIO VISTA DR.
(Address required for protest)

I am in FAVOR: _____

I OBJECT: X

Additional Comments:

GAS STATIONS NEED TO BE BY
HWY 130 NOT IN NEIGHBORHOODS

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Date 7-20-20

Re: 301 FM 971 Project Case Number: 2020-1-SUP PZ Date: 7/21/2020 Case Manager: Michael Patroski

Chairman and Commissioners,

I think we can all agree Georgetown is growing at an amazing pace. I think we can also agree that the best way to manage growth is a good plan. A good plan is one that is flexible and can accommodate the needs of local residents.

The commission has worked hard to make wise decisions. Parkview Estates has worked hard to cultivate our own sense of community that we treasure. Young families interspersed with empty nesters. Strollers side by side with mobility walkers, children on scooters, and adult trikes.

Human interconnectivity is the heart of our community, which has been established for over 25 years.

I accept the C-1 zoning of 301 FM 971. However, my concern, which I share with my neighbors, is that a direct exit on to Parkview Drive would dramatically increase traffic through our neighborhood. The effect of that traffic would not only compromise public safety; it would irreversibly divide our neighborhood into two. Something we could never recover from. We would never be the same again. Simply said, it would split us asunder.

I also have concern for the elementary children who will be congregating on Parkview drive each weekday to get on and off the bus. I think about the high school track team crossing Parkview Drive daily to get to San Gabriel Park and the challenges to their personal safety. The speeding on Parkview Drive has become an issue over the last two to three years as motorists have increasingly used our neighborhood as a short cut to Austin Avenue. The proposed development, as currently planned, will only make it worse.

Increased traffic puts our most vulnerable citizens, young and old alike are at risk.

This is a HUGE public safety concern for our community. A traffic impact study must be done before this development is voted on by the commission. City Planning, please provide the daily estimated number of cars on Parkview Drive if there is a Parkview Market entrance on Parkview Drive. Please provide peak hour traffic, which I suspect coincides with school hours. Our community is surrounded by three schools.

In addition, as good stewards of the land, it is important that EVERY heritage tree on the 301 FM 971 property be preserved and not removed to accommodate the proposed convenience store.

I understand the desire of the commission to promote thoughtful development while maintaining our neighborhoods, which is something I personally value. However, when I look at the proposed Parkview Market entrance on Parkview Drive I do not see it as a positive. I see increased transitory traffic.

I believe that the city, the owner of Parkview Market, and our HOA can collaborate and come up with alternatives that make sense for all involved. OBJECT to the current proposal.

Thank you for carefully considering my request.

Respectfully,

Printed Name

BONNIE P FLUGER

Signature

Bonnie P. Fluger

Address

100 RIO VISTA DR.





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Project Name/Address: 301 FM 971

Project Case Number: 2020-1-SUP P&Z Date: July 21, 2020 Case Manager: Michael Patroski

Name of Respondent: Christine Attoun
(Please print name)

Signature of Respondent: Christine Attoun
(Signature required for protest)

Address of Respondent: 605 White Tail Cv. Georgetown, Tx 78628
(Address required for protest)

I am in FAVOR: _____ I OBJECT: ✓

Additional Comments:

I am against the gas station/convenience store here
proposed. There is already a facility located close by
that provides these services. I do not want development
of FM971 to end up looking like Williams Road, dotted with
too many gas stations, car washes, & convenience stores,

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destroying the natural beauty and the sense of
community that could be achieved with more thoughtfully
& planned development.

Date 07/20/2020

Re: 301 FM 971 Project Case Number: 2020-1-SUP PZ Date: 7/21/2020 Case Manager: Michael Patroski

Chairman and Commissioners,

I think we can all agree Georgetown is growing at an amazing pace. I think we can also agree that the best way to manage growth is a good plan. A good plan is one that is flexible and can accommodate the needs of local residents.

The commission has worked hard to make wise decisions. Parkview Estates has worked hard to cultivate our own sense of community that we treasure. Young families interspersed with empty nesters. Strollers side by side with mobility walkers, children on scooters, and adult trikes.

Human interconnectivity is the heart of our community, which has been established for over 25 years.

I accept the C-1 zoning of 301 FM 971. However, my concern, which I share with my neighbors, is that a direct exit on to Parkview Drive would dramatically increase traffic through our neighborhood. The effect of that traffic would not only compromise public safety; it would irreversibly divide our neighborhood into two. Something we could never recover from. We would never be the same again. Simply said, it would split us asunder.

I also have concern for the elementary children who will be congregating on Parkview drive each weekday to get on and off the bus. I think about the high school track team crossing Parkview Drive daily to get to San Gabriel Park and the challenges to their personal safety. The speeding on Parkview Drive has become an issue over the last two to three years as motorists have increasingly used our neighborhood as a short cut to Austin Avenue. The proposed development, as currently planned, will only make it worse.

Increased traffic puts our most vulnerable citizens, young and old alike at risk.

This is a HUGE public safety concern for our community. A traffic impact study must be done before this development is voted on by the commission. City Planning, please provide the daily estimated number of cars on Parkview Drive if there is a Parkview Market entrance on Parkview Drive. Please provide peak hour traffic, which I suspect coincides with school hours. Our community is surrounded by three schools.

In addition, as good stewards of the land, it is important that EVERY heritage tree on the 301 FM 971 property be preserved and not removed to accommodate the proposed convenience store.

I understand the desire of the commission to promote thoughtful development while maintaining our neighborhoods, which is something I personally value. However, when I look at the proposed Parkview Market entrance on Parkview Drive I do not see it as a positive. I see increased transitory traffic.

I believe that the city, the owner of Parkview Market, and our HOA can collaborate and come up with alternatives that make sense for all involved. I OBJECT to the current proposal

Thank you for carefully considering my request.

Respectfully,

Printed Name John Alligood

Signature John Alligood

Address 110 Pecan Vista Lane, Georgetown TX 78626





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Project Name/Address: 301 FM 971

Project Case Number: 2020-1-SUP P&Z Date: July 21, 2020 Case Manager: Michael Patroski

Name of Respondent: John Alligood
(Please print name)

Signature of Respondent: [Signature]
(Signature required for protest)

Address of Respondent: 110 Pecan Vista Lane
(Address required for protest)



I am in FAVOR: _____ I OBJECT: ☒ _____

Additional Comments:

I have concerns about safety and increased noise caused by additional traffic on FM 971 and through Parkview Estates. Additional, I do not think two convenience/gas stations can be

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Supported, which will lead to dereliction of one or the other, creating a blight at the neighborhood's edge.



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Project Name/Address: 301 FM 971

Project Case Number: 2020-1-SUP P&Z Date: July 21, 2020 Case Manager: Michael Patroski

Name of Respondent: Susan Schwab
(Please print name)

Signature of Respondent: [Signature]
(Signature required for protest)

Address of Respondent: 14 Benchmark St 78626
(Address required for protest)

I am in FAVOR: _____ I OBJECT: ✓

Additional Comments:

The traffic increase from existing commercial property
outside PV Estates on 971 endangers pedestrian traffic DAILY.
We have lived here since 2001 and never had issues til the
Exxon was built. Plz preserve this amazing community. We

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know people in every street and walk daily.





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Project Name/Address: 301 FM 971

Project Case Number: 2020-1-SUP P&Z Date: July 21, 2020 Case Manager: Michael Patroski

Name of Respondent: MARK SIEGRIST
(Please print name)

Signature of Respondent: Mark C Siegrist
(Signature required for protest)

Address of Respondent: 118 PARQUE VISTA DR
(Address required for protest)

I am in FAVOR: _____ I OBJECT: XX

Additional Comments:

IT MAKES NO SENSE TO ADD AN ALMOST IDENTICAL BUSINESS TO
THE INTERSECTION OF PARKVIEW AND 971 – THE TWO OF WHICH
ARE ONLY SEPERATED BY THE WIDTH OF PARKVIEW,
AND REMOVING TREES AS COLLATERAL DAMAGE
SHOULD NOT HAPPEN!

Written comments may be sent to City of Georgetown Planning Department, P. O. Box 1458 Georgetown, Texas 78627. Emailed comments may be sent to planning@georgetown.org. Any such comments may be presented to the Commission.





CITY OF GEORGETOWN
NOTICE OF PUBLIC HEARING

Comments from Neighboring Property Owners

You are being notified as a requirement of the City of Georgetown Code of Ordinances. You are invited to express your views or concerns regarding the – described petition by returning this comment form and/or by attending one or both of the scheduled public hearings on the matter.

Project Name/Address: 301 FM 971

Project Case Number: 2020-1-SUP P&Z Date: July 21, 2020 Case Manager: Michael Patroski

Name of Respondent: Greg Lawson
(Please print name)

Signature of Respondent: Greg Lawson
(Signature required for protest)

Address of Respondent: 215 Gann St. Georgetown, TX 78626
(Address required for protest)

I am in FAVOR: _____ I OBJECT: ☒

Additional Comments:

we/I already have a store at that intersection that includes a GAS STATION & LIQUOR STORE!!! This is a family neighborhood with children crossing the street to the Park. BAD IDEA!!

Written comments may be sent to City of Georgetown Planning Department, P. O. Box 1458 Georgetown, Texas 78627. Emailed comments may be sent to planning@georgetown.org. Any such comments may be presented to the Commission.



Date 7/18/20

Re: 301 FM 971 Project Case Number: 2020-1-SUP PZ Date: 7/21/2020 Case Manager: Michael Patroski

Chairman and Commissioners,

I think we can all agree Georgetown is growing at an amazing pace. I think we can also agree that the best way to manage growth is a good plan. A good plan is one that is flexible and can accommodate the needs of local residents.

The commission has worked hard to make wise decisions. Parkview Estates has worked hard to cultivate our own sense of community that we treasure. Young families interspersed with empty nesters. Strollers side by side with mobility walkers, children on scooters, and adult trikes.

Human interconnectivity is the heart of our community, which has been established for over 25 years.

I accept the C-1 zoning of 301 FM 971. However, my concern, which I share with my neighbors, is that a direct exit on to Parkview Drive would dramatically increase traffic through our neighborhood. The effect of that traffic would not only compromise public safety; it would irreversibly divide our neighborhood into two. Something we could never recover from. We would never be the same again. Simply said, it would split us asunder.

I also have concern for the elementary children who will be congregating on Parkview drive each weekday to get on and off the bus. I think about the high school track team crossing Parkview Drive daily to get to San Gabriel Park and the challenges to their personal safety. The speeding on Parkview Drive has become an issue over the last two to three years as motorists have increasingly used our neighborhood as a short cut to Austin Avenue. The proposed development, as currently planned, will only make it worse.

Increased traffic puts our most vulnerable citizens, young and old alike at risk.

This is a HUGE public safety concern for our community. A traffic impact study must be done before this development is voted on by the commission. City Planning, please provide the daily estimated number of cars on Parkview Drive if there is a Parkview Market entrance on Parkview Drive. Please provide peak hour traffic, which I suspect coincides with school hours. Our community is surrounded by three schools.

In addition, as good stewards of the land, it is important that EVERY heritage tree on the 301 FM 971 property be preserved and not removed to accommodate the proposed convenience store.

I understand the desire of the commission to promote thoughtful development while maintaining our neighborhoods, which is something I personally value. However, when I look at the proposed Parkview Market entrance on Parkview Drive I do not see it as a positive. I see increased transitory traffic.

I believe that the city, the owner of Parkview Market, and our HOA can collaborate and come up with alternatives that make sense for all involved. I OBJECT to the current proposal.

Thank you for carefully considering my request.

Respectfully,

Printed Name Greg H. Lawson

Signature Greg Lawson

Address 215 Gann St. Georgetown, TX 78626



Date 7/21/20

Re: 301 FM 971 Project Case Number: 2020-1-SUP PZ Date: 7/21/2020 Case Manager: Michael Patroski

Chairman and Commissioners,

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I understand the desire of the commission to promote thoughtful development while maintaining our neighborhoods, which is something I personally value. However, when I look at the proposed Parkview Market entrance on Parkview Drive I do not see it as a positive. I see increased transitory traffic.

I believe that the city, the owner of Parkview Market, and our HOA can collaborate and come up with alternatives that make sense for all involved. I OBJECT to the current proposal.

Thank you for carefully considering my request.

Respectfully,

Printed Name Darla Burn

Signature Darla Burn

Address 205 Parque Vista Dr. Georgetown Tx 78626





CITY OF GEORGETOWN
NOTICE OF PUBLIC HEARING

Comments from Neighboring Property Owners

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Project Name/Address: 301 FM 971

Project Case Number: 2020-1-SUP P&Z Date: July 21, 2020 Case Manager: Michael Patroski

Name of Respondent: Iqbal D Mamedia, Antiz LLC
(Please print name)

Signature of Respondent: Iqbal Mamedia
(Signature required for protest)

Address of Respondent: 221 FM 971, Georgetown Tx 78626
(Address required for protest)

I am in FAVOR: _____

I OBJECT: X

Additional Comments:

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Project Name/Address: 301 FM 971

Project Case Number: 2020-1-SUP P&Z Date: July 21, 2020 Case Manager: Michael Patroski

Name of Respondent: SHIRLEY B. BILLINGSLEY
(Please print name)

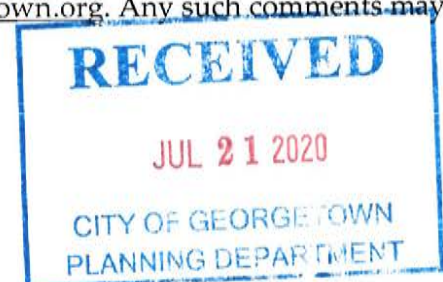
Signature of Respondent: Shirley B. Billingsley
(Signature required for protest)

Address of Respondent: 106 Park Vista Dr. Georgetown Tx 78626
(Address required for protest)

I am in FAVOR: _____ I OBJECT: ✓

Additional Comments:

Written comments may be sent to City of Georgetown Planning Department, P. O. Box 1458 Georgetown, Texas 78627. Emailed comments may be sent to planning@georgetown.org. Any such comments may be presented to the Commission.



Date 7-21-2020

Re: 301 FM 971 Project Case Number: 2020-1-SUP PZ Date: 7/21/2020 Case Manager: Michael Patroski

Chairman and Commissioners,

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In addition, as good stewards of the land, it is important that EVERY heritage tree on the 301 FM 971 property be preserved and not removed to accommodate the proposed convenience store.

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I believe that the city, the owner of Parkview Market, and our HOA can collaborate and come up with alternatives that make sense for all involved. I OBJECT to the current proposal.

Thank you for carefully considering my request.

Respectfully,

Printed Name

Signature

Address

Amy & David Scott
Amy Scott
203 Pique Vista Dr. Georgetown Tx

RECEIVED

JUL 21 2020

CITY OF GEORGETOWN
PLANNING DEPARTMENT

Date 07/20/2020

Re: 301 FM 971 Project Case Number: 2020-1-SUP PZ Date: 7/21/2020 Case Manager: Michael Patroski

Chairman and Commissioners,

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I believe that the city, the owner of Parkview Market, and our HOA can collaborate and come up with alternatives that make sense for all involved. I OBJECT to the current proposal.

Thank you for carefully considering my request.

Respectfully,

Printed Name Elke B. Drozd Williams
Signature [Signature]
Address 116 Rio Vista Dr GTX 78626





CITY OF GEORGETOWN
NOTICE OF PUBLIC HEARING

Comments from Neighboring Property Owners

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Project Name/Address: 301 FM 971

Project Case Number: 2020-1-SUP P&Z Date: July 21, 2020 Case Manager: Michael Patroski

Name of Respondent: William Glover
(Please print name)

Signature of Respondent: William Glover
(Signature required for protest)

Address of Respondent: 210 Rio Vista Dr.
(Address required for protest)

I am in FAVOR: _____ I OBJECT: ☒

Additional Comments:

We already have a service station (Chevron) with gas
storage tanks near our home and this would add
more next to them. Other purpose structures like
the Dillard Center would be more appropriate.
Also Added Light Pollution from the business.

Written comments may be sent to City of Georgetown Planning Department, P. O. Box 1458 Georgetown, Texas 78627. Emailed comments may be sent to planning@georgetown.org. Any such comments may be presented to the Commission.





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Project Name/Address: 301 FM 971

Project Case Number: 2020-1-SUP P&Z Date: July 21, 2020 Case Manager: Michael Patroski

Name of Respondent: KATHRYN WATSON
(Please print name)

Signature of Respondent: Kathryn Watson
(Signature required for protest)

Address of Respondent: 204 Rio Vista Dr
(Address required for protest)

I am in FAVOR: _____ I OBJECT: ✓

Additional Comments:

I strongly Object :
Will be bringing more traffic to this
area ~~and~~ which already have
one across the street.

Written comments may be sent to City of Georgetown Planning Department, P. O. Box 1458 Georgetown, Texas 78627. Emailed comments may be sent to planning@georgetown.org. Any such comments may be presented to the Commission.





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Project Name/Address: 301 FM 971

Project Case Number: 2020-1-SUP P&Z Date: July 21, 2020 Case Manager: Michael Patroski

Name of Respondent: Jackson + Heather Jarveyson
(Please print name)

Signature of Respondent: [Signature]
(Signature required for protest)

Address of Respondent: 214 Rio Vista Drive Georgetown TX 78626
(Address required for protest)

I am in FAVOR: _____ I OBJECT: HS I off

Additional Comments:

We are against increased traffic especially with 971 being expanded. We are also against more people using our neighborhood as a cut through- speeding and putting kids and pedestrians at risk. Also, we worry about decreased property value.

Written comments may be sent to City of Georgetown Planning Department, P. O. Box 1458 Georgetown, Texas 78627. Emailed comments may be sent to planning@georgetown.org. Any such comments may be presented to the Commission.





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Project Name/Address: 301 FM 971

Project Case Number: 2020-1-SUP P&Z Date: July 21, 2020 Case Manager: Michael Patroski

Name of Respondent: Jill Holmaas
(Please print name)

Signature of Respondent: Jill Holmaas
(Signature required for protest)

Address of Respondent: 202 Rio Vista Dr.
(Address required for protest)

I am in FAVOR: _____ I OBJECT: ✓

Additional Comments:

There is a fuel station already on the street. A fuel
station will increase traffic in our neighborhood.
Please keep all heritage trees
driveway on 971 only

Written comments may be sent to City of Georgetown Planning Department, P. O. Box 1458 Georgetown, Texas 78627. Emailed comments may be sent to planning@georgetown.org. Any such comments may be presented to the Commission.



From: [Sarah Dewald](#)
To: [Michael Patroski](#)
Subject: [EXTERNAL] Public Hearing Regarding Parkview Estates
Date: Wednesday, July 15, 2020 9:31:29 AM

[EXTERNAL EMAIL]

To whom it may concern,

I wanted to reach out regarding the proposed special zoning for the lot in front of parkview estates. My husband and I purchased our home in the parkview estates neighborhood 5 years ago. We have really enjoyed living in this neighborhood and since moving to Georgetown have started a family and now have two small boys.

Over the past years we have lived here, the gas station that already exists in front of the community has never been over crowded. They are the highest price gas station in all of Georgetown and the pumps are never completely full. On numerous occasions my husband and I have witnessed drug related deals going on at the current gas station. It's gotten even worse over the past year. My husband has taken pictures of license plates and we have considered calling them in but don't know what benefit would actually come from it. My fear for having a second gas station is that the criminal activity in our area will increase. Please take this into consideration when making any special zoning request.

Best Regards,

Sarah Dewald

From: [Glen Coleman](#)
To: [Michael Patroski](#)
Cc: [Andreina Davila](#)
Subject: [EXTERNAL] Request for Postponement / 301 FM 971: Please FWD
Date: Thursday, July 16, 2020 1:51:39 PM

[EXTERNAL EMAIL]

Re: "Parkview Market" (2020-1-SUP)

Hon. Chair
The Georgetown Planning & Zoning Commission
City of Georgetown Staff, and, To Whom It May Concern

If it please the Chair,

I am writing to request a postponement of the above item to the next regular meeting of the Georgetown Planning and Zoning Commission.

I have been retained by a near-by land owner to assist in expressing his and the community's concerns about a second service station on the corner of Parview Drive.

I would appreciate more time to meet with more area home-owners and renters, to calculate a valid petition, to discuss the item with the owners of the site, and to assist all parties in a better informed advocacy should they decide to oppose the zoning change.

The site is for sale, an entitle and flip zoning, so I don't believe development or site plan deadlines will be impacted by this delay.

If at all possible, please consider this one time request to delay action before the Commission.

Sincerely,

glen coleman

- *glen coleman*

512 407-9357

www.southllano.com

Name of Respondent: John Clark
(Please print name)

Signature of Respondent: 
(Signature required for protest)

Address of Respondent: 209 Rio Vista Georgetown, TX,
(Address require to protest)

I am in FAVOR: _____ (OBJECT: XXXX)

Additional Comments:

This is a terrible situation for our
neighborhood due to Public Safety concerns.
I strongly disagree with this proposal!

Written comments may be sent to City of Georgetown Planning Department, P. O. Box 1458
Georgetown, Texas 78627. Emailed comments may be sent to planning@georgetown.org. Any such
comments may be presented to the Commission.



CITY OF GEORGETOWN
NOTICE OF PUBLIC HEARING

Comments from Neighboring Property Owners

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Project Name/Address: 301 FM 971

Project Case Number: 2020-1-SUP P&Z Date: December 15, 2020 Case Manager: Michael Patroski

Name of Respondent: Heather + Jackson Jarneyson
(Please print name)

Signature of Respondent: [Handwritten Signature]
(Signature required for protest)

Address of Respondent: 214 Rio Vista Dr. Georgetown TX, 78626
(Address required for protest)

I am in FAVOR: _____ I OBJECT: X

Additional Comments:

This will bring too much traffic to
our neighborhood. We already have one
underutilized gas station and do not need a
second one.

Written comments may be sent to City of Georgetown Planning Department, P. O. Box 1458 Georgetown, Texas 78627. Emailed comments may be sent to planning@georgetown.org. Any such comments may be presented to the Commission.



Name of Respondent: Suzanne Buchele
(Please print name)

Signature of Respondent: ~~215 Rio Vista Dr~~ Lyn L Buell
(Signature required for protest)

Address of Respondent: 215 Rio Vista Dr, Georgetown, TX 78626
(Address required to protest)

I am in FAVOR: _____ I OBJECT: XXXX

Additional Comments:

There is already a fueling station across the street that is not very busy. I don't see why we should change the zoning of the property to allow a second. It would add another entrance off 971 with poor visibility (short-distance) from on-coming traffic, potentially increase crime, and definitely increase light pollution & roadside trash.

Written comments may be sent to City of Georgetown Planning Department, P. O. Box 1458 Georgetown, Texas 78627. Emailed comments may be sent to planning@georgetown.org. Any such comments may be presented to the Commission.

→ Again, this is a potential zoning change. It is not necessary. Another type of commercial business could be planned.

Thank you,
Suzanne Buchele



Name of Respondent: Steven W. Buchele
(Please print name)

Signature of Respondent: [Signature]
(Signature required for protest)

Address of Respondent: 213 Rio Vista Drive
(Address require to protest)

I am in FAVOR: I OBJECT: XXXX OBJECT

Additional Comments:

I object because there is already a gas station at that entrance to Parkview Estates, when that street went in we saw an increase in traffic through the neighborhood. Why not put something there that helps with the community, like a cafe, or bakery, or something

Written comments may be sent to City of Georgetown Planning Department, P. O. Box 1458 Georgetown, Texas 78627. Emailed comments may be sent to planning@georgetown.org. Any such comments may be presented to the Commission.

that Georgetown needs. Please do not change the zoning to allow another gas station. It would just not be something our community needs.

Peace, [Signature]





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Project Name/Address: 301 FM 971

Project Case Number: 2020-1-SUP P&Z Date: December 15, 2020 Case Manager: Michael Patroski

Name of Respondent: Jill Holmaas
(Please print name)

Signature of Respondent: [Signature]
(Signature required for protest)

Address of Respondent: 202 Rio Vista Dr.
(Address required for protest)

I am in FAVOR: _____

I OBJECT: ✓

Additional Comments:

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Project Name/Address: 301 FM 971

Project Case Number: 2020-1-SUP P&Z Date: December 15, 2020 Case Manager: Michael Patroski

Name of Respondent: Iqbal Maresdi
(Please print name)

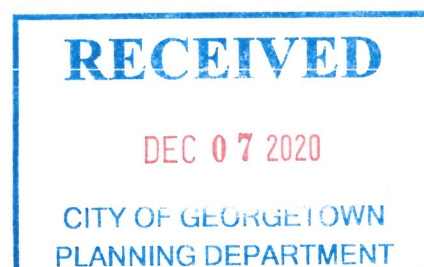
Signature of Respondent: Iqbal Maresdi
(Signature required for protest)

Address of Respondent: 221 FM 971, Georgetown Tx 78626
(Address required for protest)

I am in FAVOR: _____ I OBJECT: ✓

Additional Comments:

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Project Name/Address: 301 FM 971

Project Case Number: 2020-1-SUP P&Z Date: December 15, 2020 Case Manager: Michael Patroski

Name of Respondent: SCOTT STRANCE
(Please print name)

Signature of Respondent: [Signature]
(Signature required for protest)

Address of Respondent: 111 PARQUE VISTA DR GEORGETOWN, TX 78626
(Address required for protest)

I am in FAVOR: _____

I OBJECT: X [Initials]

Additional Comments:

AS PRESIDENT OF THE PARKVIEW ESTATES HOA, I
FULLY SUPPORT THE DECISION OF OUR RESIDENTS DIRECTLY
AFFECTED BY THIS SUP ZONING REQUEST.

Written comments may be sent to City of Georgetown Planning Department, P. O. Box 1458 Georgetown, Texas 78627. Emailed comments may be sent to planning@georgetown.org. Any such comments may be presented to the Commission.



Re: 301 FM 971 Project Case Number: 2020-1-SUP PZ Date: 12/15/2020 Case Manager: Michael Patroski

Name of Respondent: DAVID & HELGA HEMPTON
(Please print name)

Signature of Respondent: *David Hempton Helga Hempton*
(Signature required for protest)

Address of Respondent: 208 RIO VISTA DRIVE GEORGETOWN, TEXAS 78626
(Address require to protest)

I am in FAVOR: _____ I OBJECT: XXXX

Additional Comments:

SEE ATTACHED

Written comments may be sent to City of Georgetown Planning Department, P. O. Box 1458
Georgetown, Texas 78627. Emailed comments may be sent to planning@georgetown.org. Any such
comments may be presented to the Commission.



Re: 301 FM 971 Project Case Number: 2020-1-SUP PZ Date: 12/15/2020 Case Manager: Michael Patroski

Chairman and Commissioners,

We submitted an objection along with a letter previously. Since that time, we attended a neighborhood meeting to discuss this matter. We also attended a meeting in our neighborhood in which the property owners were present and presented their plan and future vision of the property as it relates to our neighborhood. After careful consideration we continue to object to this permit for many of the same reasons as was previously documented. Primary to our concerns are the safety and well being of the residents in the neighborhood.

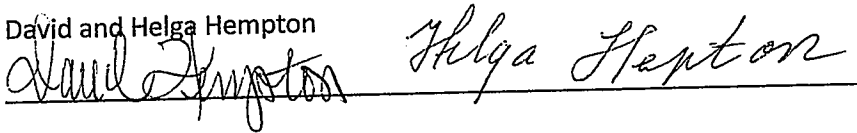
We continue to **OBJECT** to the current proposal.

Thank you for carefully considering our request.

Respectfully,

Printed Name: David and Helga Hempton

Signature:

The image shows two handwritten signatures in cursive script. The first signature is 'David Hempton' and the second is 'Helga Hempton'. They are written in dark ink on a white background.

Address 208 Rio Vista



CITY OF GEORGETOWN
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Project Name/Address: 301 FM 971

Project Case Number: 2020-1-SUP P&Z Date: December 15, 2020 Case Manager: Michael Patroski

Name of Respondent: Robert & Jane Bachman
(Please print name)

Signature of Respondent: Robert Bach Jane Bachman
(Signature required for protest)

Address of Respondent: 203 RioVista Dr, Georgetown, TX 78626
(Address required for protest)

I am in FAVOR: _____

I OBJECT: X

Additional Comments:

There is already a gas station on the corner. That station
already gives extra traffic, excessive light pollution as well
as trash/littering.

Written comments may be sent to City of Georgetown Planning Department, P. O. Box 1458 Georgetown, Texas 78627. Emailed comments may be sent to planning@georgetown.org. Any such comments may be presented to the Commission.





CITY OF GEORGETOWN
NOTICE OF PUBLIC HEARING

Comments from Neighboring Property Owners

You are being notified as a requirement of the City of Georgetown Code of Ordinances. You are invited to express your views or concerns regarding the – described petition by returning this comment form and/or by attending one or both of the scheduled public hearings on the matter.

Project Name/Address: 301 FM 971

Project Case Number: 2020-1-SUP P&Z Date: December 15, 2020 Case Manager: Michael Patroski

Name of Respondent: William Glover
(Please print name)

Signature of Respondent: William Glover
(Signature required for protest)

Address of Respondent: 210 Rio Vista Dr. Georgetown TX 78626
(Address required for protest)

I am in FAVOR: _____ I OBJECT: ✓

Additional Comments:

We met with the owners of the property wanting to put in a fueling station and informed them that we were against adding a gas station with its underground storage tanks and their safety risks along with the traffic problem that a service station would bring.

Written comments may be sent to City of Georgetown Planning Department, P. O. Box 1458 Georgetown, Texas 78627. Emailed comments may be sent to planning@georgetown.org. Any such comments may be presented to the Commission.





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Project Name/Address: 301 FM 971

Project Case Number: 2020-1-SUP P&Z Date: December 15, 2020 Case Manager: Michael Patroski

Name of Respondent: Robin Ritter
(Please print name)

Signature of Respondent: [Signature]
(Signature required for protest)

Address of Respondent: 210 Rio Vista Drive, Georgetown TX 78626
(Address required for protest)

I am in FAVOR: _____

I OBJECT: X

Additional Comments:

There is no valid reason to install fuel pumps/sales at this site.
#1 There are safety issues and environmental issues with
locating fuel at this site. #2 Fuel is available next door
and is never sold out so there is no reason to add more.

#3 This site's size and location, entrances and exits won't work well with fuel sales.
Written comments may be sent to City of Georgetown Planning Department, P. O. Box 1458 Georgetown, Texas 78627. Emailed comments may be sent to planning@georgetown.org. Any such comments may be presented to the Commission.





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Project Name/Address: 301 FM 971

Project Case Number: 2020-1-SUP P&Z Date: December 15, 2020 Case Manager: Michael Patroski

Name of Respondent: KATHRYN WATSON
(Please print name)

Signature of Respondent: Kathryn Watson
(Signature required for protest)

Address of Respondent: 204 Rio Vista Dr.
(Address required for protest)



I am in FAVOR: _____

I OBJECT: ☒ ☒ ☒

Additional Comments:

We do not need another fueling station, since we already have one with several fueling stations. There is increased traffic and the noise factor will increase with late hrs. We have a lot of seniors in this area that walk their dogs and cars are always cutting thru to get to

Written comments may be sent to City of Georgetown Planning Department, P. O. Box 1458 Georgetown, Texas 78627. Emailed comments may be sent to planning@georgetown.org. Any such comments may be presented to the Commission.

High School & there is always speeding. There will also be increased light in area. This will be the worst if this happens. I strongly Object to this proposal, I am directly Behind This.



CITY OF GEORGETOWN
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Project Name/Address: 301 FM 971

Project Case Number: 2020-1-SUP P&Z Date: December 15, 2020 Case Manager: Michael Patroski

Name of Respondent: Shawn Sabo
(Please print name)

Signature of Respondent: Shawn Sabo
(Signature required for protest)

Address of Respondent: 205 Rio Vista Dr. GT. 78626
(Address required for protest)

I am in FAVOR: _____ I OBJECT: XXX -

Additional Comments:

- major concerns w/ road traffic thru neighborhood
- Noise / Light pollution to developed long standing quiet neighborhood.
- the need for another convenience store - cross neighborhood street. (Park View Drive)

Written comments may be sent to City of Georgetown Planning Department, P. O. Box 1458 Georgetown, Texas 78627. Emailed comments may be sent to planning@georgetown.org. Any such comments may be presented to the Commission.





CITY OF GEORGETOWN
NOTICE OF PUBLIC HEARING

Comments from Neighboring Property Owners

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Project Name/Address: 301 FM 971

Project Case Number: 2020-1-SUP P&Z Date: December 15, 2020 Case Manager: Michael Patroski

Name of Respondent: Bobby R. Pope
(Please print name)

Signature of Respondent: [Signature]
(Signature required for protest)

Address of Respondent: 401 FM 971
(Address required for protest)

I am in FAVOR: _____ I OBJECT: X

Additional Comments:

See Attached Pages -

Written comments may be sent to City of Georgetown Planning Department, P. O. Box 1458 Georgetown, Texas 78627. Emailed comments may be sent to planning@georgetown.org. Any such comments may be presented to the Commission.



Bobby Ray Pope

**P. O. Box 448
Georgetown, Texas 78627
Phone: (512) 863-2092
Cell: (512) 848-9328**

City of Georgetown
Planning Department
PO Box 1458
Georgetown, Tx 78627

December 4, 2020

Re: 301 FM 971 Project Case Number: 2020-1-SUP PZ Date: 12/15/2020
Case Manager: Michael Patroski

Chairman & Commissioners,

My name is B. R. Pope and I have lived at 401 FM 971 with my wife, Betty, since 1967. I am a lifelong resident of Georgetown and have seen many changes to this town over the years. I respectfully ask that you would consider my comments thoughtfully as you ponder a decision on the proposed convenience store next to my home. I object to its construction for the following reasons:

Traffic Increases/Entrance Proximity to other Entrances on FM 971

Currently, looking to the west from my driveway there are three entrances, including my driveway, Parkview Estates entrance, and Parkplace Market entrance. These entrances are all less than 1/10 of a mile apart total. It is already a challenge to safely pull out of our driveway with current traffic conditions and a limited sight line to the east as well. The new entrance onto FM 971 from the proposed Parkview Market will dump out a mere 45 feet to the west of my driveway. Construction workers frequent these stores and are often pulling 20 ft trailers to further complicate the dangerous in and out nature of these businesses. To make matters worse, the joining of Northwest Boulevard and FM 971 (currently under construction) to the west of my property will only increase traffic to more dangerous levels.

Homeless Issue and Pedestrian Traffic

Since the closing of the Sweetbriar Nursing Home about 10 years ago, we have noticed a steady increase of homeless individuals in and around the abandoned structure. Naturally, the existing convenience and liquor stores are a hangout for them as they are just across the street. We've had a few wander on to our front porch asking for money, etc. While I am sympathetic to any person in this condition, I am equally fearful of the criminal element that exists in these situations. Another convenience store even closer to our property will only increase these interactions. Pedestrian traffic coming to and leaving these stores is also dangerous as there are no sidewalks on FM 971.

Noise Pollution, Trash, Lights and Potential Water Contamination

The current positioning of the proposed convenience store is within 200 feet of our home/bedroom. The typical hours of operation in these businesses are a concern because of lighting and noise. The dumpster unloading that we hear in the middle of the night at the existing convenience store is already intrusive. The trash generated from these businesses and the trash generated from the aforementioned homeless situation is problematic. In addition, I am worried about the quality of our well water being damaged from underground fuel storage at the proposed site.

Heritage Trees

I would like to see any and all Heritage Trees protected on this site.

Home Value Decrease

I object to this project for the obvious devaluation of my home and property that it will create.

Traffic Study

I would like to ask if a traffic study has been conducted by TXDOT as to the negative consequences of having this many entrances jammed this close together on a busy State Farm to Market Road?

Thanks for your consideration of this matter.

Very truly yours,

A handwritten signature in black ink, appearing to read 'B.R. Pope', with a stylized flourish at the end.

B.R. Pope



CITY OF GEORGETOWN
NOTICE OF PUBLIC HEARING

Comments from Neighboring Property Owners

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Project Name/Address: 301 FM 971

Project Case Number: 2020-1-SUP P&Z Date: December 15, 2020 Case Manager: Michael Patroski

Name of Respondent: Michael & Elizabeth Blom
(Please print name)

Signature of Respondent: Michael Blom Ea Blom
(Signature required for protest)

Address of Respondent: 212 Rio Vista
(Address required for protest)

I am in FAVOR: _____

I OBJECT: ✓

Additional Comments:

see attachment.

Written comments may be sent to City of Georgetown Planning Department, P. O. Box 1458 Georgetown, Texas 78627. Emailed comments may be sent to planning@georgetown.org. Any such comments may be presented to the Commission.



Re: 301 FM 971 Project Case Number: 2020-1-SUP PZ Date: 12/15/2020 Case Manager: Michael Patroski

Chairman and Commissioners,

We submitted an objection along with a letter previously. Since that time, we attended a neighborhood meeting to discuss this matter. We also attended a meeting in our neighborhood in which the property owners were present and presented their plan and future vision of the property as it relates to our neighborhood. After careful consideration we continue to object to this permit for many of the same reasons as was previously documented. Primary to our concerns are the safety and well being of the residents in the neighborhood.

We continue to **OBJECT** to the current proposal.

Thank you for carefully considering our request.

Respectfully,

Printed Name: Michael and Elizabeth Blom

Signature:

Michael Blom Elizabeth Blom

Address 212 Rio Vista

ORDINANCE NO. _____

An Ordinance of the City Council of the City of Georgetown, Texas, granting a Special Use Permit for the specific uses of "Fuel Sale" within the Local Commercial (C-1) zoning district, for the property located at 301 FM 971, bearing the legal description Lot 52, Block F, Park View Estate, Section 9; repealing conflicting ordinances and resolutions; including a severability clause; and establishing an effective date.

Whereas, an application has been made to the City for the purpose of allowing a special use of the following described real property ("The Property"):

Lot 52, Block F, Park View Estate, Section 9, as recorded in Document Numbers 2009010432, 2016037833, and 2016037833 of the Official Public Records of Williamson County, Texas, hereinafter referred to as "The Property"; and

Whereas, public notice of such hearing was accomplished in accordance with State Law and the City's Unified Development Code through newspaper publication, signs posted on the Property, and mailed notice to nearby property owners; and

Whereas, the Planning and Zoning Commission, at a meeting on December 15, 2020, held the required public hearing and submitted a recommendation of denial to the City Council for the requested special use of the Property; and

Whereas, the City Council, at a meeting on January 12, 2021, held an additional public hearing prior to taking action on the requested special use of the Property.

Now, therefore, be it ordained by the City Council of the City of Georgetown, Texas, that:

Section 1. The facts and recitations contained in the preamble of this Ordinance are hereby found and declared to be true and correct, and are incorporated by reference herein and expressly made a part hereof, as if copied verbatim. The City Council hereby finds that this Ordinance implements the vision, goals, and policies of the Georgetown 2030 Comprehensive Plan and further finds that the enactment of this Ordinance is not inconsistent or in conflict with any other policies or provisions of the 2030 Comprehensive Plan and the City's Unified Development Code.

Section 2. The Zoning District for the Property shall remain Local Commercial (C-1) and the Ordinance allowing for the special use of Fuel Sale on the property is hereby adopted, in accordance with the attached *Exhibit A* (Conceptual Site Plan).

Section 3. All ordinances and resolutions, or parts of ordinances and resolutions, in conflict with this Ordinance are hereby repealed, and are no longer of any force and effect.

Ordinance Number: _____

Page 1 of 2

Description: Parkview Market

Case File Number: 2020-1-SUP

Date Approved: _____

Exhibits A Attached

Section 4. If any provision of this Ordinance or application thereof to any person or circumstance shall be held invalid, such invalidity shall not affect the other provisions, or application thereof, of this Ordinance which can be given effect without the invalid provision or application, and to this end the provisions of this Ordinance are hereby declared to be severable.

Section 5. The Mayor is hereby authorized to sign this ordinance and the City Secretary to attest. This ordinance shall become effective in accordance with the provisions of state law and the City Charter of the City of Georgetown.

APPROVED on First Reading on the 12^h day of January, 2021.

APPROVED AND ADOPTED on Second Reading on the 26th day of January, 2021.

THE CITY OF GEORGETOWN:

ATTEST:

Josh Schroeder
Mayor

Robyn Densmore, TRMC
City Secretary

APPROVED AS TO FORM:

Skye Masson
City Attorney

Ordinance Number: _____

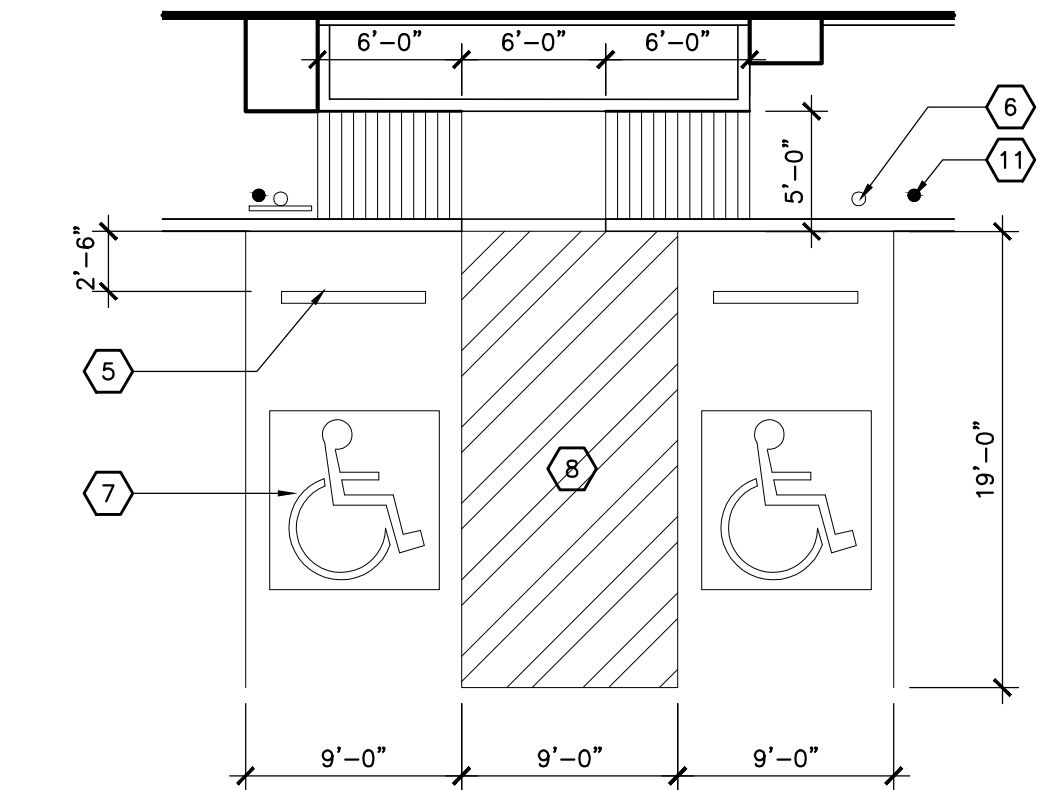
Description: Parkview Market

Date Approved: _____

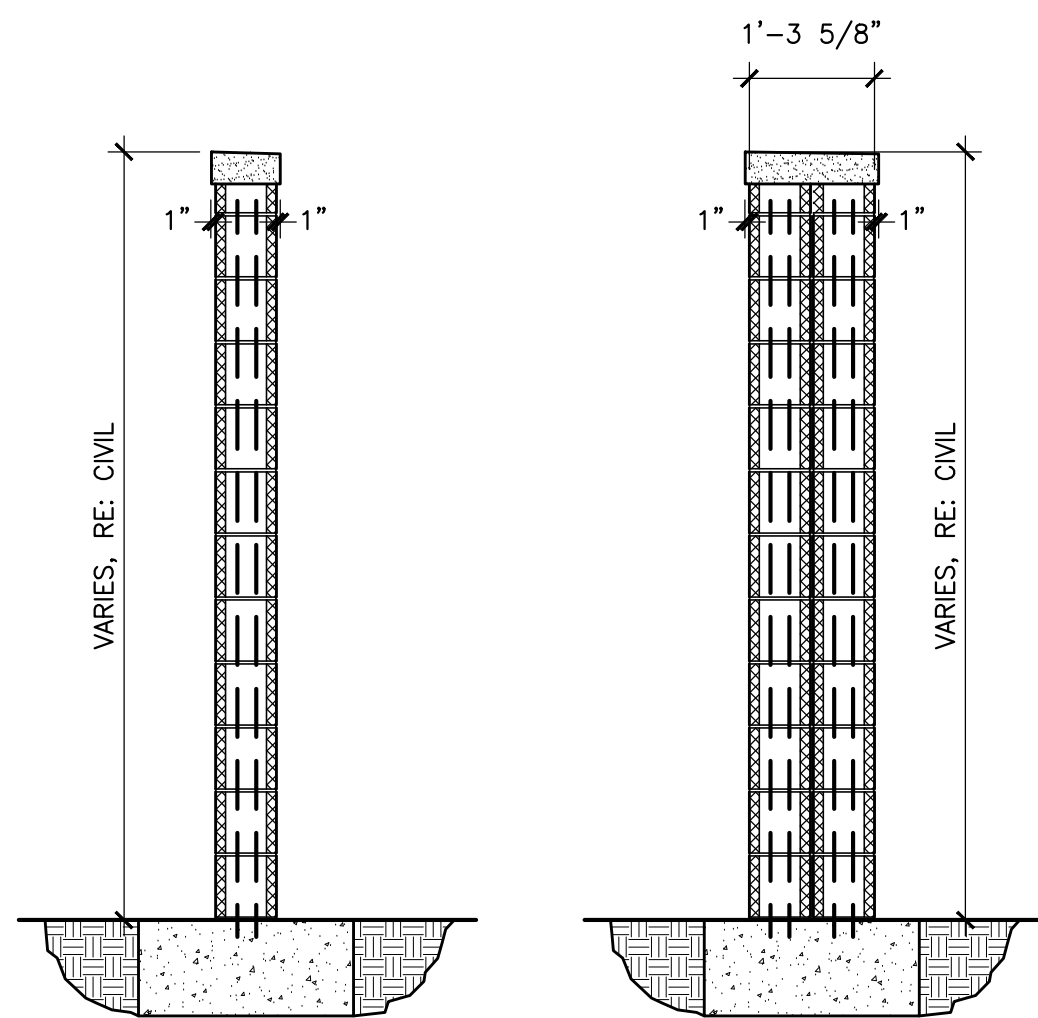
Page 2 of 2

Case File Number: 2020-1-SUP

Exhibits A Attached

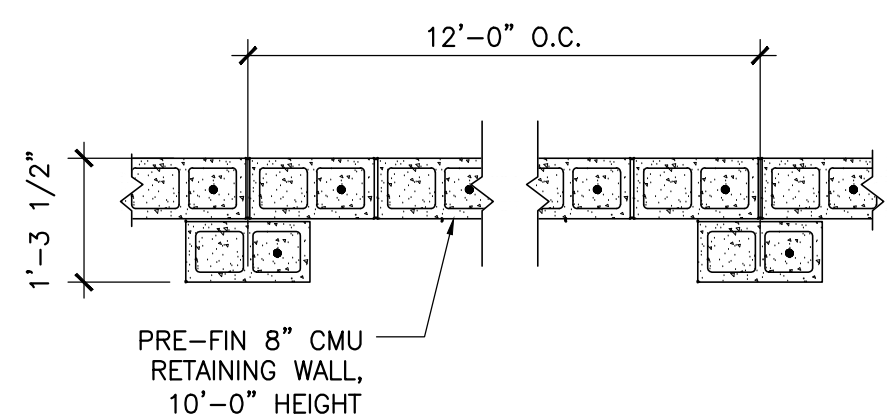


02 ADA PARKING DETAIL
SCALE: 1/8"=1'-0"

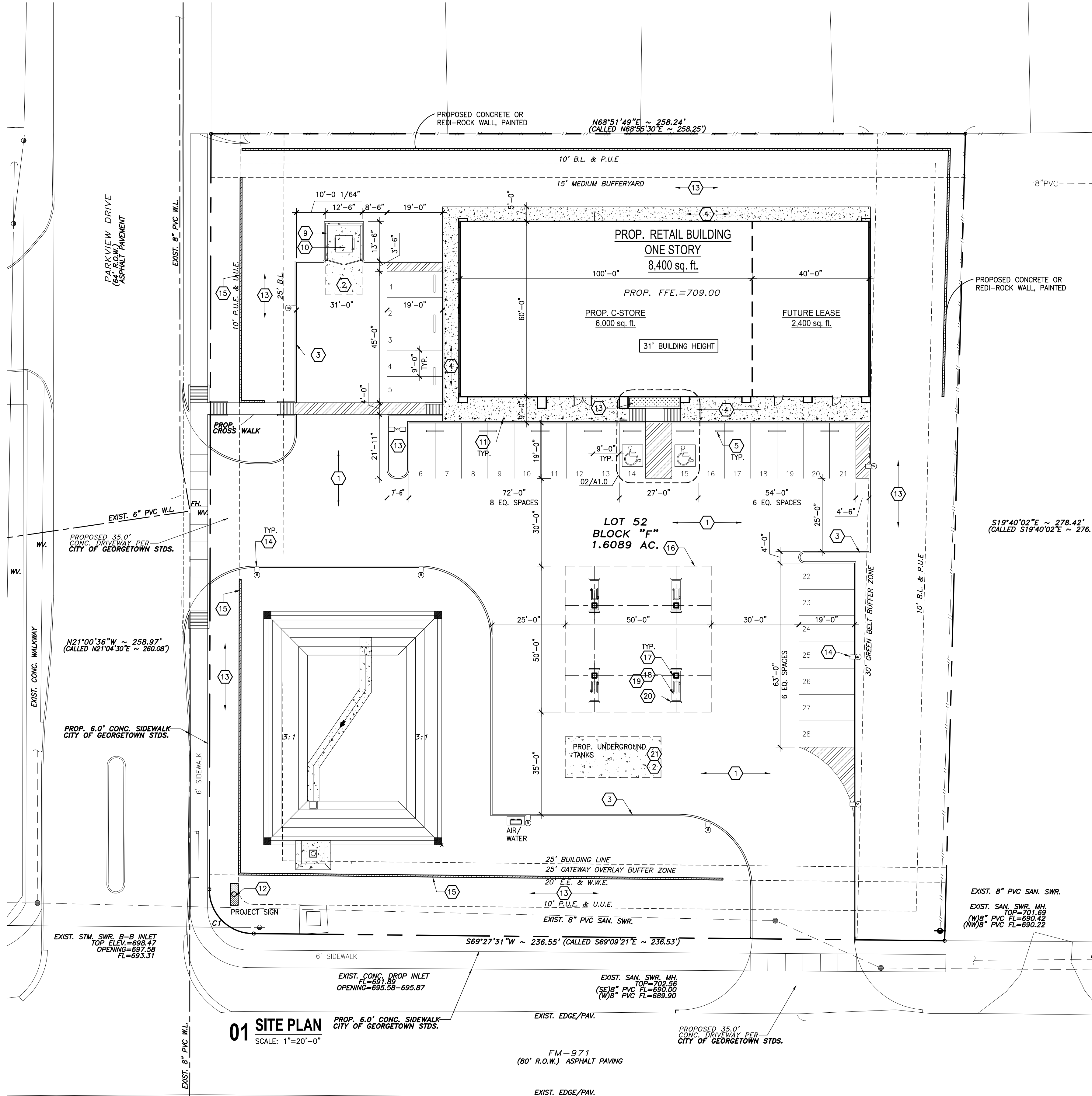


03 COLUMN DETAIL
SCALE: NTS

04 PILASTER DETAIL
SCALE: NTS



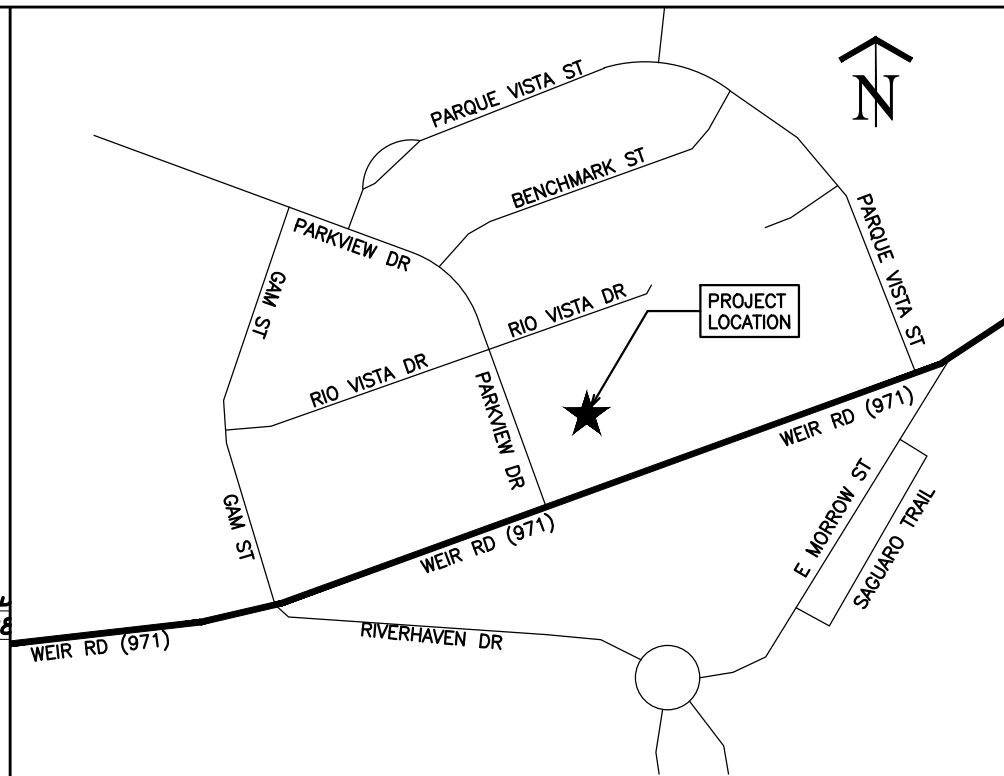
05 RETAINING WALL PLAN
SCALE: NTS



01 SITE PLAN
SCALE: 1"=20'-0"

| SITE DATA TABLE: | | | | |
|------------------|-----------------------|--|--|--|
| 1 | NAME OF DEVELOPMENT | PARKVIEW MARKET | | |
| 2 | LEGAL DESCRIPTION | S4346 - PARKVIEW ESTATES SEC 9, BLOCK F, LOT 52 | | |
| 3 | ADDRESS | 301 FM 971, GEORGETOWN, TX 78626 | | |
| 4 | SIZE OF LOT | 1.608 ACRE | | |
| 5 | ZONING OF THE SITE | C1- LOCAL COMMERCIAL | | |
| 6 | NAME OF OWNER | PARKVIEW ESTATES LLC, | | |
| 7 | WCAD NUMBER | R-20-8929-0000-0001 | | |
| 8 | SIZE OF SITE PROPOSED | 6,000 SQ.FT. C-STORE AND 2,400 SQ.FT. FUTURE LEASE AND 2,600 SQ.FT. CANOPY | | |

| DATE | RADIUS | ARC | BEARING | CHORD |
|------|--------|--------|-----------------------|--------|
| C1 | 15.00' | 23.66' | N68°51'49"E ~ 258.24' | 21.24' |



VICINITY MAP N.T.S.

SITE PLAN NOTES:

- ALL WORK SHALL COMPLY WITH CODES, REGULATIONS AND ORDINANCES FOR THE STATES OF TEXAS AND ALL OTHER AUTHORITIES HAVING JURISDICTION AT THE SITE OF CONSTRUCTION.
- CONSTRUCTION OF ALL DRIVEWAYS IN STREET RIGHT OF WAY SHALL BE CONFORMANCE BY CITY OF GEORGETOWN.
- CONTRACTOR SHALL OBTAIN AND PAY ALL FEES & PERMITS NECESSARY TO PERFORM ALL WORK WITHIN THE PROPERTY AND IN THE STREET RIGHT OF WAY.
- SPECIAL CARE SHALL BE TAKEN ALONG THE ADJACENT PROPERTY LINES DURING NEW CONSTRUCTION.
- THE CONTRACTOR SHALL PROVIDE & MAINTAIN ALL SIGNS, BARRICADES AND TRAFFIC CONTROL AS REQUIRED BY SAFETY TO ALL PEDESTRIANS, VEHICLES AND SURROUNDING BUILDING UTILITIES DURING THE CONSTRUCTION.
- ELECTRIC PVC CONDUIT PIPE FOR FUTURE USE OF ELECTRICAL SHALL BE MARKED AND STUBBED UP TO 4" BELOW FINISH GRADE AND CAPPED. ALL ELECTRICAL PVC SLEEVES SHALL HAVE PULL WIRES INSTALLED.
- SIDEWALK SHALL BE MIN. 5" THICK WITH #3 @ 16" O.C.
- REFER TO CIVIL, ELECTRICAL, PLUMBING DRAWINGS FOR ALL UTILITIES SERVICES TO AND ON THE SITE.
- REFER TO CIVIL PLAN FOR NEW PAVING AND DETAILS.

LEGEND:

| | |
|-----|-------------------------------|
| --- | PROPERTY LINE |
| --- | WALL LINE |
| --- | EASEMENT OR LOT DIVISION LINE |
| --- | MISC. IMPROVEMENTS |
| --- | COVERED CONCRETE |
| --- | COV. CONC. |
| --- | UTILITY EASEMENT |
| --- | AERIAL EASEMENT |
| --- | BUILDING LINE |
| --- | HARRIS COUNTY CLERK'S FILE |
| --- | DEED RECORDS OF HARRIS COUNTY |
| --- | MAP RECORDS OF HARRIS COUNTY |
| --- | FILM CODE |
| --- | LIGHT STANDARD |
| --- | STEEL BOX |
| --- | ELECTRIC BOX |

KEYED NOTES:

- 6" THICK CONCRETE PAVING. REFER TO CIVIL DWG.
- 8" THICK CONCRETE PAVING @ DUMPSTER AREA
- 6" CONCRETE CURB. REFER TO DETAIL 01 & 06/A1.1
- CONCRETE SIDEWALK REFER TO DETAIL 11 & 16/A1.1
- CONCRETE WHEEL STOP. REFER TO DETAIL 02/A1.1
- HANDICAP SIGN. REFER TO DETAIL 07/A1.1
- HANDICAP SYMBOL. REFER TO DETAIL 08/A1.1
- 4" WIDE STRIPES, PAINTED WHITE (TYP.)
- DUMPSTER ENCLOSURE (SEE DETAIL - 05/A1.1)
- DUMPSTER (BY OTHERS)
- PROTECTIVE BOLLARD. REFER TO DETAIL 03/A1.1
- PROJECT SIGN (BY OTHERS); SIGN COMPANY SHALL COMPLY WITH CODES, REGULATIONS, ORDINANCES AND EASEMENTS WITH THE CITY/COUNTY DEPT. BEFORE PERFORMING THE WORK. SIGNAGE APPROVED UNDER SEPARATE REVIEW AND PERMIT.
- GREEN AREA. REFER TO LANDSCAPING PLAN
- PARKING LIGHT POLE (TYP.). REFER TO ELECT. PLAN
- 3' HIGH RETAINING WALL, SPLIT-FACE CMU. RE: 02/L1.0
- PROPOSED GAS CANOPY, 50' x 52' (BY OTHERS)
- FUEL CANOPY HEIGHT: 19'-6" FROM PAVING
- GAS CANOPY COLUMN. SEE DETAIL 04/A1.2
- GAS PUMPS (BY OTHERS)
- INSTALL AIR & WATER LINE AT EACH GAS PUMP STATION (TYP.)
- U-SHAPED PIPE GUARDS. SEE DETAIL 19/A1.1 (TYP.)
- UNDERGROUND GAS TANK. CONTRACTOR SHALL VERIFY WITH OWNER AND SUPPLIER FOR SIZE AND LOCATION BEFORE INSTALLATION.

PARKING ANALYSIS:

| PARKING REQUIRED: | | | | |
|-------------------------------|------------|---------|---------|----------------------|
| C-STORE | 8,400 S.F. | 1 P.S./ | 300 GSF | 28 SPACES |
| TOTAL REQUIRED PARKING SPACES | | | | 28 SPACES |
| PARKING PROVIDED | | | | 36 (INCLUDING 2 ADA) |

DOAN
ASSOCIATES

11700 Southwest Fwy, Ste. 205
Houston, TX 77031
T 281 564 2200
F 281 564 2700
doan@doanassociates.com
www.doanassociates.com

This Drawing is an instrument of service and is the sole property of Doan & Associates, any use of this drawing without written consent by Doan & Associates is prohibited.

The firm shall not have control or charge of and shall not be responsible for construction means, methods, deviations, techniques, sequences, or procedures, or for safety precautions and programs in connection with the work, for the acts or omissions of the contractor, subcontractors or any other persons performing any of the work, or failure of any of them to carry out the work in accordance with the contract documents. Always use dimensions as shown. Drawings are not to be scaled.

Drawing scales as indicated are for reference only and are not intended to accurately depict actual or drawing conditions. Written dimensions shall govern.

| DATE ISSUED | REMARKS |
|-------------|---------------|
| 09/08/2020 | 1st Submittal |

STAMP

PROJECT NAME

PARKVIEW MARKET

301 FM 971
GEORGETOWN, TX 78626

DRAWING TITLE

SITE PLAN

PROJECT # **19-046**

SCALE AS SHOWN

DATE 10/28/2019

DRAWN BY SG

CHECKED BY JD

SHEET #

A1.0

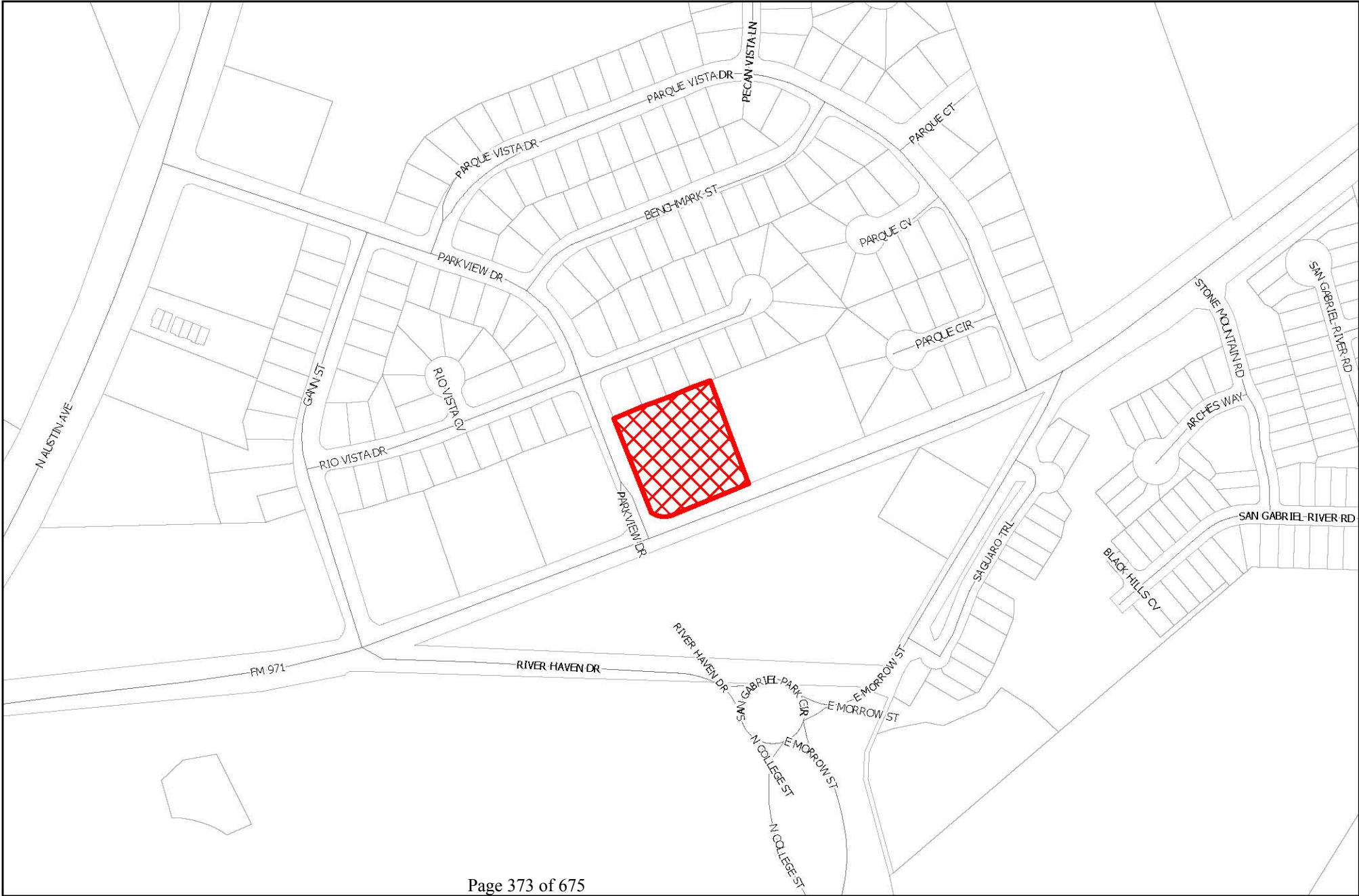
Parkview Market 2020-1-SUP

First City Council
January 12, 2021

Item Under Consideration

2020-1-SUP

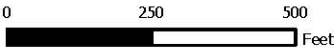
- Public Hearing and First Reading of an Ordinance on a request for a Special Use Permit (SUP) for the Fuel Sales specific use in the Local Commercial (C-1) zoning district, for the property located at 301 FM 971, bearing the legal description of Lot 52, Block F, Park View Estate, Section 9, to be known as Parkview Market (2020-1-SUP) -- Michael Patroski, Planner

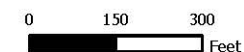


LOCATION

2020-1-SUP
Exhibit #1

-  Site
-  Parcels



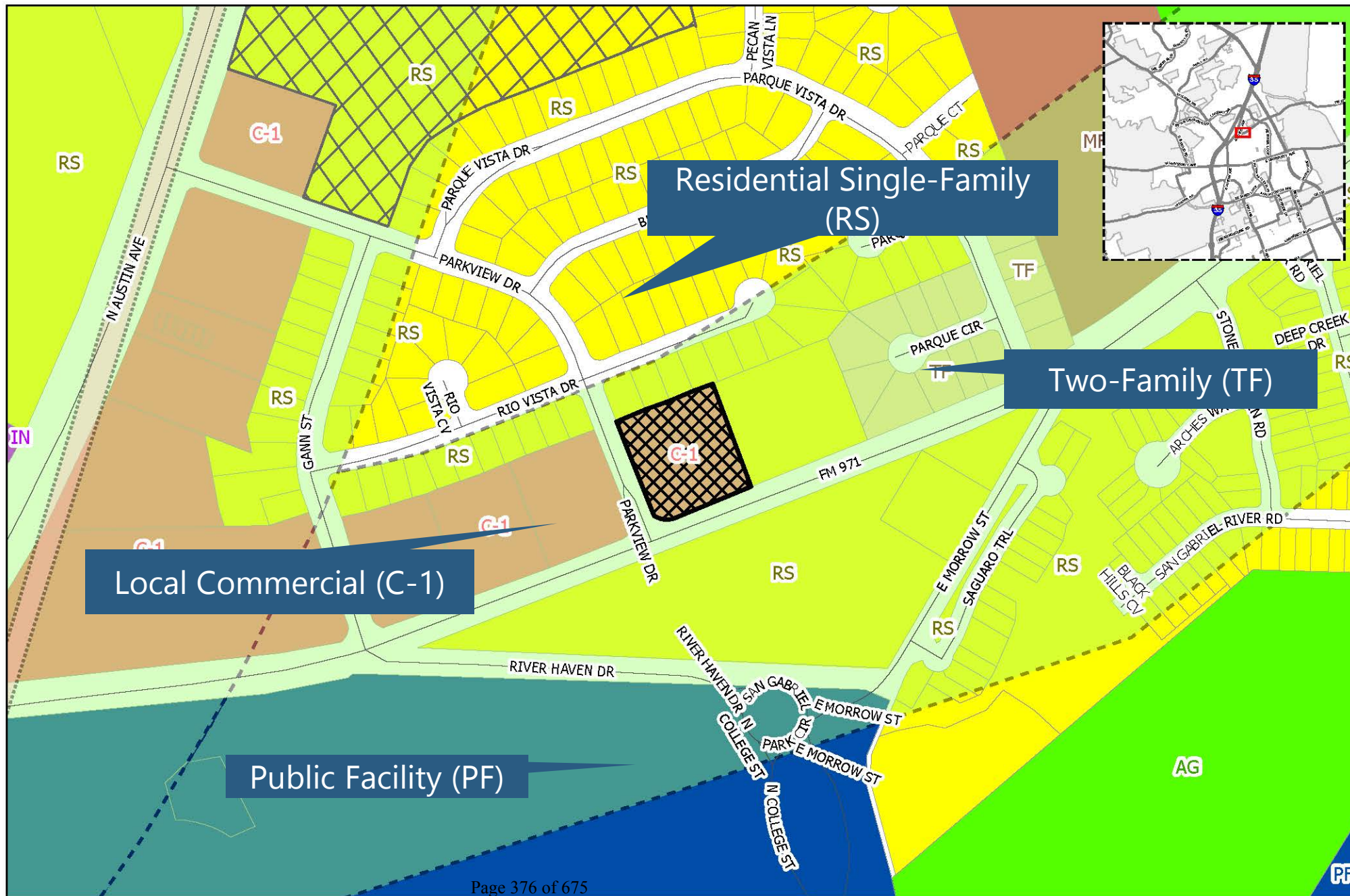


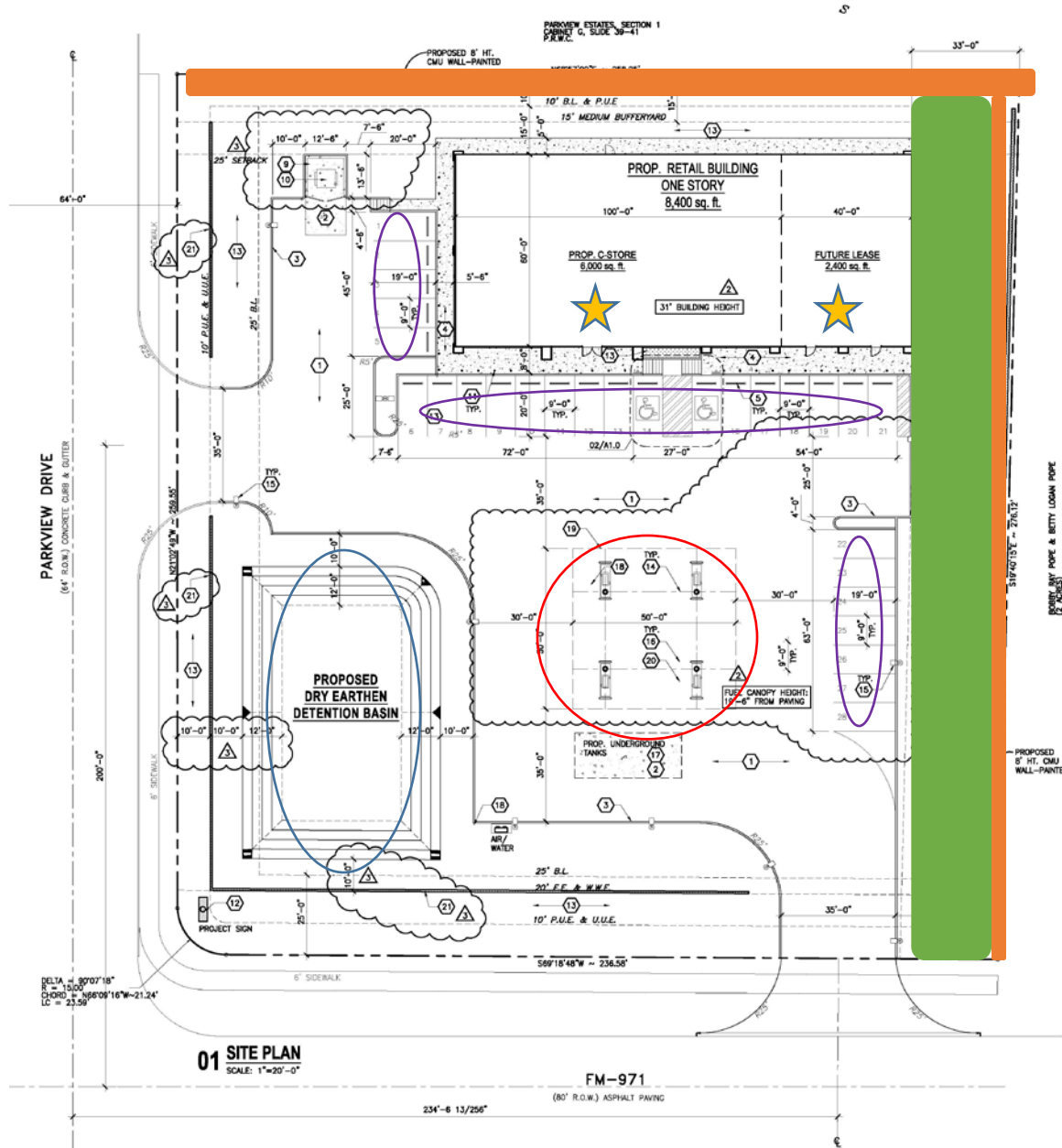
ZONING

2020-1-SUP

Exhibit #3

-  Site
 -  PUD
 -  Courthouse View Overlay
 -  Old Town Overlay
 -  Historic Overlay
 -  Downtown Overlay
 -  SPO Overlay
 -  Gateway Overlay
 -  Parcels
- Zoning
-  AG - Agriculture
 -  BP - Business Park
 -  C-1 - Local Commercial
 -  C-3 - General Commercial
 -  CN - Neighborhood Commercial
 -  IN - Industrial
 -  MF-1 - Low-Density Multi-family
 -  MF-2 - High-Density Multi-family
 -  MH - Manufactured Housing
 -  MU-DT - Mixed-Use Downtown
 -  OF - Office
 -  PF - Public Facility
 -  RE - Residential Estate
 -  RL - Residential Low-Density
 -  RS - Residential Single-Family
 -  TF - Two-Family
 -  TH - Townhouse





- 4 Multi Fuel Pumps
- C-Store and Future Lease Space
- 30' buffer required to east.
- Parking in Front and West portion
- Detention Pond in southwest corner.
- 8' Masonry Screening Wall

Special Use Permit (SUP)

- The SUP allows for Planning & Zoning Commission and City Council approval of uses with unique or widely varying operating characteristics or unusual site development features, subject to the terms and conditions set forth in the UDC.
- The SUP also allows for additional restrictions to be placed on the use by the Planning & Zoning Commission and the City Council.

Approval Criteria – UDC Section 3.07.030

| Criteria for SUP | Complies | Partially Complies | Does Not Comply |
|---|----------|--------------------|-----------------|
| The proposed special use is not detrimental to the health, welfare, and safety of the surrounding neighborhood or its occupants. | | X | |
| The proposed conceptual site layout, circulation plan, and design are harmonious with the character of the surrounding area. | | X | |
| The proposed use does not negatively impact existing uses in the area and in the City through impacts on public infrastructure such as roads, parking facilities, and water and sewer systems, and on public services such as police and fire protection and solid waste collection and the ability of existing infrastructure and services to adequately provide services. | X | | |
| The proposed use does not negatively impact existing uses in the area and in the City through the creation of noise, glare, fumes, dust, smoke, vibration, fire hazard or other injurious or noxious impact. | | X | |



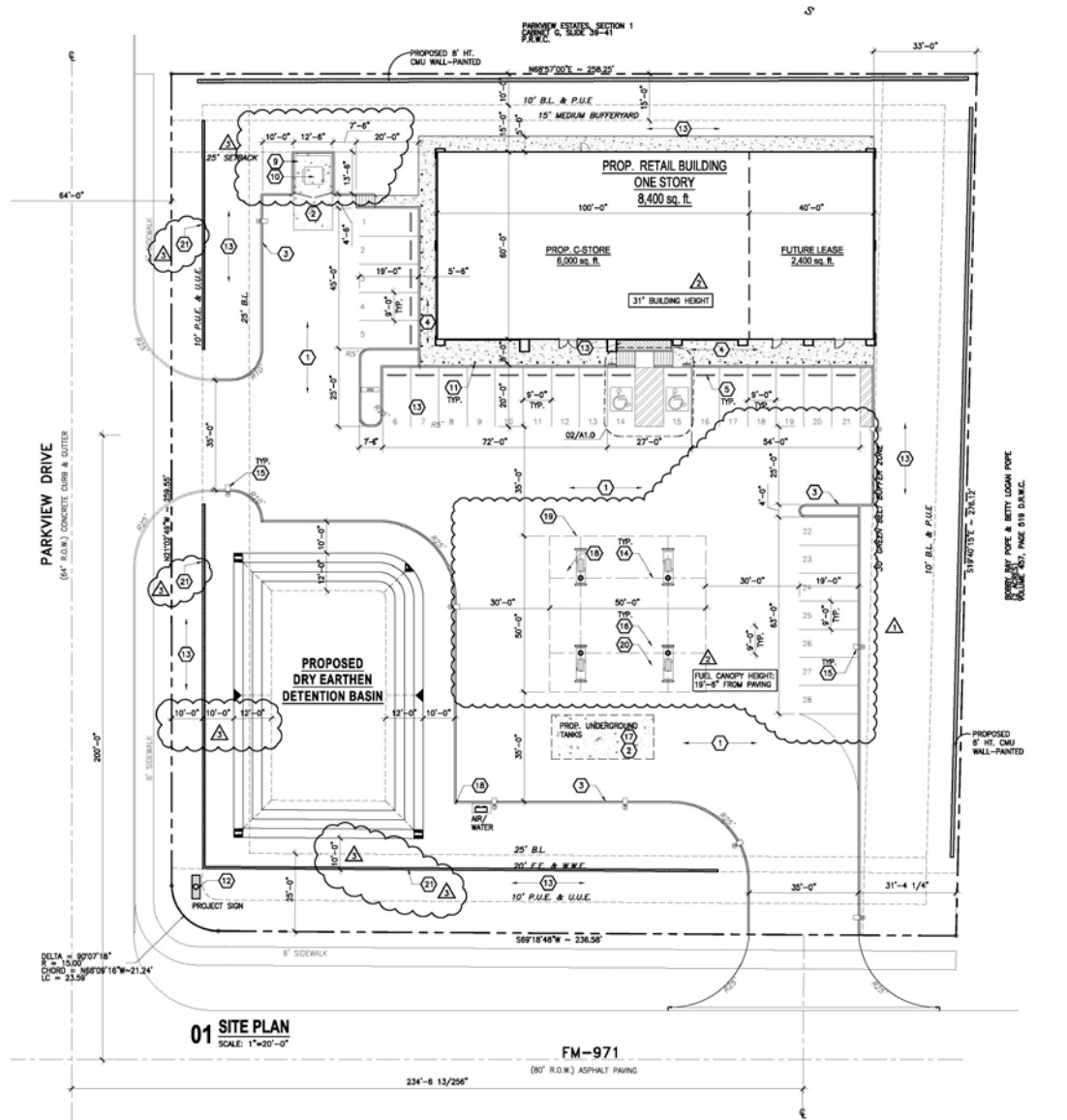
- 8' screening wall

- Arrangement of pumps
- Vacuum 100' from Residential Zoned Property
- Dumpster Screening

- Residential Single-Family (RS)
- Local Commercial (C-1)
- Public Facility (PF)
- Two-Family (TF)

Approval Criteria – UDC Section 3.07.030

| Criteria for SUP | Complies | Partially Complies | Does Not Comply |
|---|----------|--------------------|-----------------|
| The proposed special use is not detrimental to the health, welfare, and safety of the surrounding neighborhood or its occupants. | | X | |
| The proposed conceptual site layout, circulation plan, and design are harmonious with the character of the surrounding area. | | X | |
| The proposed use does not negatively impact existing uses in the area and in the City through impacts on public infrastructure such as roads, parking facilities, and water and sewer systems, and on public services such as police and fire protection and solid waste collection and the ability of existing infrastructure and services to adequately provide services. | X | | |
| The proposed use does not negatively impact existing uses in the area and in the City through the creation of noise, glare, fumes, dust, smoke, vibration, fire hazard or other injurious or noxious impact. | | X | |



Land Use and Building Design

Residential, commercial and retail
 Buildings oriented toward streets when practical
 (instead of parking in front of buildings)
 Lower intensity development to maintain natural
 character

Streetscape

Landscaped median
 Limited lighting to maintain dark night sky
 Groupings of trees and native landscaping
 Sidewalk and multi-purpose path set back from roadway
 Smaller monument signs with native materials



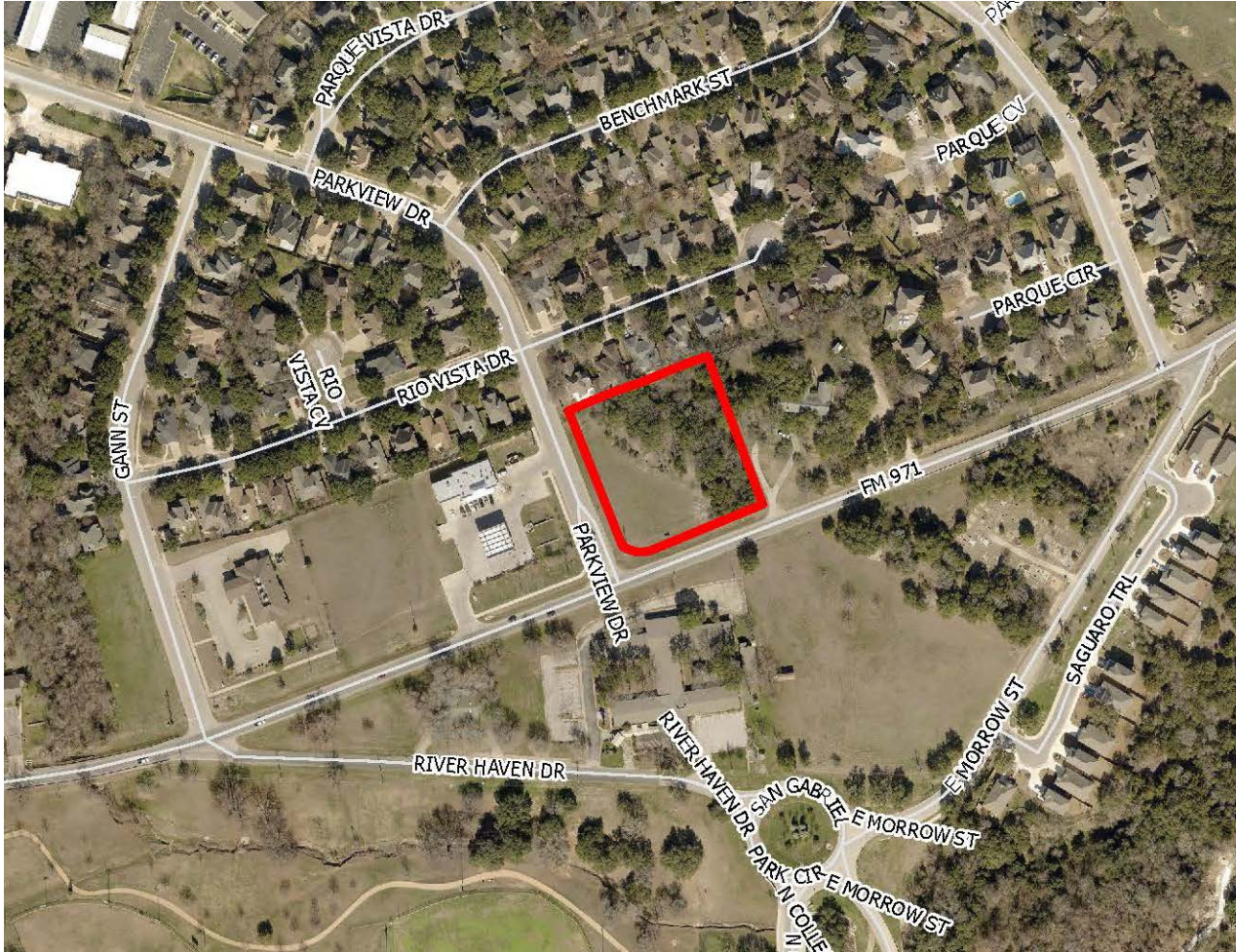
Looking West along FM 971



Looking East along FM 971

Approval Criteria – UDC Section 3.07.030

| Criteria for SUP | Complies | Partially Complies | Does Not Comply |
|---|----------|--------------------|-----------------|
| The proposed special use is not detrimental to the health, welfare, and safety of the surrounding neighborhood or its occupants. | | X | |
| The proposed conceptual site layout, circulation plan, and design are harmonious with the character of the surrounding area. | | X | |
| The proposed use does not negatively impact existing uses in the area and in the City through impacts on public infrastructure such as roads, parking facilities, and water and sewer systems, and on public services such as police and fire protection and solid waste collection and the ability of existing infrastructure and services to adequately provide services. | X | | |
| The proposed use does not negatively impact existing uses in the area and in the City through the creation of noise, glare, fumes, dust, smoke, vibration, fire hazard or other injurious or noxious impact. | | X | |

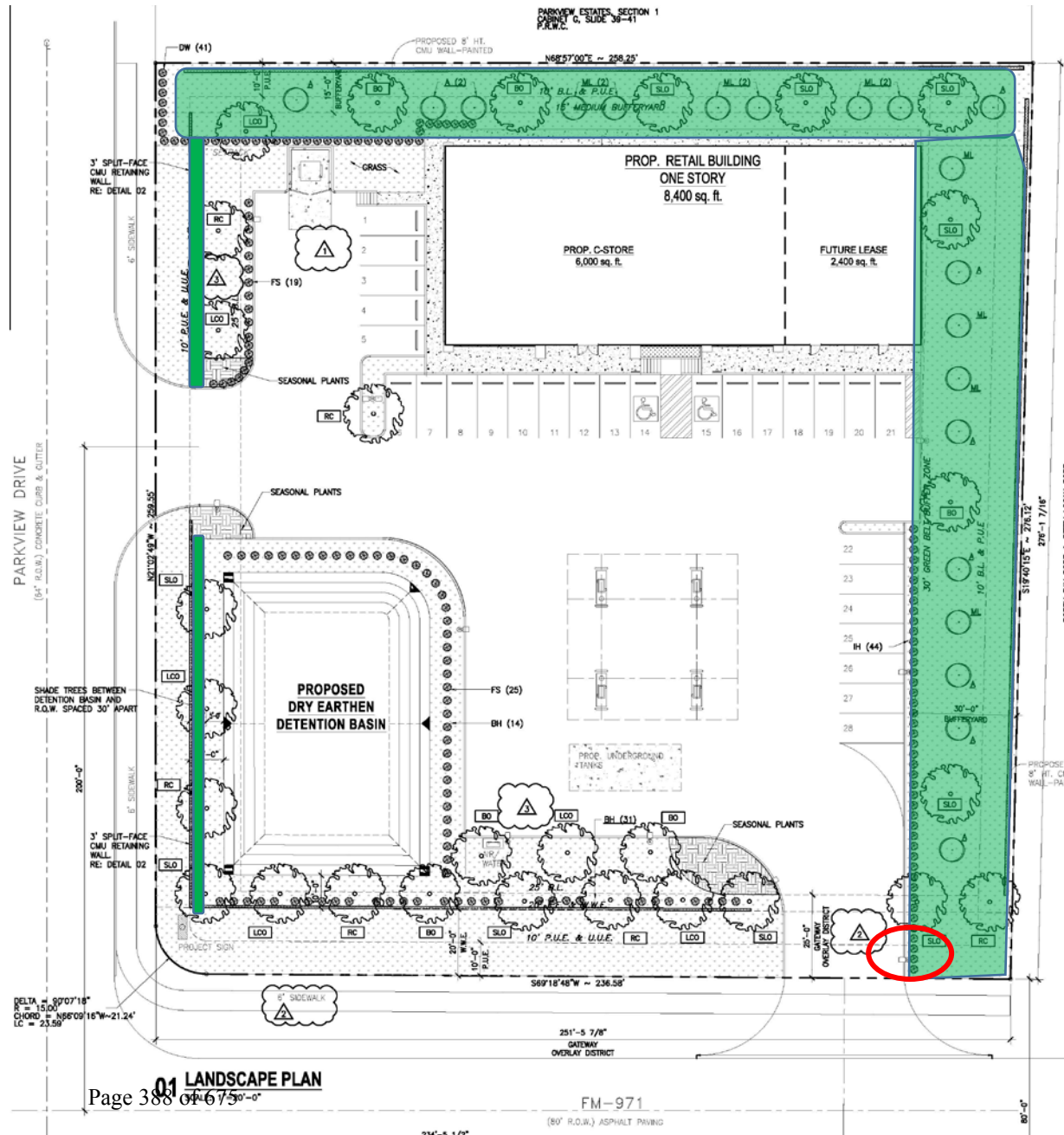


- 8' screening wall
- Shielded Light Fixtures limited to 15'
- 2.0 Foot-Candle-Intensity max at property line
- Fuel Canopy limited to 17' in height.

Staff Recommended Landscaping Conditions:

- A mix of shrub species and grouping offsets shall be provided along all property lines.
- Trees shall not be planted close to the pavement and adjusted to accommodate offset similar to the trees across the drive access.
- Shrubs shall be place behind the easements and parallel with the ROW similar to shrubs across the drive access.
- Shrubs shall be planted along Parkview Dr., south to FM 971 within the hatched area.

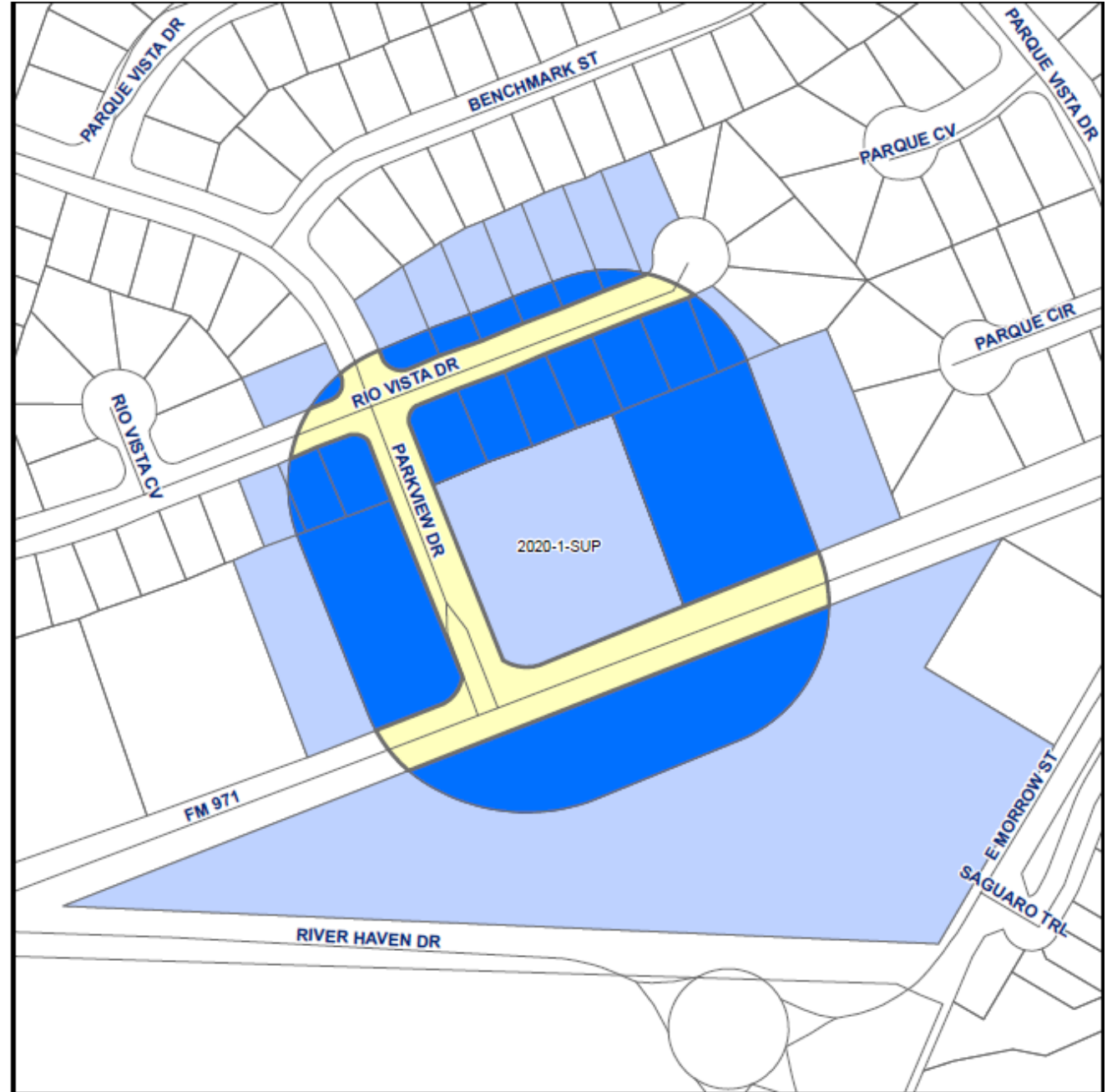
- A mix of shrub species and grouping offsets shall be provided along all property lines.
- Shrubs shall be planted along Parkview Dr., south to FM 971 within the hatched area.



- Trees shall not be planted close to the pavement and adjusted to accommodate offset similar to the trees across the drive access.
- Shrubs shall be placed behind the easements and parallel with the ROW similar to shrubs across the drive access.

Texas Local Government Code Chapter 211

- If 20% of 200' bufferyard is in objection of the request, a super majority vote is required to be considered.
- This request has reached at least 20% objection.



Planning & Zoning Commission Action

- At their December 15, 2020 meeting, the Planning & Zoning Commission recommended denial of the request (3-1).

First Reading of an Ordinance

- An Ordinance of the City Council of the City of Georgetown, Texas, granting a Special Use Permit for the specific uses of "Fuel Sale" within the Local Commercial (C-1) zoning district, for the property located at 301 FM 971, bearing the legal description Lot 52, Block F, Park View Estate, Section 9; repealing conflicting ordinances and resolutions; including a severability clause; and establishing an effective date.

City of Georgetown, Texas
City Council Regular Meeting
January 12, 2021

SUBJECT:

Public Hearing and First Reading of an Ordinance on a request for a **Zoning Map Amendment** to **rezone 13.00 acres** out of the Joseph Robertson Survey, Abstract No. 545, **from the Agriculture (AG) zoning district to the Low Density Multi-Family (MF-1) zoning district**, for the property generally located at **3225 Westinghouse -- Sofia Nelson**, Planning Director

ITEM SUMMARY:

Overview of Applicant's Request:

The applicant is requesting to rezone the subject property from the Agriculture (AG) zoning district to the Low Density Multi-Family (MF-1) district to entitle the property for multi-family development. The 13-acre tract is currently used as a single-family residence, which is no longer compatible with the suburban character the area around it has developed.

Staff's Analysis:

Staff has reviewed the request in accordance with the Unified Development Code (UDC) and other applicable codes. Staff has determined that the proposed request meets 4 of the 5 the criteria established in UDC Section 3.06.030 for a Zoning Map Amendment, as outlined in the attached Staff Report.

Public Comments:

As required by the Unified Development Code (UDC), all property owners and registered neighborhood associations within 300 feet of the subject property were notified of the request (37 notices mailed), a legal notice advertising the public hearing was placed in the Sun Newspaper (November 29, 2020) and signs were posted on-site. As of the publication date of this report, staff has received no written comments in favor or in opposition of the request.

Planning and Zoning Commission Recommendation:

At their December 15, 2020 meeting, the Planning and Zoning Commission recommended approval (4-0) of the request.

FINANCIAL IMPACT:

None. The applicant has paid the required application fees.

SUBMITTED BY:

Ethan Harwell, Senior Planner

ATTACHMENTS:

2020-22-REZ – P&Z Staff Report

Exhibit 1 – Location Map

Exhibit 2 – Future Land Use Map

Exhibit 3 – Zoning Map

Exhibit 4 – Design and development standards of the MF-1 zoning district

Exhibit 5 – Letter of Intent

Ordinance with Exhibits

Presentation

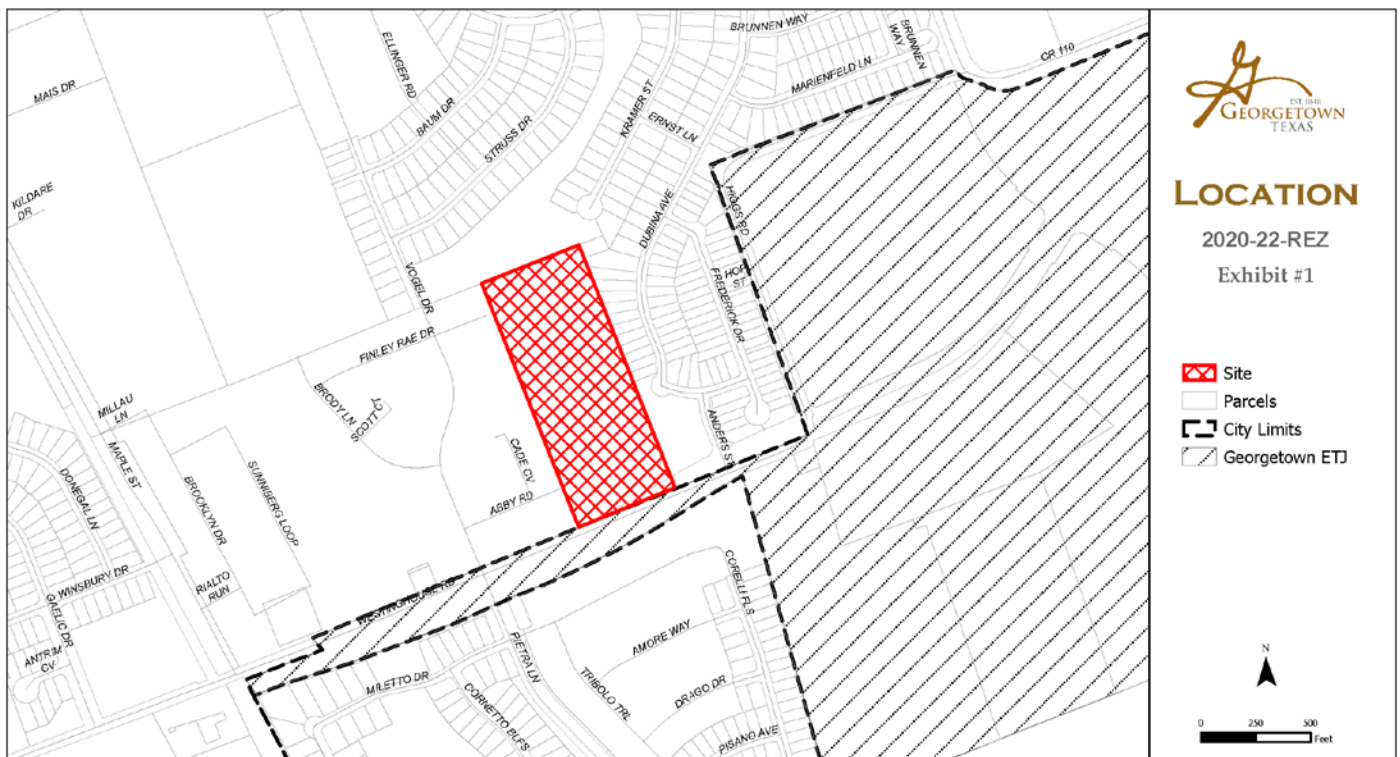


Planning and Zoning Commission Planning Department Staff Report

Report Date: December 11, 2020
Case No: 2020-22-REZ
Project Planner: Ethan Harwell, Senior Planner

Item Details

Project Name: 3225 Westinghouse Rezoning
Project Location: 3225 Westinghouse Road, within City Council district No. 7.
Total Acreage: 13.00 acres
Legal Description: 13.00 acres out of the Joseph Robertson Survey, Abstract No. 545
Applicant: Kimley-Horn & Associates, Inc., c/o Joel Wixson
Property Owner: Justin & Samantha Kacir
Request: Zoning Map Amendment to rezone the subject property from the **Agriculture (AG)** zoning district to the **Low Density Multi-Family (MF-1)** zoning district.
Case History: This is the first public hearing of this request.



Planning Department Staff Report

Overview of Applicant's Request

The applicant is requesting to rezone the subject property to the Low Density Multi-Family (MF-1) district to develop it with a multi-family use. The 13-acre tract is currently used as a single-family residence, which is no longer compatible with the suburban character the area around it has developed.

Site Information

Location:

The subject property is located on the north side of Westinghouse Road, approximately one mile east of the intersection with FM 1460 and 0.33 miles east of the intersection with Maple Street. Currently, the subject property is being used as a single-family residence.

Physical and Natural Features:

The subject property is relatively flat and treeless, gently sloping to the northeast. An existing single-family home with outbuildings and corrals as well as an existing stock tank occupy the property.

Future Land Use and Zoning Designations:

The subject property has a Mixed Density Neighborhood Future Land Use designation and is currently zoned Agriculture (AG).

Surrounding Properties:

The general area around the subject property is an area in transition. Former farms and homesteads have turned over to single-family subdivisions. Some of these subdivisions are built-out and established like the Westhaven and Fairhaven neighborhoods. Other neighborhoods are still under development like Vizcaya or Bridgehaven.

The current zoning, Future Land Use designation, and existing uses of the adjacent properties to the north, south, east and west are outlined in the table below:

| DIRECTION | ZONING DISTRICT | FUTURE LAND USE | EXISTING USE |
|-----------|---|---|----------------------------|
| North | Planned Unit Development (PUD) with a base district of Residential Single-Family (RS) | Mixed Density Neighborhood | Single-Family Neighborhood |
| East | Planned Unit Development (PUD) with a base district of Residential Single-Family (RS) | Mixed Density Neighborhood | Single-Family Neighborhood |
| South | Planned Unit Development (PUD) (City of Round Rock jurisdiction) | Residential (City of Round Rock jurisdiction) | Single-Family Neighborhood |
| West | Residential Single-Family (RS) | Mixed Density Neighborhood | Single-Family Neighborhood |



Property History:

This is the first development request for the subject property. This 13-acre tract has existed in its current configuration since 1997. It was incorporated into the city limits in 2006 (Ordinance 2006-125) as part of a large area city-initiated annexation, at which time it obtain its current zoning district. An approximately 0.25-acre portion of the property was acquired by Williamson County for the realignment of Westinghouse Road/CR 111 in May 2020.

Comprehensive Plan Guidance

Future Land Use Map:

The Mixed Density Neighborhood FLU category includes a blend of single-family and medium-density housing types. Medium density housing options are consistent with and complementary to the traditional single-family neighborhood with emphasis on connectivity and access to neighborhood amenities including schools and parks. Development standards for medium density housing and any nonresidential uses are in place to ensure compatibility through increased setbacks for taller buildings, architectural designs that are consistent with the neighborhood, location of more intense uses and development nearer to the edge of developments, and enhanced landscaping. Additionally, any non-residential uses are located primarily at arterials and other major roadway intersections and include appropriate buffering and pedestrian orientation to support the surrounding residents.

DUA: 5.1-14.0

Target Ratio: 80% residential, 20% nonresidential

Primary Use: Variety of single-family home types (detached, duplex, townhome)

Secondary Uses: Limited neighborhood-serving retail, office, institutional, and civic uses

Planning Department Staff Report

Utilities

The subject property is located within the City's service area for water and wastewater. Additionally, it is located within the Oncor service area for electric. It is anticipated that there is adequate capacity to serve the subject property at this time. A Utility Evaluation may be required at time of Site Development Plan to determine capacity and any necessary utility improvements.

Transportation

The subject property has approximately 430-feet of frontage on Westinghouse Road, a major arterial level road.

Arterial streets provide traffic movement through and between different areas within the city and access to adjacent land uses. Access is more controllable because driveway spacing requirements are much greater and, if safety dictates, overall access can be limited to specific turning movements. Major Arterials connect major traffic generators and land use concentrations and serve much larger traffic volumes over greater distances.

Also worth noting is the street stub into this property planned by the adjacent subdivision still under development. This stub is required to be extended through this property to Westinghouse Road, or it may be completed with terminus such as a cul-de-sac or hammerhead turnaround.

A Traffic Impact Analysis (TIA) will be required at time of Site Development Plan for any development that generates more than two thousand (2,000) average daily trips based upon the latest edition of the Institute of Transportation Engineers (ITE) Trip Generation Manual.

Proposed Zoning district

The Low Density Multi-Family (MF-1) zoning district is intended for attached and detached multi-family residential development, such as apartments, condominiums, triplexes, and fourplexes, at a density not to exceed 14 dwelling units per acre. The MF-1 District is appropriate in Future Land Use areas as Mixed Density Neighborhood, Community Center, or Regional Center. These FLU areas support moderate density multi-family products that integrate well with either adjacent single-family uses or adjacent commercial uses. Properties zoned MF-1 should have convenient access to major thoroughfares and arterial streets and should not route traffic through lower density residential areas. The uses permitted by the MF-1 district are appropriate adjacent to both residential and non-residential districts and may serve as a transition between single-family districts and more intense multi-family or commercial districts.

Permitted uses in this district include, but are not limited to, attached and detached multi-family, group homes (7-15 residents), and rooming/boarding houses. Other uses such as day care facilities, churches, neighborhood amenity center and schools, among others are permitted subject to specific design limitations. Certain land uses, including assisted living, group homes (16+ residents) and halfway houses, require a Special Use Permit (SUP). Exhibit 4 contains a comprehensive list of MF-1 district permitted uses and development standards.

Planning Department Staff Report

Intergovernmental and Interdepartmental Review

The proposed rezoning request was reviewed by all applicable City Departments to determine the appropriateness of the requested zoning on the subject property. No comments were issued regarding the zoning request.

Approval Criteria

Staff has reviewed the proposed rezoning request and has found that it complies with 4 of the 5 criteria established in UDC Section 3.06.030 for a Zoning Map Amendment, as outlined below:

| ZONING MAP AMENDMENT (REZONING) APPROVAL CRITERIA | |
|--|-----------------|
| 1. The application is complete and the information contained within the application is sufficient and correct enough to allow adequate review and final action. | Complies |
| An application must provide the necessary information to review and make a knowledgeable decision in order for staff to schedule an application for consideration by the Planning and Zoning Commission and City Council. This application was reviewed by staff and deemed to be complete. | |
| 2. The zoning change is consistent with the Comprehensive Plan. | Complies |
| <p>The Mixed Density Neighborhood (MDN) land use designation seeks a variety of housing types (3 and above dwelling units per lot), prices and forms (attached and, detached). In addition, it supports a blend of single-family and medium-density housing types with medium density housing options, which are consistent with and complementary to the traditional single-family neighborhood. The subject Property is also located within convenient walking distance of the Community Center node planned at the intersection of Westinghouse Road and Southwestern Blvd. The proposed requested Low Density Multi-Family (MF-1) zoning district is consistent with the vision of this land use designation by providing a medium density housing option at a maximum density of 14 dwelling units that may include attached products that can resemble a duplex, townhome and multi-family.</p> <p>The Land Use Plan of the 2030 Comprehensive Plan also encourages innovative forms of compact, pedestrian friendly development and a wider array of affordable housing choices through provisions and incentives through Land Use Policy #11. The Land Use Plan seeks compact development ranges in density with a minimum of six units per acre and more than one housing type. The intent of this Policy #11 is to encourage the community's vision for housing diversity as described in the Housing Element. This policy compliments Land Use Policy #2 as it is specifically focused on encouraging compact, pedestrian-oriented development.</p> | |
| 3. The zoning change promotes the health, safety or general welfare of the City and the safe orderly, and healthful development of the City. | Complies |
| The proposed zoning poses no danger to the public health, safety, or welfare. The subject property is suitable for the uses allowed under the proposed Low Density Multi-Family district. In addition, it is located along a major arterial roadway suitable to accommodate for the additional density the requested zoning would allow from the current Agriculture (AG) zoning district. | |

ZONING MAP AMENDMENT (REZONING) APPROVAL CRITERIA

Westinghouse Road still exists as a rural county road, but an expansion that would build out the road to its ultimate improved design is progressing to the construction stage with Williamson County. East of the subject property Westinghouse Road will be realigned to create a much more standard four way intersection to develop a commercial node around. There is already an existing institutional use in this node. The vast majority of the development around the subject property is single-family neighborhoods.

When developed this project would be required to make any improvements to Westinghouse Road necessary to ensure safe movement in and out of this site. It is also worth noting that neighboring developments like Bridgehaven, Fairhaven (Kasper), and Patterson Ranch have all completed Traffic Impact Analysis that identified either improvements to be made to Westinghouse Road or monies to be contributed toward larger scale improvements.

4. The zoning change is compatible with the present zoning and conforming uses of nearby property and with the character of the neighborhood.

**Partially
Complies**

The area surrounding the subject property is developed almost exclusively with single-family homes and a handful of smaller scale institutional uses. The Low Density Multi-Family district (MF-1) permits both an attached and detached multi-family product. When designed with the dimensional standards of the MF-1 district these residential uses can be compatible with the residential use of a single-family neighborhood.

An attached product like smaller apartment complexes, townhouses, or even quadplexes are appropriate adjacent to existing single-family homes as it is entirely feasible to design these structures so they are similar in height, scale, and placement to the single-family homes. A detached product, like a condo style development, is essentially just a single-family neighborhood – it is just permitted as a multi-family site.

| Dimensional Standards | (MF-1) | (RS) |
|--|---------------|-------------|
| Building Height | 35' | 35' |
| Max. Units per Building | 14 | 1 |
| Building Separation/ Combined Side Setbacks | 12' | 12' |
| Front/Street Setback | 20' | 20' |
| Side Setback to RS | 20' | 6' |
| Rear Setback to RS | 20' | 10' |
| Bufferyard to RS? | Yes | No |
| Building Design Standards | Yes | No |
| Lighting Standards | Yes | No |

While the dimensional standards of the MF-1 district are very similar to that of the adjacent Residential Single-Family districts, the flexibility allowed by the dimensional standards does not lock the site into site into a specific design consideration. But, it is still entirely possible to develop this site in a way that works harmoniously with the adjacent subdivisions.

Planning Department Staff Report

ZONING MAP AMENDMENT (REZONING) APPROVAL CRITERIA

5. The property to be rezoned is suitable for uses permitted by the District that would be applied by the proposed amendment.

Complies

There are no substantial natural features or man-made obstacles to the development of the subject property under the proposed zoning district.

Based on the width of the frontage, the subject property's overall density may be limited by where new driveways could be safely installed based on the posted speed and sight distance of Westinghouse Road. According to the table below from UDC Section 12.05.010.A, the number of driveways required would depend on the total number of units developed here.

Under the MF-1 zoning, the subject property would be allowed to develop up to 179 dwelling units (12.74 acres x 14 DUA = 179 dwelling units). The subject property has the functionality to accommodate driveways to serve the full 14 DUAs it would be entitled to. This could be accomplished in one of the following scenarios:

- A. Developing 29 units or less and providing one driveway on Westinghouse Road
- B. Developing 30-79 units and providing a full driveway and a fire code connection on Westinghouse Road
- C. Developing 80-179 units with driveways on Westinghouse Road in accordance with all requirements for spacing and sight distance.
- D. Developing 80-179 units with a driveway on Westinghouse Road and one on the street stubbed from the neighboring subdivision.

| No. of Dwelling Units | Required No. of Connections | Approx. DUA Range |
|-----------------------|-----------------------------|-------------------|
| 1-29 | 1 | .08-2.28 |
| 30-79 | 1 + Fire Code Connection* | 2.35-6.28 |
| 80-179 | 2 | 6.28-14.0 |

*Connections reserved and gated for emergency vehicle use only are not subject to driveway spacing requirements.

In general, the proposed request to rezone the approximately 13.0-acre tract of land to the Low Density Multi-Family (MF-1) zoning district is consistent with the Future Land Use designation of the property and is consistent with the character of the surrounding area. The MF-1 district has development standards that make sure that both the multi-family, attached and multi-family, detached uses are developed in an appropriate way consistent with the adjacent single-family neighborhoods.

Meetings Schedule

December 15, 2020 – Planning and Zoning Commission

January 12, 2020 – City Council First Reading of the Ordinance

January 26, 2020 – City Council Second Reading of the Ordinance

Public Notification

As required by the Unified Development Code, all property owners and registered neighborhood associations within a 300-foot radius of the subject property were notified of the Zoning Map

Planning Department Staff Report

Amendment request (37 notices), a legal notice advertising the public hearing was placed in the Sun Newspaper (November 29, 2020) and signs were posted on-site. To date, staff has received no written comments in favor or in opposition to the request.

Attachments

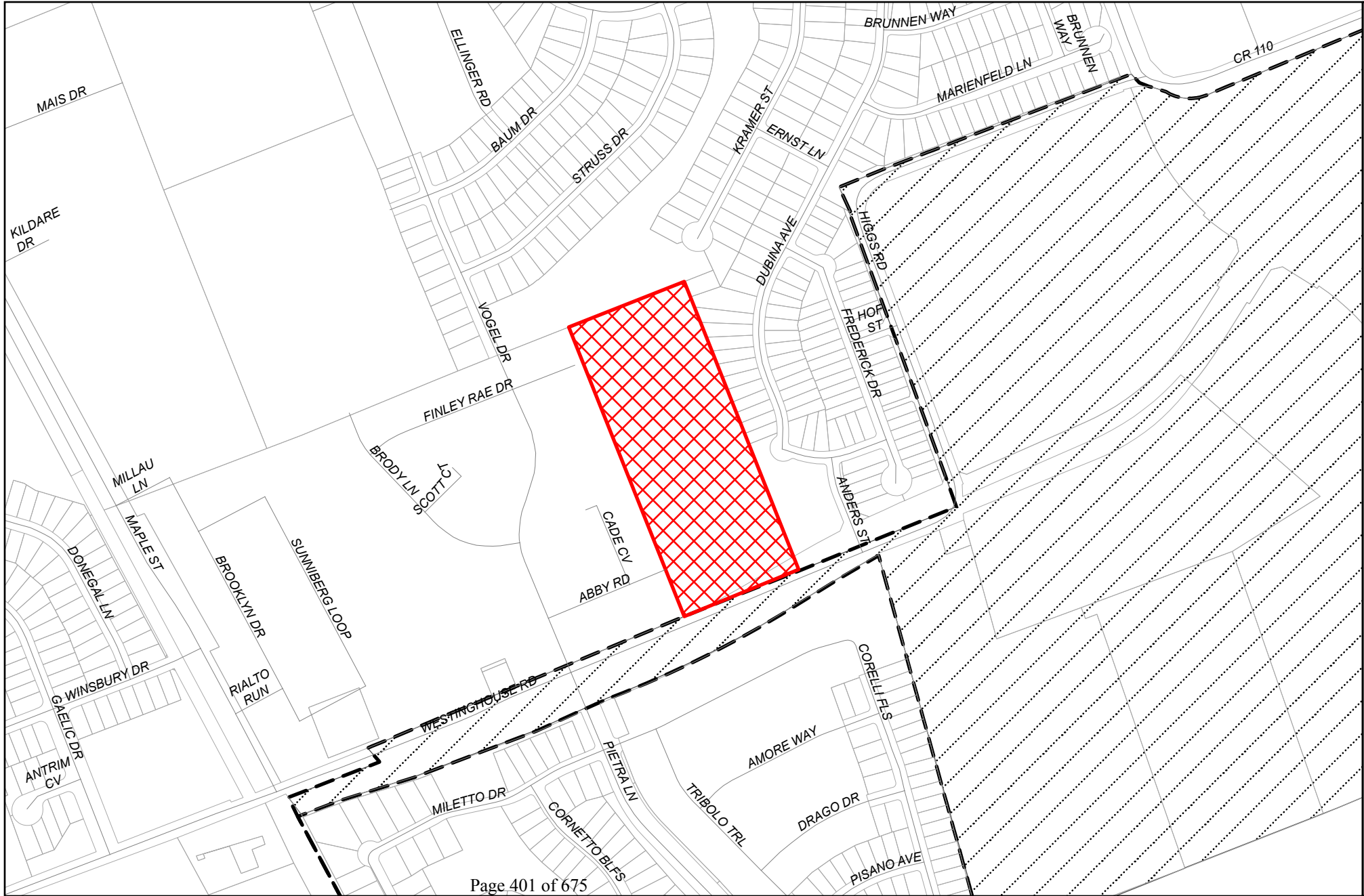
Exhibit 1 – Location Map

Exhibit 2 – Future Land Use Map

Exhibit 3 – Zoning Map

Exhibit 4 – Design and development standards of the MF-1 district

Exhibit 5 – Letter of Intent

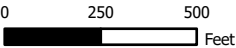


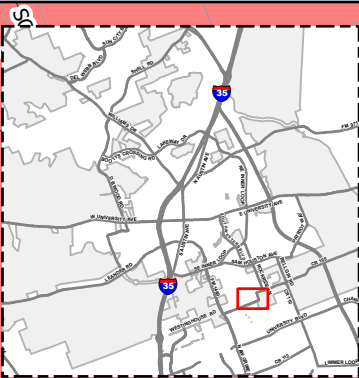
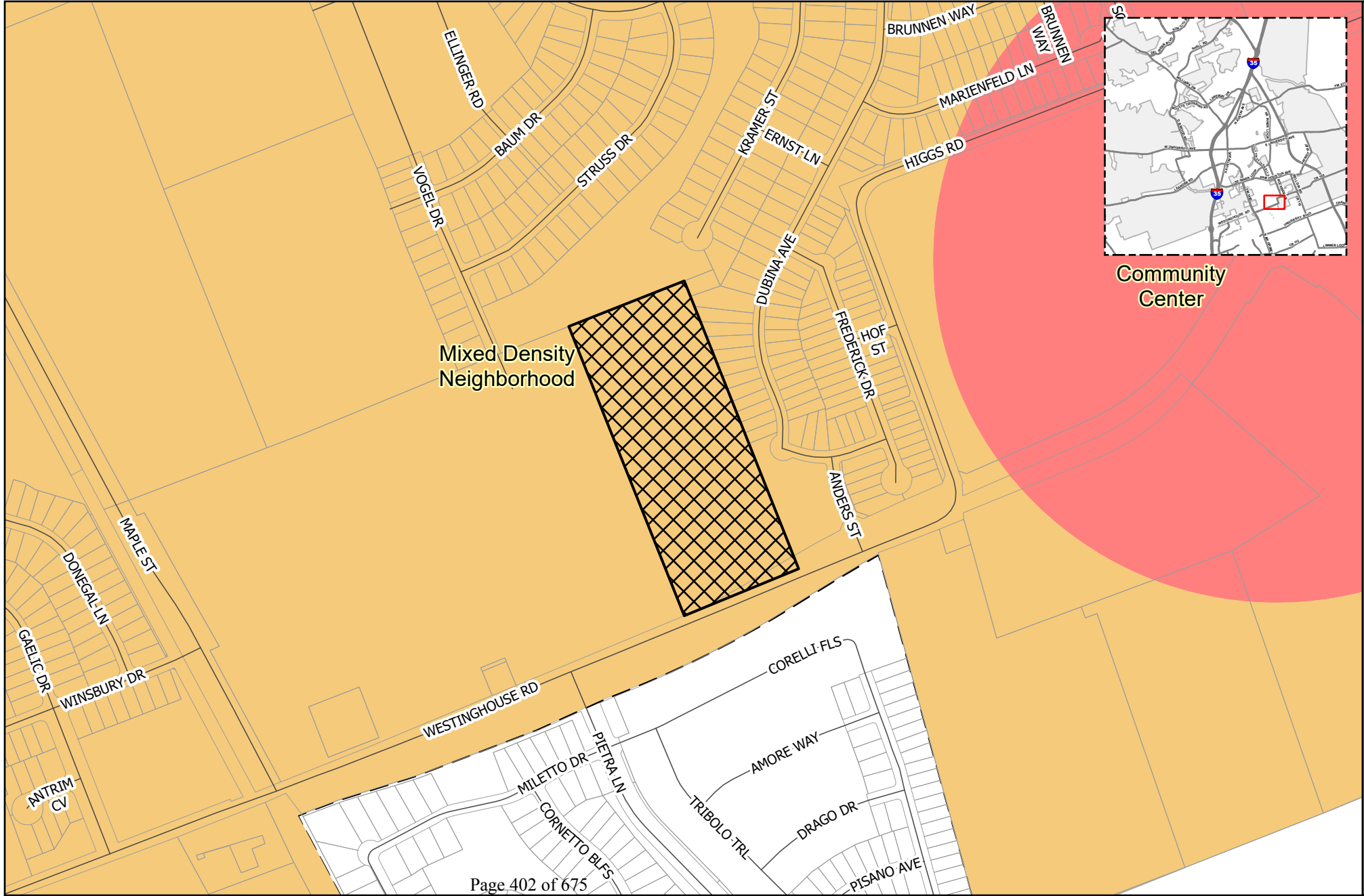
LOCATION

2020-22-REZ

Exhibit #1

- Site
- Parcels
- City Limits
- Georgetown ETJ





Community
Center

Mixed Density
Neighborhood

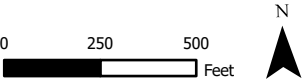


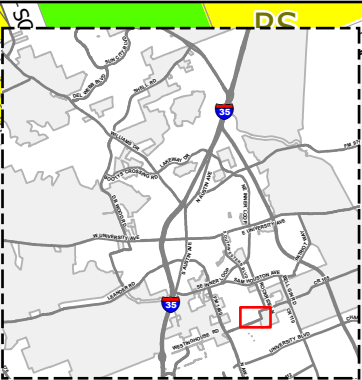
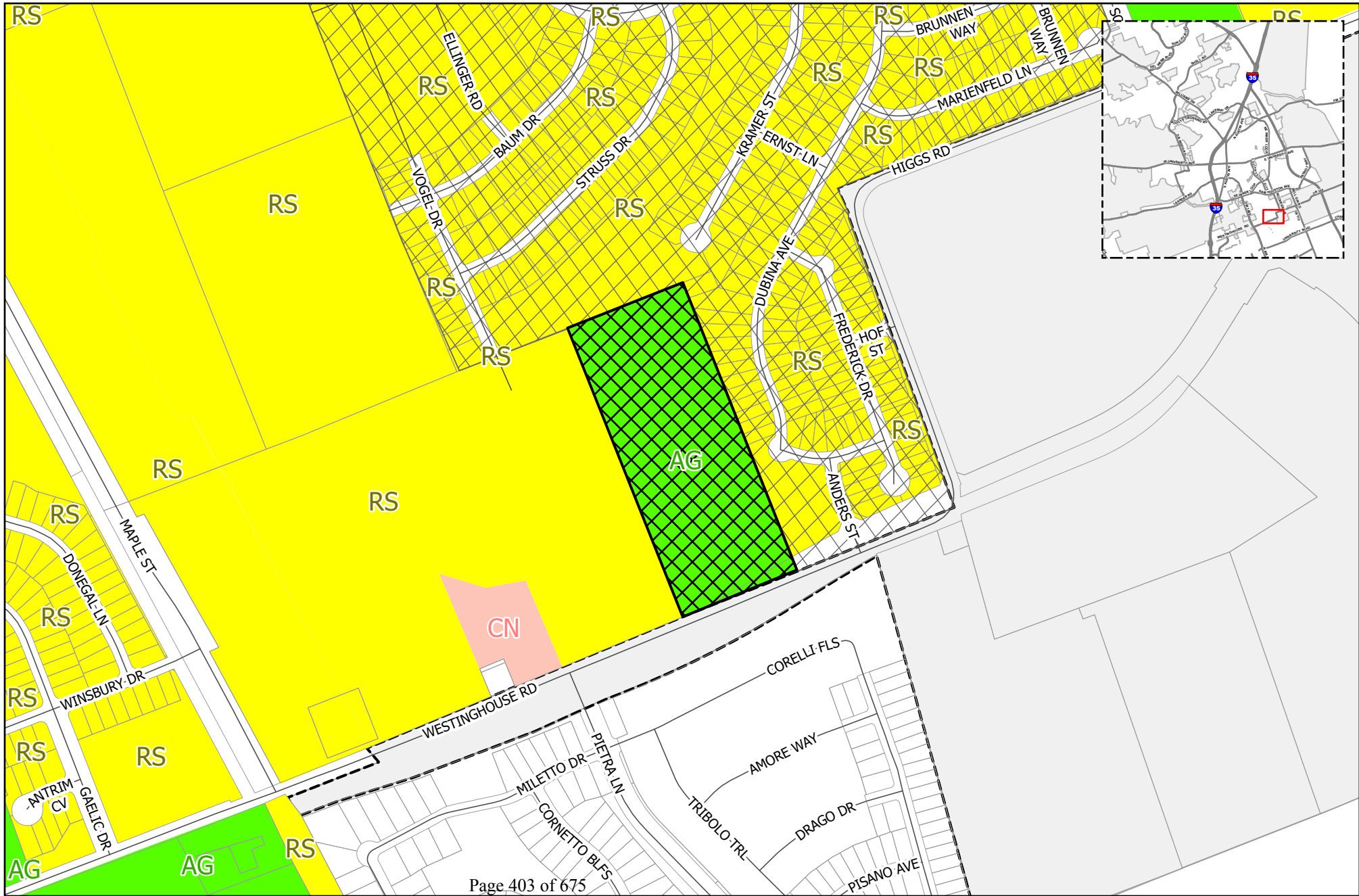
**FUTURE LAND USE/
OVERALL TRANSPORTATION
PLAN**

2020-22-REZ

Exhibit #2

- Site
- Parcels
- ▭ City Limits
- ▭ Georgetown ETJ
- Future Land Use**
- Community Center
- Employment Center
- Institutional
- Mining
- Mixed Density Neighborhood
- Neighborhood
- Open Space
- Parks and Recreation
- Regional Center
- Rural Residential
- Special Area
- Thoroughfare**
- Existing Freeway
- Existing Major Arterial
- Existing Minor Arterial
- Existing Collector
- Proposed Freeway
- Proposed Major Arterial
- Proposed Minor Arterial
- Proposed Collector
- Proposed Rail





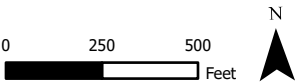
ZONING

2020-22-REZ

Exhibit #3

- Site
- PUD
- City Limits
- Courthouse View Overlay
- Old Town Overlay
- Historic Overlay
- Downtown Overlay
- SPO Overlay
- Gateway Overlay
- Parcels
- Georgetown ETJ

- Zoning**
- AG - Agriculture
 - BP - Business Park
 - C-1 - Local Commercial
 - C-3 - General Commercial
 - CN - Neighborhood Commercial
 - IN - Industrial
 - MF-1 - Low-Density Multi-family
 - MF-2 - High-Density Multi-family
 - MH - Manufactured Housing
 - MU-DT - Mixed-Use Downtown
 - OF - Office
 - PF - Public Facility
 - RE - Residential Estate
 - RL - Residential Low-Density
 - RS - Residential Single-Family
 - TF - Two-Family
 - TH - Townhouse



Low Density Multifamily (MF-1) District

| District Development Standards | | |
|-----------------------------------|---------------------------------------|--|
| Maximum Density = 14 units/acre | Front Setback = 20 feet | Bufferyard = 15 feet with plantings |
| Maximum Building Height = 35 feet | Side Setback = 10 feet | adjacent to RE, RL, RS,TF, or MH |
| Maximum Units per Building = 14* | Side Setback to Residential = 20 feet | districts; 10 feet with plantings |
| | Rear Setback = 10 feet | adjacent to residences in AG |
| Lot size = 12,000 sq.ft. | Rear Setback to Residential = 20 feet | |
| Lot width minimum = 50 feet | Side/Rear Street Setback = 15 feet | *Can be waived if the building design |
| | Unloaded Street Setback = 20 feet | meets the criteria of Sec. 6.02.080.C. |

| Specific Uses Allowed within the District | | |
|---|---------------------------------------|-----------------------------------|
| Allowed by Right | Subject to Limitations | Special Use Permit (SUP) Required |
| Group Home (7-15 residents) | Church (with columbarium) | Activity Center (youth/senior) |
| Multifamily Attached | Day Care (family/group/commercial) | Assisted Living |
| Multifamily Detached | Golf Course | Bed and Breakfast (with events) |
| Rooming/Boarding House | Nature Preserve/Community Garden | Emergency Services Station |
| Utilities (Minor) | Neighborhood Amenity Center | Group Home (16+ residents) |
| | Park (Neighborhood) | Halfway House |
| | School (Elementary) | Nursing/Convalescent Home |
| | Utilities (Intermediate) | Orphanage |
| | Wireless Transmission Facility (<41') | School (Middle) |
| | | Student Housing |



October 6, 2020

Planning Department
City of Georgetown
406 W 8th Street
Georgetown, Texas 78626

**RE: Letter of Intent - 3225 Westinghouse Road
Zoning Map Amendment (Rezoning)**

To Whom It May Concern:

On behalf of the property owners, please accept this Letter of Intent for the proposed Zoning Map Amendment for the above referenced property. The ±13.0-acre tract is located approximately 1/3 mile from the intersection of Westinghouse Road and Maple Street and is in the full zoning jurisdiction of the City of Georgetown. The property is currently zoned as AG (Agriculture) and has been partially developed as a single-family residence which is occupied by the property owners. Though no development is anticipated at this time, the existing single-family residence would be removed prior to redevelopment. The adjacent properties have existing RS (Residential Single-Family) and PUD-RS (Planned Unit Development with Residential Single-Family base zoning). The City's 2030 Comprehensive Plan indicates that Mixed Density Neighborhood uses are appropriate for the area, including the subject property, located along Westinghouse Road. As such, the owners request a zoning change to **MF-1 (Low Density Multifamily)**.

The Comprehensive Plan describes a Mixed-Density Neighborhood as a “blend of single-family and medium-density housing.” The current Unified Development Code states that MF-1 (Low Density Multifamily) may be appropriate within a moderate density residential area based upon the location, surrounding uses, and infrastructure impacts. The adjacent Fairhaven (aka Kasper PUD) is comprised of 40-, 50-, and 60-ft wide single-family lots currently marketed as a ‘for-sale’ product. As the only remaining non-residentially zoned property between Maple Street and Southwestern Boulevard/Rockdale Lane, excluding a ±2.9-acre CN (Neighborhood Commercial) zoned tract approximately 510-ft west along Westinghouse Road, a multifamily zoning is appropriate to provide a diversity of residential products.

The property has uninterrupted frontage along Westinghouse Road and is not encumbered by jurisdictional waters or existing easements, though drainage patterns from an upgradient detention pond into an existing onsite agricultural stock pond indicate that a drainage easement will be required in the future. This anticipated easement and existing offsite detention structure will effectively buffer the single-family development to the north. Similarly, the offsite detention structure at the southeast boundary of the subject property has effectively buffered approximately 50% of the eastern single-family development. The rectilinear shape and dimensions of the property (approximately 475-ft x

1,200-ft) are ideal for a future multifamily product type “consistent with and complementary to a traditional single-family neighborhood” as recommend by the 2030 Comprehensive Plan.

The subject property is at the eastern extent of the City of Georgetown’s water service area. Public water and 8” wastewater mains are present at the southwest and south boundary of the site along Westinghouse Road. Additional wastewater mains are indicated to the north on the adjacent Fairhaven development but may be inaccessible due to the offsite detention pond. During the Pre-Application meeting on November 21, Public Works staff indicated that the existing 12” water main along Westinghouse Road could be extended to the subject property, however extension to the adjacent Jonah Water Service Utility District is anticipated.

Based upon the partially developed adjacent properties and City emphasis on connectivity, the applicant anticipates the subject property would be developed with a principal access onto Westinghouse Road and a secondary point of access to an adjacent subdivision. If the requested MF-1 (Low Density Multifamily) zoning is approved, the ±13.0-acre property could be developed with a maximum of 182-dwelling units under the current 14-units per acre limitation. By applying Multifamily Housing (Low-Rise) Code 220 from the ITE *Trip Generation*, 10th Edition, a reasonable estimate of traffic generation is approximately 1,336 average daily trips. In the event that the secondary point of access was limited to emergency vehicles only, the principal drive onto Westinghouse Road is expected to warrant a right-turn lane at the time of site development. According to the 2015 Overall Transportation Plan Update, Westinghouse Road is classified as a Principal Arterial roadway and anticipated to be expanded into a 6-lane Major Arterial. The owners acknowledge that additional roadway improvements may be required at the time of site development.

Please contact me at 512-418-1771 if additional information is required or would facilitate an efficient review.

Sincerely,

KIMLEY-HORN AND ASSOCIATES, INC.



Joel M. Wixson, P.E.
Project Manager

ORDINANCE NO. _____

An Ordinance of the City Council of the City of Georgetown, Texas, amending part of the Official Zoning Map to rezone 13.0 acres out of the Joseph Robertson Survey, Abstract No. 545, generally located at 3225 Westinghouse Road, from the Agriculture (AG) zoning district to the Low Density Multi-Family (MF-1) zoning district; repealing conflicting ordinances and resolutions; including a severability clause; and establishing an effective date.

Whereas, an application has been made to the City for the purpose of amending the Official Zoning Map, adopted on the 12th day of June, 2012, for the specific Zoning District classification of the following described real property ("The Property"):

13.0 acres out of the Joseph Robertson Survey, Abstract No. 545, generally located at 3225 Westinghouse Road, as recorded in Document Number 2015061464 of the Official Public Records of Williamson County, Texas, hereinafter referred to as "The Property"; and

Whereas, public notice of such hearing was accomplished in accordance with State Law and the City's Unified Development Code through newspaper publication, signs posted on the Property, and mailed notice to nearby property owners; and

Whereas, the Planning and Zoning Commission, at a meeting on December 15, 2020, held the required public hearing and submitted a recommendation of approval to the City Council for the requested rezoning of the Property; and

Whereas, the City Council, at a meeting on January 12, 2021, held an additional public hearing prior to taking action on the requested rezoning of the Property.

Now, therefore, be it ordained by the City Council of the City of Georgetown, Texas, that:

Section 1. The facts and recitations contained in the preamble of this Ordinance are hereby found and declared to be true and correct, and are incorporated by reference herein and expressly made a part hereof, as if copied verbatim. The City Council hereby finds that this Ordinance implements the vision, goals, and policies of the Georgetown 2030 Comprehensive Plan and further finds that the enactment of this Ordinance is not inconsistent or in conflict with any other policies or provisions of the 2030 Comprehensive Plan and the City's Unified Development Code.

Section 2. The Official Zoning Map, as well as the Zoning District classification(s) for the Property is hereby amended from the Agriculture (AG) zoning district to the Low Density Multi-Family (MF-1) zoning district, in accordance with the attached *Exhibit A* (Location Map) and *Exhibit B* (Legal Description) and incorporated herein by reference.

Ordinance Number: _____

Page 1 of 2

Description: 3225 Westinghouse Rezoning, 13-acres

Case File Number: 2020-22-REZ

Date Approved: January 26, 2021

Exhibits A-B Attached

Section 3. All ordinances and resolutions, or parts of ordinances and resolutions, in conflict with this Ordinance are hereby repealed, and are no longer of any force and effect.

Section 4. If any provision of this Ordinance or application thereof to any person or circumstance shall be held invalid, such invalidity shall not affect the other provisions, or application thereof, of this Ordinance which can be given effect without the invalid provision or application, and to this end the provisions of this Ordinance are hereby declared to be severable.

Section 5. The Mayor is hereby authorized to sign this ordinance and the City Secretary to attest. This ordinance shall become effective in accordance with the provisions of state law and the City Charter of the City of Georgetown.

APPROVED on First Reading on the 12th day of January, 2021.

APPROVED AND ADOPTED on Second Reading on the 26th day of January, 2021.

THE CITY OF GEORGETOWN:

ATTEST:

Josh Schroeder
Mayor

Robyn Densmore, TRMC
City Secretary

APPROVED AS TO FORM:

Skye Masson
City Attorney

Ordinance Number: _____

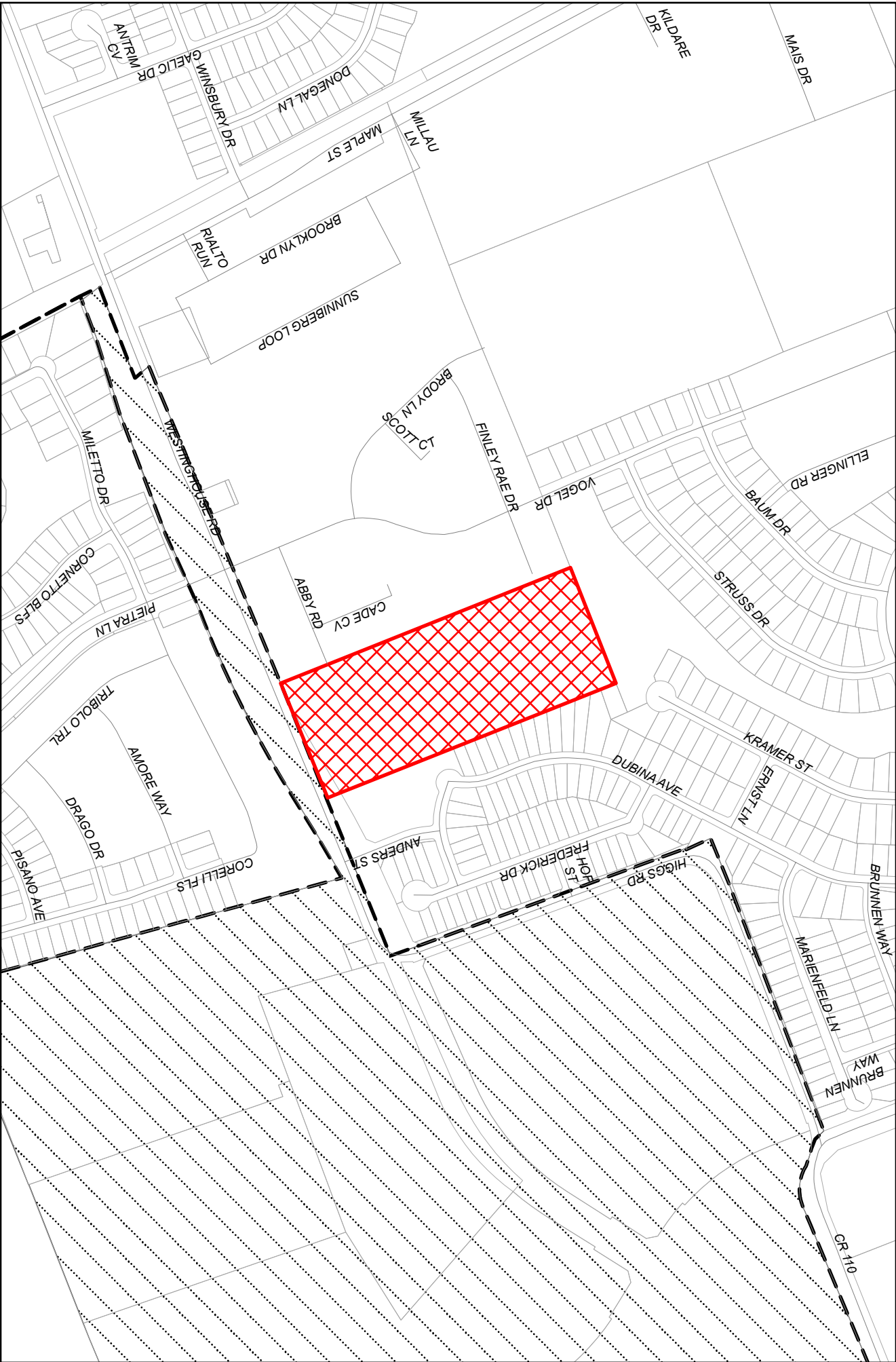
Description: 3225 Westinghouse Rezoning, 13-acres

Date Approved: January 26, 2021

Page 2 of 2

Case File Number: 2020-22-REZ

Exhibits A-B Attached



LOCATION

2020-22-REZ

Exhibit A

-  Site
-  Parcels
-  City Limits
-  Georgetown ETJ

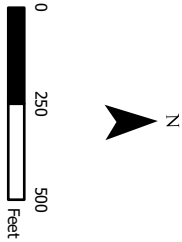


Exhibit B

FIELD NOTES
JOB NO. 15335-00
DATE: JULY 16, 2015

PAGE 1 OF 2

Being 13.00 acres out of the Joseph Robertson Survey, Abstract No. 545, Williamson County, Texas, and being that same tract called 13.00 acres in a Warranty Deed to Chris Schneider and Heidi Schneider recorded in Document No. 2009064463 of the Official Public Records of Williamson County, Texas and being more particularly described by metes and bounds as follows;

BEGINNING at a 60d nail in a fence corner post found in the north margin of County Road 111, also known as Westinghouse Road, in or near the west line of that tract called 207.191 acres in that instrument to Kasper Family Limited Partnership, a Texas Limited Partnership recorded in Document No. 2014036068 of said official public records, said 207.191 acre tract being more particularly described in Volume 2150, Page 9 of the Official Records of Williamson County Texas, being the southeast corner of said Schneider tract and this tract, from which a ½ inch iron rod found for the southwest corner of said Kasper Limited Partnership tract bears S 68°25'42" E 2.65 feet;

THENCE: S 67°37'35" W 475.18 feet with the north margin of said road the south line of said Schneider tract and this tract to a ½ inch iron rod found for the southeast corner of that tract called 89.64 acres in that instrument to Louis Milton Cockrum and wife Josephine Marie Cockram recorded in Volume 376, Page 334 of the Deed Records of Williamson County, Texas, being the southwest corner of said Schneider tract and this tract;

THENCE: N 21°34'22" W 1197.02 feet with the east line of said Cockrum tract the west line of said Schneider tract and this tract to a ½ inch iron rod found in an east to west trending portion of the west line of said Kasper Family Limited Partnership tract for the northeast corner of said Cockrum tract being the northwest corner of said Schneider tract and this tract;

THENCE: N 68°44'49" E 474.65 feet with the west line of said Kasper Family Limited Partnership tract the north line of said Schneider tract and this tract to a 60d nail found in a fence corner post for an interior corner in the west line of said Kasper Family Limited Partnership tract being the northeast corner of said Schneider tract and this tract;

THENCE: S 21°35'46" E 1187.73 feet with the west line of said Kasper Family Limited Partnership tract the east line of said Schneider tract and this tract to the point of BEGINNING, and containing 13.00 acres more or less.

Bearings cited hereon are based on Texas State Plane Coordinates, North American Datum 1983/93, Texas Central Zone.


 7-16-15
Kenneth Louis Crider, R.P.L.S. No. 5624
Texas Land Surveying, Inc.
3613 Williams Drive, Suite 903
Georgetown Texas, 78628



Exhibit B

KASPER FAMILY LIMITED PARTNERSHIP, A TEXAS LIMITED PARTNERSHIP
(207.191 ACRES)
DOCUMENT NO. 2014036068
O.P.R.W.C.
BETTER DESCRIBED IN VOLUME 2150, PAGE 9, O.R.W.C.

13.00 ACRES OUT OF THE JOSEPH ROBERTSON SURVEY, ABSTRACT NO. 545,
WILLIAMSON COUNTY, TEXAS.

JOB NO. 15135-00
DRAWN BY K. CHORR
CREW: CCC

ONLY THOSE EASEMENTS AND THAT INFORMATION LISTED IN TITLE COMMITMENT #15135-00, EFFECTIVE DATE OF JUNE 19, 2005, AND RE-LISTED BELOW WERE CONSIDERED FOR THIS SURVEY.

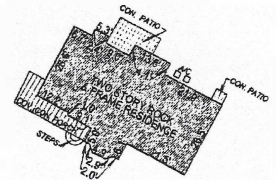
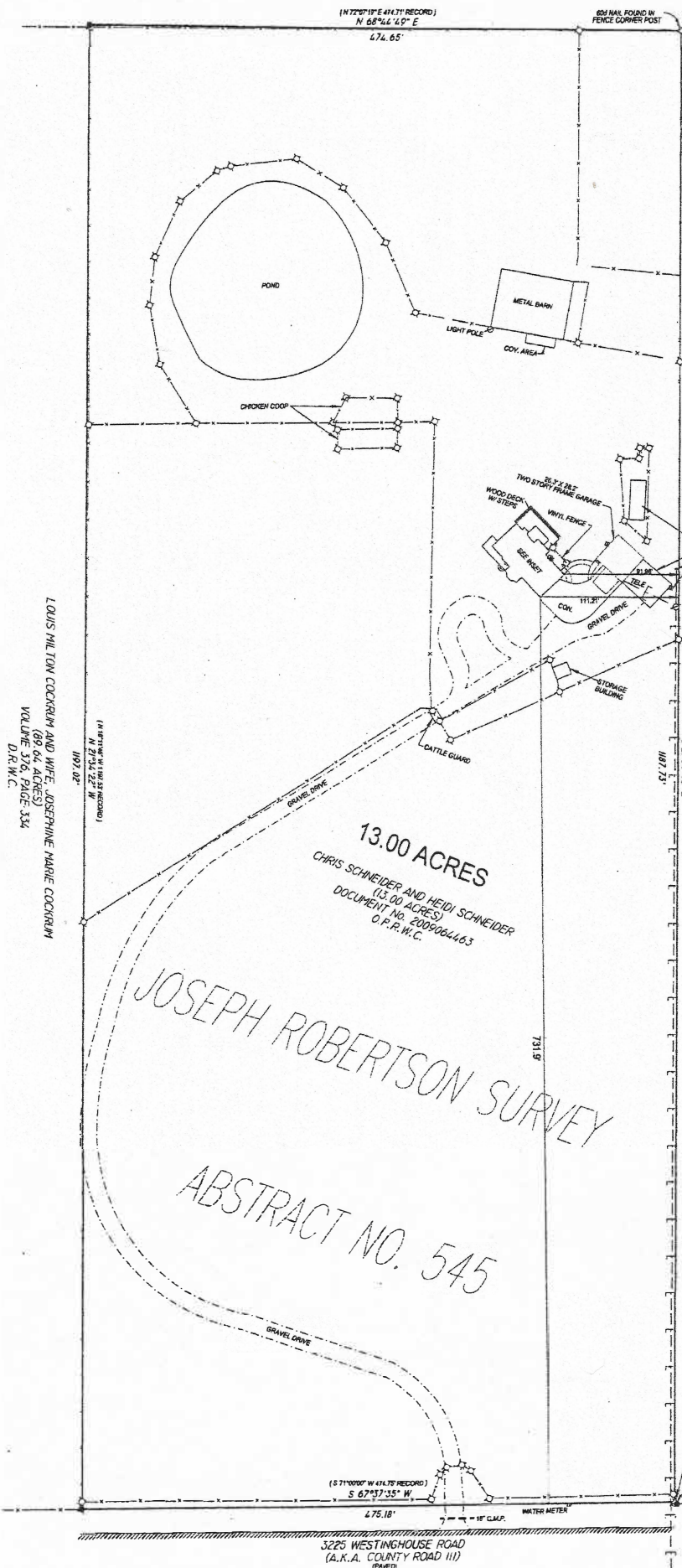
SUBJECT TO: RESTRICTIVE COVENANT IN DOCUMENT NO. 9727109, OFFICIAL RECORDS, WILLIAMSON COUNTY, TEXAS.

10A) EASEMENT FOR ELECTRIC LINES TO TEXAS POWER AND LIGHT COMPANY RECORDED IN VOLUME 239, PAGE 53, DEED RECORDS, WILLIAMSON COUNTY, TEXAS.



SCALE: 1" = 60'

PAGE 2 OF 2
FIELD NOTES ATTACHED



INSET SCALE: 1" = 30'

| LEGEND: | |
|------------|---|
| ● | 1/2" IRON ROD FOUND |
| △ | 60D NAIL FOUND |
| ⊠ | AIR CONDITIONER |
| — | WIRE FENCE |
| ⊕ | FENCE CORNER POST |
| — | ELECTRIC LINES |
| ⊙ | UTILITY POLE |
| D.R.W.C. | DEED RECORDS OF WILLIAMSON COUNTY, TEXAS |
| O.R.W.C. | OFFICIAL RECORDS OF WILLIAMSON COUNTY, TEXAS |
| O.P.R.W.C. | OFFICIAL PUBLIC RECORDS OF WILLIAMSON COUNTY, TEXAS |
| COV. | COVERED |
| C.M.P. | CORRUGATED METAL PIPE |

BEARINGS CITED HEREON ARE BASED ON TEXAS STATE PLANE COORDINATES, NORTH AMERICAN DATUM 1983/93, TEXAS CENTRAL ZONE.

CERTIFY TO: INDEPENDENCE TITLE COMPANY / STEWART TITLE GUARANTY COMPANY / SAMANTHA KACIR AND JUSTIN KACIR / GF NO. 15193731-TOH

THE STATE OF TEXAS §
COUNTY OF WILLIAMSON §

KNOW ALL MEN BY THESE PRESENTS:
That the Surveyor for Texas Land Surveying, Inc., have this date caused to be performed an on-the-ground survey under my supervision of the foregoing plat of land and to the best of my knowledge and belief there are no discrepancies, conflicts, shortages in area, encroachments, visible utility lines or roads in place, and that said property has access to and from a dedicated roadway, except as shown herein.

THIS AREA DOES NOT APPEAR TO BE IN A SPECIAL FLOOD HAZARD AREA PER FEMA'S FLOOD INSURANCE RATE MAP PARABOLIC, DATED SEPTEMBER 26, 2008. THIS STATEMENT IS NOT MADE IN LIEU OF AN ELEVATION CERTIFICATE.



Texas Land Surveying, Inc.

3613, WILLIAMS DRIVE, SUITE 903
GEORGETOWN, TEXAS 78628
TELEPHONE: (512) 930-1600 FAX: (512) 930-9389

3225 Westinghouse Rezoning 2020-22-REZ

City Council
January 12, 2021

Item Under Consideration

2020-22-REZ

- Public Hearing and First Reading of an Ordinance on a request for a **Zoning Map Amendment** to rezone **13.00 acres** out of the Joseph Robertson Survey, Abstract No. 545, from the **Agriculture (AG) zoning district to the Low Density Multi-Family (MF-1) zoning district**, for the property generally located at 3225 Westinghouse (2020-22-REZ).



LOCATION

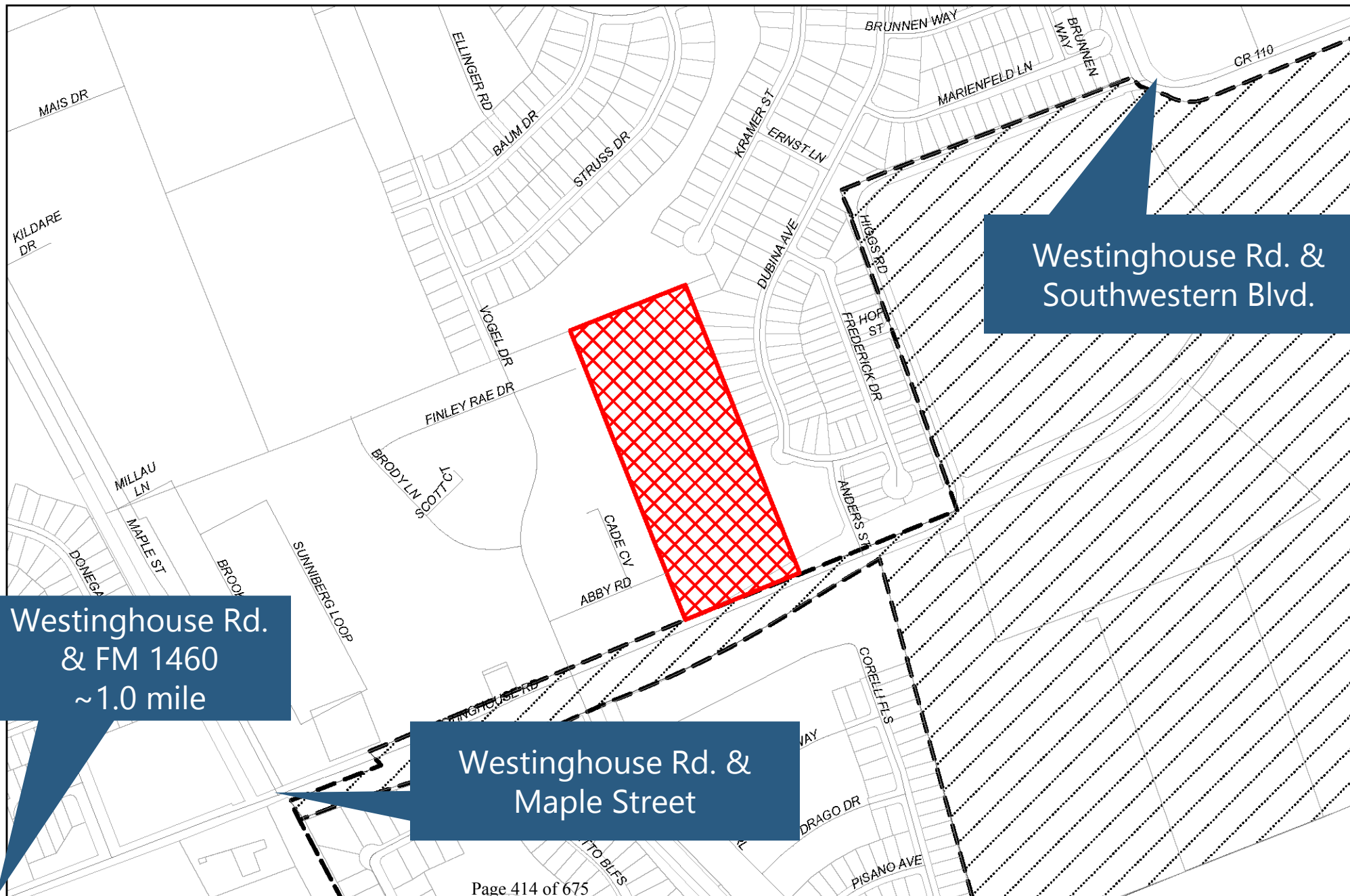
2020-22-REZ

Exhibit #1

-  Site
-  Parcels
-  City Limits
-  Georgetown ETJ



0 250 500
Feet





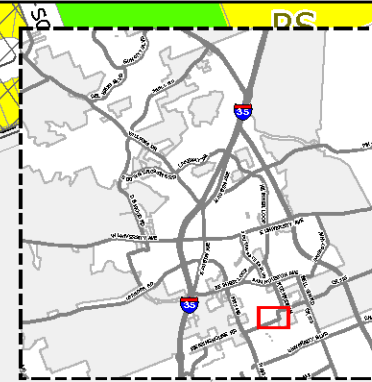
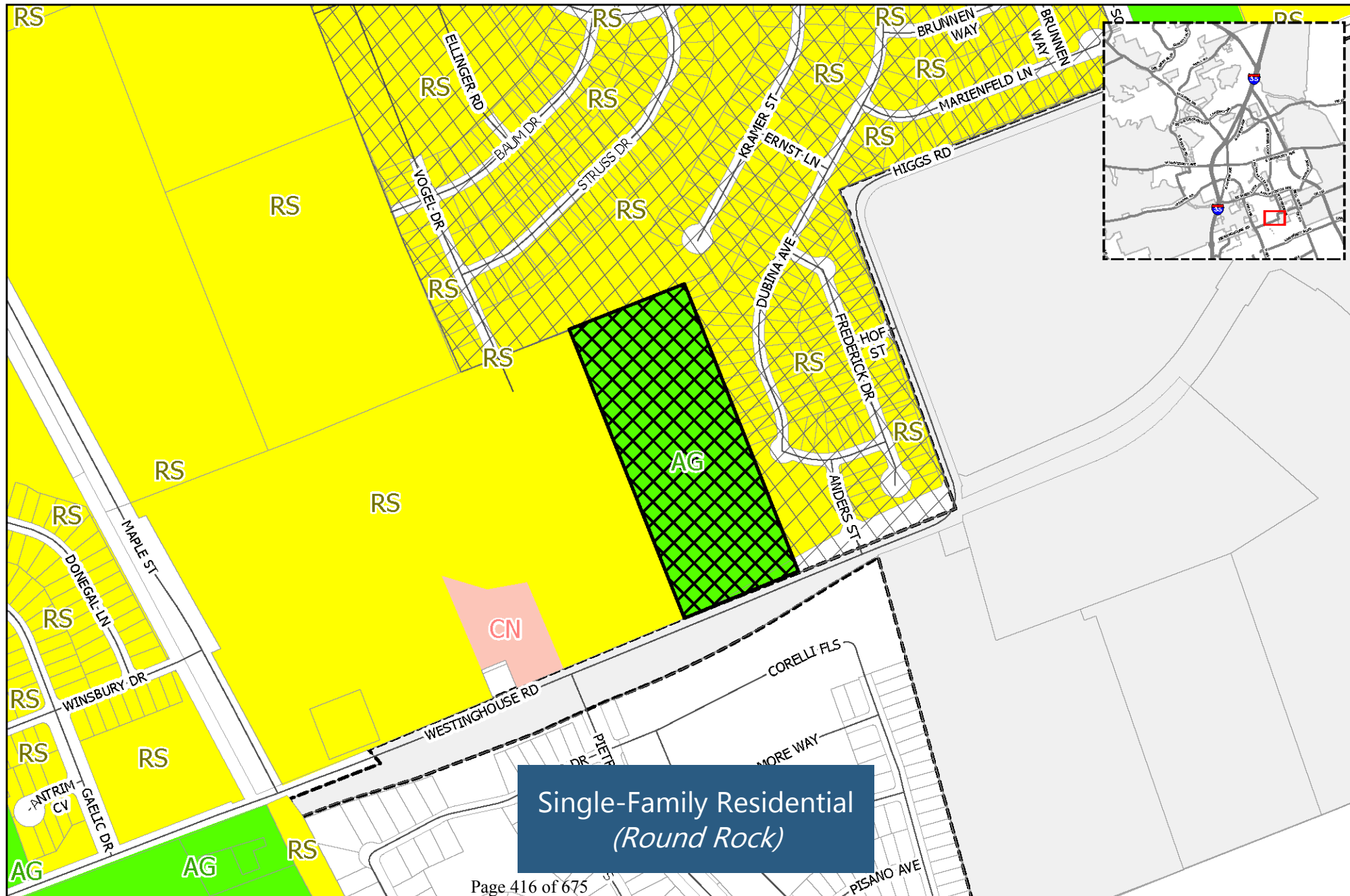
AERIAL

2020-22-REZ

- Site
- City Limits
- Georgetown ETJ



0 250 500
Feet

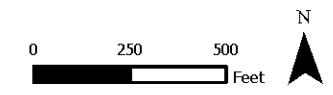


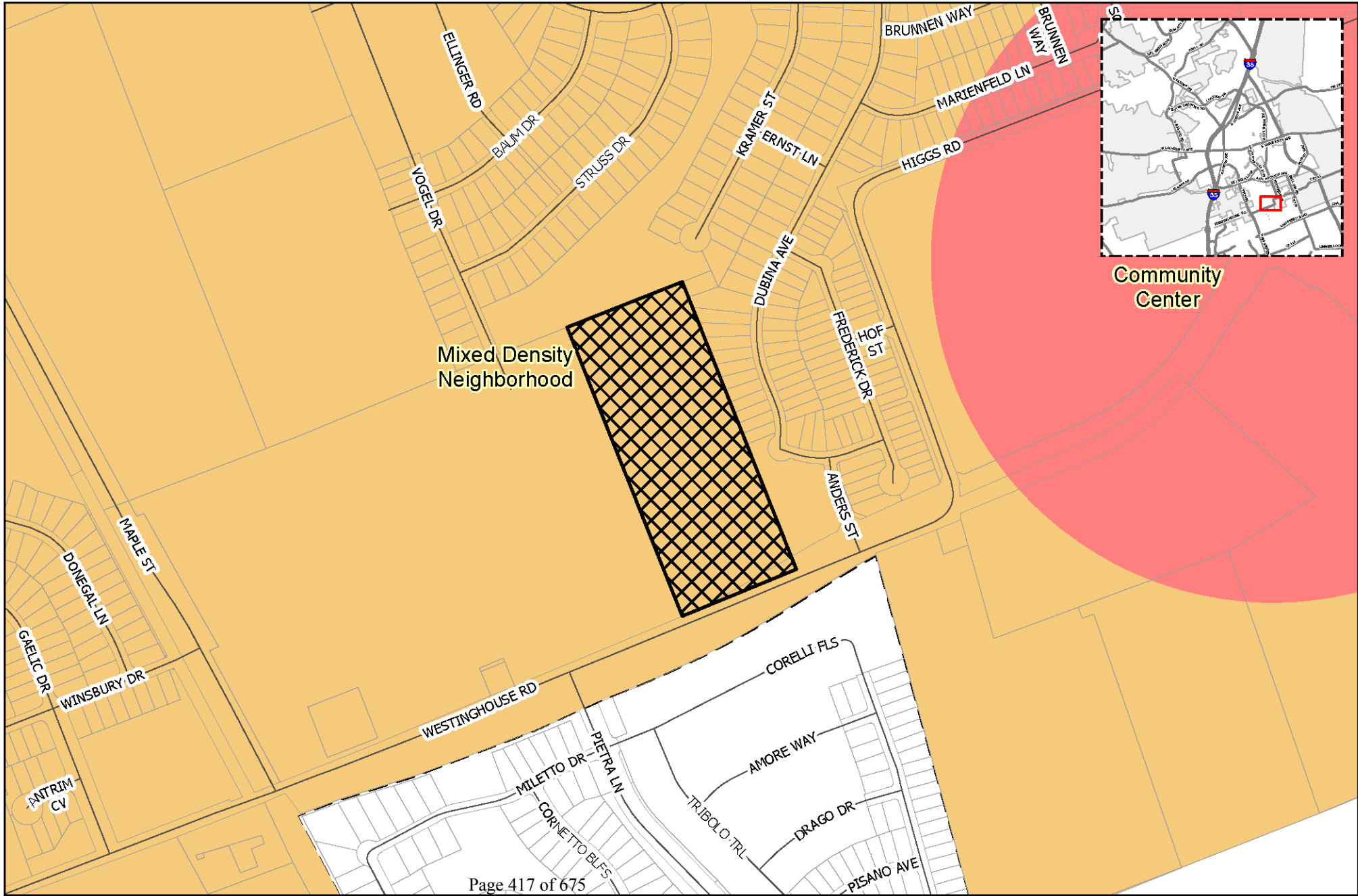
ZONING

2020-22-REZ

Exhibit #3

- Site
- PUD
- City Limits
- Courthouse View Overlay
- Old Town Overlay
- Historic Overlay
- Downtown Overlay
- SPO Overlay
- Gateway Overlay
- Parcels
- Georgetown ETJ
- Zoning**
- AG - Agriculture
- BP - Business Park
- C-1 - Local Commercial
- C-3 - General Commercial
- CN - Neighborhood Commercial
- IN - Industrial
- MF-1 - Low-Density Multi-family
- MF-2 - High-Density Multi-family
- MH - Manufactured Housing
- MU-DT - Mixed-Use Downtown
- OF - Office
- PF - Public Facility
- RE - Residential Estate
- RL - Residential Low-Density
- RS - Residential Single-Family
- TF - Two-Family
- TH - Townhouse

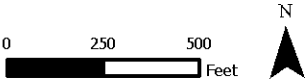




**FUTURE LAND USE/
OVERALL TRANSPORTATION
PLAN**

2020-22-REZ
Exhibit #2

- Site
- Parcels
- ▬ City Limits
- ▬ Georgetown ETJ
- Future Land Use**
- Community Center
- Employment Center
- Institutional
- Mining
- Mixed Density Neighborhood
- Neighborhood
- Open Space
- Parks and Recreation
- Regional Center
- Rural Residential
- Special Area
- Thoroughfare**
- Existing Freeway
- Existing Major Arterial
- Existing Minor Arterial
- Existing Collector
- Proposed Freeway
- Proposed Major Arterial
- Proposed Minor Arterial
- Proposed Collector
- Proposed Rail



Mixed Density Neighborhood (MDN)

- Provides for a variety of housing types within a traditional neighborhood
- Duplexes, townhomes, quadplexes, or potentially moderate density multi-family
- Compatibility between housing types can be achieved through development standards like lot size, setbacks, and building design
- Transitions of land uses and connectivity to neighborhood serving commercial is encouraged

DUA: 5.1-14.0

Target Ratio: 80% residential, 20% nonresidential

Primary Use: Variety of single-family home types (detached, duplex, townhome)

Secondary Uses: Limited neighborhood-serving retail, office, institutional, and civic uses

Community Center (CC)

- Located around arterial roads and intersections
- Space for mid-sized development such as local retail, professional office, service-oriented businesses
- Serves the residents of Georgetown
- Context sensitive & quality site design and pedestrian access are encouraged to ensure compatibility with adjacent land uses

DUA: 14 or more

Target Ratio: 80%
nonresidential, 20% residential

Primary Use: Small to mid-size retailers

Secondary Uses: Medium and high density residential, local restaurants, specialty retailers, professional office, and civic uses

Low Density Multi-Family (MF-1)

- Attached and detached multi-family
- Apartments, condos, triplexes, fourplexes
- Should have convenient access to major thoroughfares
- Should not route traffic through low density areas
- May be appropriate adjacent to residential and non-residential districts

Dimensional Standards

- Max density = 14 units/acre
- Min. lot size = 12,000 sq. ft.
- Min. lot width = 50'
- Max building height = 35'
- Front setback = 20'
- Side setback = 10'
- Rear setback = 10'
- Side/rear street setback = 15'
- Side/rear setback to residential = 20'
- 15' bufferyard adjacent to RS

MF-1 vs. RS

| Dimensional Standards | (MF-1) | (RS) |
|--|--------|------|
| Building Height | 35' | 35' |
| Max. Units per Building | 14 | 1 |
| Building Separation/ Combined Side Setbacks | 12' | 12' |
| Front/Street Setback | 20' | 20' |
| Side Setback to RS | 20' | 6' |
| Rear Setback to RS | 20' | 10' |
| Bufferyard to RS? | Yes | No |
| Building Design Standards | Yes | No |
| Lighting Standards | Yes | No |

Approval Criteria – UDC Section 3.06.030

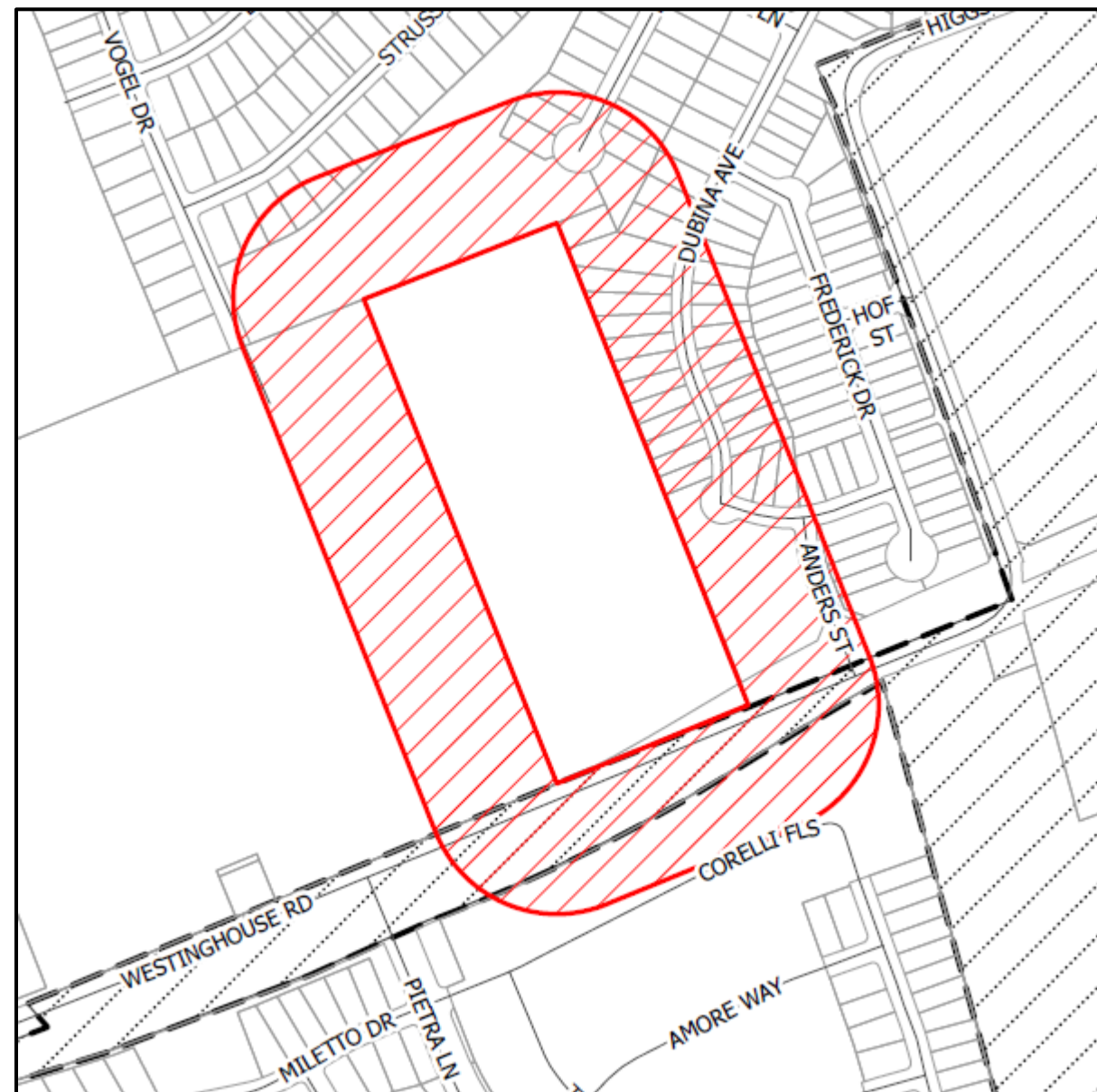
| Criteria for Rezoning | Complies | Partially Complies | Does Not Comply |
|--|----------|--------------------|-----------------|
| The application is complete and the information contained within the application is sufficient and correct enough to allow adequate review and final action; | X | | |
| The zoning change is consistent with the Comprehensive Plan; | X | | |
| The zoning change promotes the health, safety or general welfare of the City and the safe orderly, and healthful development of the City; | X | | |

Approval Criteria – UDC Section 3.06.030

| Criteria for Rezoning | Complies | Partially Complies | Does Not Comply |
|--|----------|--------------------|-----------------|
| The zoning change is compatible with the present zoning and conforming uses of nearby property and with the character of the neighborhood; and | | X | |
| The property to be rezoned is suitable for uses permitted by the district that would be applied by the proposed amendment. | X | | |

Public Notifications

- 37 property owners within the 300' buffer
- Notice in Sun News on November 29, 2002
- Signs posted on the property
- To date, staff has received:
 - 0 written comments IN FAVOR
 - 0 written comments OPPOSED



Planning & Zoning Commission Action

- At their December 15, 2020 meeting, the Planning & Zoning Commission recommended APPROVAL of the request (4-0).

First Reading of an Ordinance

- An Ordinance of the City Council of the City of Georgetown, Texas, amending part of the Official Zoning Map to rezone 13.0 acres out of the Joseph Robertson Survey, Abstract No. 545, generally located at 3225 Westinghouse Road, from the Agriculture (AG) zoning district to the Low Density Multi-Family (MF-1) zoning district; repealing conflicting ordinances and resolutions; including a severability clause; and establishing an effective date.

City of Georgetown, Texas
City Council Regular Meeting
January 12, 2021

SUBJECT:

Public Hearing and First Reading of an Ordinance for an **Executive Text Amendment** to **amend Chapter 16** of the Unified Development Code (UDC) relative to the **definition** of an **Electric Utility Services Availability Letter** -- Wesley Wright, PE, Systems Engineering Director

ITEM SUMMARY:

The current definition for Electric Utility Services Availability Letter reads as follows:

A letter issued by the appropriate electric distribution utility certifying the following: 1) availability of electric utility service and electric distribution infrastructure to a property; and 2) conformance to the requirements for design and construction of electric utilities of this Code.

While the first portion of this definition (availability of electric to the property) poses no problem for electric utilities, the second portion of the requirement (compliance with city code) is fundamentally a developer obligation/expense.

Electric Utility Providers within the regulatory of the UDC are unwilling/unable to certify that a development will comply with the city's design and construction requirements. Generally their reluctance to provide such a certification is based on concern that they may be held financially responsible for costs that are traditionally paid by the developer/applicant.

Therefore, in order to provide a definition more suitable to serving the development community and reflective of actual business practices, staff recommends the definition of Electric Utility Services Availability Letter be modified to read as follows:

A letter issued by the appropriate electric distribution utility certifying the availability of electric utility service and electric distribution infrastructure to a property, together with a cover letter from the applicant or owner of the property to be served that commits that the electric service will be installed in conformance to the requirements for design and construction of electric utilities of this Code.

FINANCIAL IMPACT:

Other than publishing notice of the Public Hearing, there is no cost associated with this item.

SUBMITTED BY:

Wesley Wright

ATTACHMENTS:

Electric Services Availability Letter - Ord

ORDINANCE NO. _____

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF GEORGETOWN, TEXAS, AMENDING CHAPTER 16 OF THE UNIFIED DEVELOPMENT CODE, TO AMEND THE DEFINITION FOR ELECTRIC UTILITY SERVICES AVAILABILITY LETTER; REPEALING CONFLICTING ORDINANCES AND RESOLUTIONS; INCLUDING A SEVERABILITY CLAUSE; AND ESTABLISHING AN EFFECTIVE DATE

WHEREAS, on March 11, 2003, the City Council of the City of Georgetown, Texas, adopted a set of comprehensive development regulations known as the Unified Development Code ("UDC") via Ordinance No. 2003-16, which codified various zoning and subdivision standards; and

WHEREAS, the City Council established a UDC Advisory Committee on November 12, 2013, to review proposed or requested amendments to the UDC other than executive amendments, which are those amendments that are nondiscretionary, mandatory, or legislative revisions to address state statutes or case laws, ratify published directors determinations, incorporate recently approved Council ordinances, process City Council designated emergency items, or address revisions otherwise determined necessary by legal counsel; and

WHEREAS, the City Council, via Resolution 120820T on December 8, 2020, designated the amendment to the UDC relative to the definition of a Utility Services Availability Letter an emergency amendment in accordance with UDC Section 3.05.030; and

WHEREAS, by City Council declaring this amendment an emergency amendment, it was processed as an executive amendment that is not reviewed by the UDC Advisory Committee; and

WHEREAS, the Planning and Zoning Commission conducted a Public Hearing on the proposed amendment at its January 5, 2021 regular scheduled meeting, and recommended approval of the amendment to the City Council.

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF GEORGETOWN:

SECTION 1: The meeting at which this ordinance was approved was in all things conducted in compliance with the Texas Open Meetings Act, Texas Government Code, Chapter 551.

SECTION 2: The facts and recitations contained in the preamble of this Ordinance are hereby found and declared to be true and correct, and are incorporated by reference herein and expressly made a part hereof, as if copied verbatim. The City Council hereby finds that this Ordinance implements the vision, goals, and policies of the Georgetown 2030 Comprehensive Plan and further finds that the enactment of this Ordinance is not inconsistent or in conflict with any other policies or provisions of the 2030 Comprehensive Plan.

SECTION 3: The definition of “Electric Utility Services Availability Letter” in Section 16.02 of the UDC is hereby amended as shown in **EXHIBIT “A”**.

SECTION 4: All ordinances and resolutions, or parts of ordinances and resolutions, in conflict with this Ordinance are hereby repealed, and are no longer of any force and effect.

SECTION 5: If any provision of this Ordinance, or application thereof to any person or circumstance shall be held invalid, such invalidity shall not affect the other provisions, or application thereof, of this Ordinance which can be given effect without the invalid provision or application, and to this end the provisions of this Ordinance are hereby declared to be severable.

SECTION 6: The Mayor is hereby authorized to sign this Ordinance and the City Secretary to attest. This Ordinance shall become effective in accordance with the provisions of State Law and the City Charter of the City of Georgetown.

APPROVED on First Reading this 12th day of January 2021.

APPROVED AND ADOPTED on Second Reading this 26th day of January 2021.

THE CITY OF GEORGETOWN:

ATTEST:

Joshua Schroeder
Mayor

Robyn Densmore, TRMC
City Secretary

APPROVED AS TO FORM:

Skye Masson
City Attorney

ORDINANCE NO. _____
DESCRIPTION: ELECTRIC UTILITY SERVICES AVAILABILITY LETTER
DATE APPROVED: JANUARY 26, 2021

PAGE 2 OF 2

Exhibit A

Chapter 16 - DEFINITIONS

SECTION 16.01. - GENERAL

SECTION 16.02. - DEFINITIONS

The following definitions describe terms found in this Code.

Edwards Aquifer. Aquifer formation in Central Texas consisting of a Recharge Zone, Contributing Zone, and Transition Zone, all of which are often preceded in name by "Edwards Aquifer". The boundaries of the Edwards Aquifer and its divisions are determined by the Texas Commission on Environmental Quality (TCEQ). If not specifically singled out by individual zone, "Edwards Aquifer" shall be determined to encompass all three zones collectively. Also see "Aquifer".

Electric Utility Services Availability Letter. A letter issued by the appropriate electric distribution utility certifying the availability of electric utility service and electric distribution infrastructure to a property, together with a cover letter from the applicant or owner of the property to be served that commits that the electric service will be installed in conformance to the requirements for design and construction of electric utilities of this Code.

Electrical Engineer. The person designated by the City's electric utility to make decisions regarding placement, design, procedures, and other authorized determinations regarding electrical public improvements.

City of Georgetown, Texas
City Council Regular Meeting
January 12, 2021

SUBJECT:

First Reading of an Ordinance **amending section 10.12.090** of the Code of Ordinances regarding the **rate of speed** on **SE Inner Loop from SH-29 to IH-35** and on **Rockride Lane from Sam Houston Avenue to SE Inner Loop** -- Ray Miller, Jr., Director of Public Works

ITEM SUMMARY:

Currently there are 2 existing speed zones along SE Inner Loop from SH-29 to IH-35 and one speed zone along Rockride Lane from Sam Houston Avenue to SE inner Loop. Those speed zones are described below:

SE Inner Loop

Speed Zone 1: SE Inner Loop from SH-29 to 0.6 miles south of SH-29 is currently 45 mph

Speed Zone 2: SE Inner Loop from 0.6 miles south of SH-29 to Business 35/Austin Avenue is currently 55mph. The 55 mph speed zone was established in January 2007 with the second reading of Ordinance #2007-1.

Rockride Lane

Speed Zone 3: Rockride Lane From Sam Houston Avenue to SE Inner Loop is currently signed at 50 mph.

Unfortunately, staff does not have a history on the speed limit for Rockride other than it was a county road prior to the GISC Campuses being opened.

There are several reasons for re-evaluating speed zones along any given roadway or corridor. Listed below are several reasons why the existing speed zones along SE Inner Loop and Rockride needed to be re-evaluated and lower speed zones considered.

- The placement of Mitchell Elementary School in 2008.
- The placement of Wagner Middle School in 2017.
- Other development along SE Inner Loop since 2007 when the 55 mph speed zone was established.
- Saddle Creek Subdivision that has access Rockride Lane
- Overall growth in the City which leads to an increase in vehicle traffic.
- The width of Rockride Lane is less than 30'. Not really designed for 50mph
- Lowering the speed limit along Rockride Lane, helps facilitate the creation of a 20mph school zone.
- Proposed future growth that will utilize both Rockride Lane and SE Inner Loop.
- Limited sight distance at the intersection of SE Inner Loop and Southwestern Blvd.

Proposed Speed Zone Changes

Speed Zone 1: SE Inner Loop from SH-29 to 0.6 miles south of SH-29 – 45 mph no change

Speed Zone 2: SE Inner Loop from 0.6 miles south of SH-29 to 0.25 mi north of Rockride Lane – 55mph propose changing to 45 mph.

Speed Zone 3: SE Inner Loop from 0.25 mi north of Rockride Lane to 0.25 mi south of Rockride Lane – 55mph propose changing to 40mph.

Speed Zone 4: SE Inner Loop from 0.25 mi south of Rockride Lane to Austin Avenue – 55 mph propose changing to 45 mph.

Speed Zone 5: Rockride Lane from Sam Houston Avenue to SE Inner Loop – 50 mph propose changing to 30 mph plus add an appropriate 20 mph school zone.

How are speed limits determined or set?

- Most states, counties and cities utilize the Manual of Uniform Traffic Control Devices (MUTCD) as a reference. The MUTCD as well as other transportation publications recommend setting speed zones (limits) based on the 85th percentile. When speed data is being collected along a particular section of a roadway and 85% of the vehicles are traveling at a certain speed or range of speed then that is the speed limit that should be recommended for that section of roadway. The 85th percentile is known as the industry standard for determining speed limits.
- The MUTCD also provides for the adjusting of speeds or setting speed limits by considering the characteristics of the road and the surrounding land uses. In other words, allows for engineering judgement.

Georgetown Police Department recently conducted a speed study along SE Inner Loop for the 55 mph section. The speed study showed that the 85th percentile speed was 54mph and the average speed over a 24 hour period was 47 mph. While the 85th percentile shows that 55mph is an appropriate speed limit, when considering the surrounding land uses and increasing traffic volumes, Staff believes that lowering the speed limit to 45mph is a better and safer speed zone. Plus, it

allows for a consistent speed limit along SE Inner Loop from SH-29 to Austin Avenue with the exception of the 40 mph section as you near Rockride Lane.

In October of 2019, Public Works Staff conducted a speed study on Rockride Lane nearest the intersection of SE Inner Loop. The 85th percentile for that study was 29mph. However, the speeds between the intersection and the GISD campuses are going to be a little lower. However, staff is confident that 35 mph is a more appropriate speed limit for the entire section of Rockride Lane from SE Inner Loop to Sam Houston Avenue. The addition of the school zone will regulate speeds during drop-off and pickup times for both the Elementary School and Jr. High which is when the traffic volumes are the highest.

STAFF RECOMMENDATION:

Approval of the proposed changes to the speed zones on SE Inner Loop from SH-29 to Austin Avenue and on Rockride Lane from Sam Houston Avenue to SE Inner Loop.

FINANCIAL IMPACT:

Public Works Operations staff will need to change out existing speed zone (limit) signs with new speed zone signs; install new speed zone signs where appropriate and install school zone signage and flashers on Rockride Lane.

SUBMITTED BY:

Noah Koontz

ATTACHMENTS:

Cover Memo

Ordinance

Speed Zones - Existing Map

Speed Zones - Proposed Map

Overall Layout

Presentation

AGENDA ITEM COVER SHEET

SUBJECT: Proposed Speed Zone Changes on SE Inner Loop from SH-29 to IH-35 and on Rockride Lane from Sam Houston Avenue to SE Inner Loop.

Name of Sponsor: Ray Miller, Jr. – Director of Public Works

ITEM SUMMARY:

Currently there are 2 existing speed zones along SE Inner Loop from SH-29 to IH-35 and one speed zone along Rockride Lane from Sam Houston Avenue to SE inner Loop. Those speed zones are described below:

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There are several reasons for re-evaluating speed zones along any given roadway or corridor. Listed below are several reasons why the existing speed zones along SE Inner Loop and Rockride needed to be re-evaluated and lower speed zones considered.

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- Saddle Creek Subdivision that has access Rockride Lane
- Overall growth in the City which leads to an increase in vehicle traffic.
- The width of Rockride Lane is less than 30'. Not really designed for 50mph
- Lowering the speed limit along Rockride Lane, helps facilitate the creation of a 20mph school zone.
- Proposed future growth that will utilize both Rockride Lane and SE Inner Loop.
- Limited sight distance at the intersection of SE Inner Loop and Southwestern Blvd.

Proposed Speed Zone Changes

Speed Zone 1: SE Inner Loop from SH-29 to 0.6 miles south of SH-29 – **45 mph no change**

Speed Zone 2: SE Inner Loop from 0.6 miles south of SH-29 to 0.25 mi north of Rockride Lane – 55mph propose changing to **45 mph**.

Speed Zone 3: SE Inner Loop from 0.25 mi north of Rockride Lane to 0.25 mi south of Rockride Lane – 55mph propose changing to **40mph**.

Speed Zone 4: SE Inner Loop from 0.25 mi south of Rockride Lane to Austin Avenue – 55 mph propose changing to **45 mph**.

Speed Zone 5: Rockride Lane from Sam Houston Avenue to SE Inner Loop – 50 mph propose changing to **30 mph** plus add an appropriate **20 mph school zone**.

How are speed limits determined or set?

- Most states, counties and cities utilize the Manual of Uniform Traffic Control Devices (MUTCD) as a reference. The MUTCD as well as other transportation publications recommend setting speed zones (limits) based on the 85th percentile. When speed data is being collected along a particular section of a roadway and 85% of the vehicles are traveling at a certain speed or range of speed then that is the speed limit that should be recommended for that section of roadway. The 85th percentile is known as the industry standard for determining speed limits.
- The MUTCD also provides for the adjusting of speeds or setting speed limits by considering the characteristics of the road and the surrounding land uses. In other words, allows for engineering judgement.

Georgetown Police Department recently conducted a speed study along SE Inner Loop for the 55 mph section. The speed study showed that the 85th percentile speed was 54mph and the average speed over a 24 hour period was 47 mph. While the 85th percentile shows that 55mph is an appropriate speed limit, when considering the surrounding land uses and increasing traffic volumes, Staff believes that lowering the speed limit to 45mph is a better and safer speed zone. Plus, it allows for a consistent speed limit along SE Inner Loop from SH-29 to Austin Avenue with the exception of the 40 mph section as you near Rockride Lane.

In October of 2019, Public Works Staff conducted a speed study on Rockride Lane nearest the intersection of SE Inner Loop. The 85th percentile for that study was 29mph. However, the speeds between the intersection and the GISD campuses are going to be a little lower. However, staff is confident that 35 mph is a more appropriate speed limit for the entire section of Rockride Lane from SE Inner Loop to Sam Houston Avenue. The addition of the school zone will regulate speeds during drop-off and pickup times for both the Elementary School and Jr. High which is when the traffic volumes are the highest.

STAFF RECOMMENDATION:

Approval of the proposed changes to the speed zones on SE Inner Loop from SH-29 to Austin Avenue and on Rockride Lane from Sam Houston Avenue to SE Inner Loop.

FINANCIAL IMPACT:

Public Works Operations staff will need to change out existing speed zone (limit) signs with new speed zone signs; install new speed zone signs where appropriate and install school zone signage and flashers on Rockride Lane.

COMMENTS: NA

ATTACHMENTS:

- Cover Memo
- Exhibits
- Proposed Ordinance
- PowerPoint Presentation

ORDINANCE NO. _____

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF GEORGETOWN, TEXAS, AMENDING SECTION 10.12.090 OF THE CODE OF ORDINANCES ENTITLED "CITY STREETS" REGARDING THE RATE OF SPEED ON SOUTHEAST INNER LOOP AND ROCKRIDE LANE IN THE CITY LIMITS; PROVIDING FOR A PENALTY AND PROSECUTION PURSUANT TO SECTION 10.12.010 OF THE CODE OF ORDINANCES; REPEALING CONFLICTING ORDINANCES AND RESOLUTIONS; INCLUDING A SEVERABILITY CLAUSE; AND ESTABLISHING AN EFFECTIVE DATE.

WHEREAS, the City Council of the City of Georgetown previously adopted Ordinance No. 2007-01, establishing a 55 Mile Per Hour speed zone on Georgetown Inner Loop Southeast (eastbound and westbound) from SH 29 East to Business 35/Austin Avenue; and

WHEREAS, the areas of Georgetown served by Southeast Inner Loop (formerly "Georgetown Inner Loop Southeast") and Rockride Lane have experienced significant growth since the adoption of Ordinance No. 2007-01, and traffic volumes along the two roadways have increased accordingly; and

WHEREAS, Georgetown Independent School District opened Mitchell Elementary in 2008 and Wagner Middle School in 2017, both of which are located at the intersection of Southeast Inner Loop and Rockride Lane; and

WHEREAS, the City Council of the City of Georgetown finds it in the best interest of the community to periodically review and update speed zones within the city; and

WHEREAS, the City of Georgetown Public Works Department has reviewed the speed zones on Southeast Inner Loop and on Rockride Lane and recommends adjusting the maximum speed allowed on each within the city limits.

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF GEORGETOWN, TEXAS:

SECTION 1. The meeting at which this ordinance was approved was in all things conducted in compliance with the Texas Open Meetings Act, Texas Government Code, Chapter 551.

SECTION 2. The facts and recitations contained in the preamble of this ordinance are hereby found and declared to be true and correct and are incorporated by reference herein and expressly made a part hereof, as if copied verbatim.

Ordinance No. _____

Page 1 of 3

Description: SE Inner Loop and Rockride Speed Zones

Date Approved: _____

SECTION 3. Section 10.12.090.B.6 of the Code of Ordinances of the City of Georgetown, Texas, establishing 20 mile per hour zones in the city limits, is hereby amended to read as follows:

6. School Speed Zone. Rockride Lane: From Southeast Inner Loop to a point 1,500 feet south of the centerline of Southeast Inner Loop, a prima facie maximum speed limit of 20 miles per hour during the hours of 7:15 a.m. until 9:00 a.m., and 2:45 p.m. until 4:15 p.m., when school is in session.

SECTION 4. Section 10.12.090.D.4 is hereby added to the Code of Ordinances of the City of Georgetown, Texas, to read as follows:

4. Rockride Lane (northbound and southbound): From Southeast Inner Loop to Sam Houston Avenue, a prima facie maximum speed limit of 35 miles per hour.

SECTION 5. Section 10.12.090.E.9 is hereby added to the Code of Ordinances of the City of Georgetown, Texas, to read as follows:

5. Southeast Inner Loop (northbound and southbound): From a point 0.25 mile north of Rockride Lane to a point 0.25 mile south of Rockride Lane a prima facie maximum speed limit of 40 miles per hour.

SECTION 6. Section 10.12.090.F.2 of the Code of Ordinances of the City of Georgetown, Texas is hereby amended to read as follows:

6. Southeast Inner Loop (northbound and southbound): From State Highway 29 East / East University Avenue to a point 0.25 mile north of Rockride Lane; and from a point 0.25 mile south of Rockride Lane to Business 35 / Austin Avenue a prima facie maximum speed limit of 45 miles per hour.

SECTION 7. Section 10.12.090.I.2 of the Code of Ordinances of the City of Georgetown, Texas, establishing a 55 mile per hour speed zone on Georgetown Inner Loop Southeast, is hereby removed.

SECTION 8. The driving or operating of any motor vehicle on or along any portion of Southeast Inner Loop or Rockride Lane at a rate of speed that is greater than the maximum rate of speed for said portion of Southeast Inner Loop or Rockride Lane, as fixed by this ordinance, shall be guilty of a misdemeanor, which is named “The Offense of Speeding” and that the said offense is punishable by a fine not to exceed two hundred dollars (\$200.00). The use of the word “Speeding” shall be sufficient to designate the said offense, and in prosecutions under this ordinance for the offense of Speeding, the complaint shall be sufficient if it alleges that the defendant committed the offense of “Speeding”.

SECTION 9. If any section or any portion of any section of this ordinance, or application thereof to any person or circumstance, shall be held invalid, such invalidity shall not affect the validity of the remaining portions of this ordinance; and that each section and each portion thereof not decreed to be invalid shall remain valid and enforceable, and to this end the provisions of this ordinance are hereby declared to be severable.

SECTION 10. All ordinances and parts of ordinances that are in conflict with this ordinance are hereby repealed, and all other ordinances of the City not in conflict with the provisions of this ordinance shall remain in full force and effect.

SECTION 11. The Mayor is hereby authorized to sign this ordinance and the City Secretary to attest. This ordinance shall become effective and be in full force and effect ten (10) days after publication in accordance with the provisions of the Charter of the City of Georgetown.

PASSED AND APPROVED on First Reading on the ____ day of _____, 2021.

PASSED AND APPROVED on Second Reading on the ____ day of _____, 2021.

ATTEST:

THE CITY OF GEORGETOWN

Robyn Densmore, City Secretary

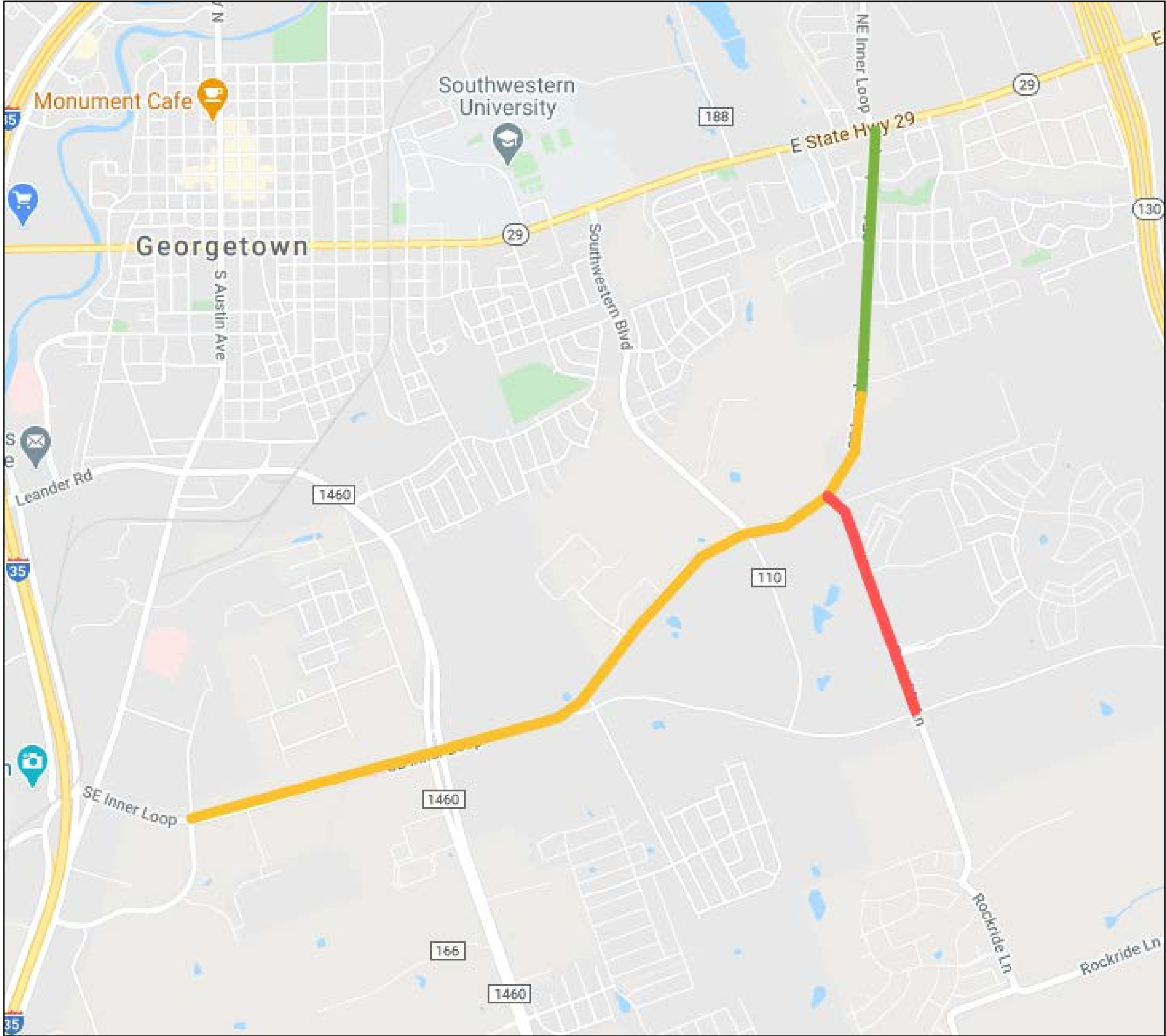
By: _____
Joshua Schroeder, Mayor

APPROVED AS TO FORM:

Skye Masson, City Attorney

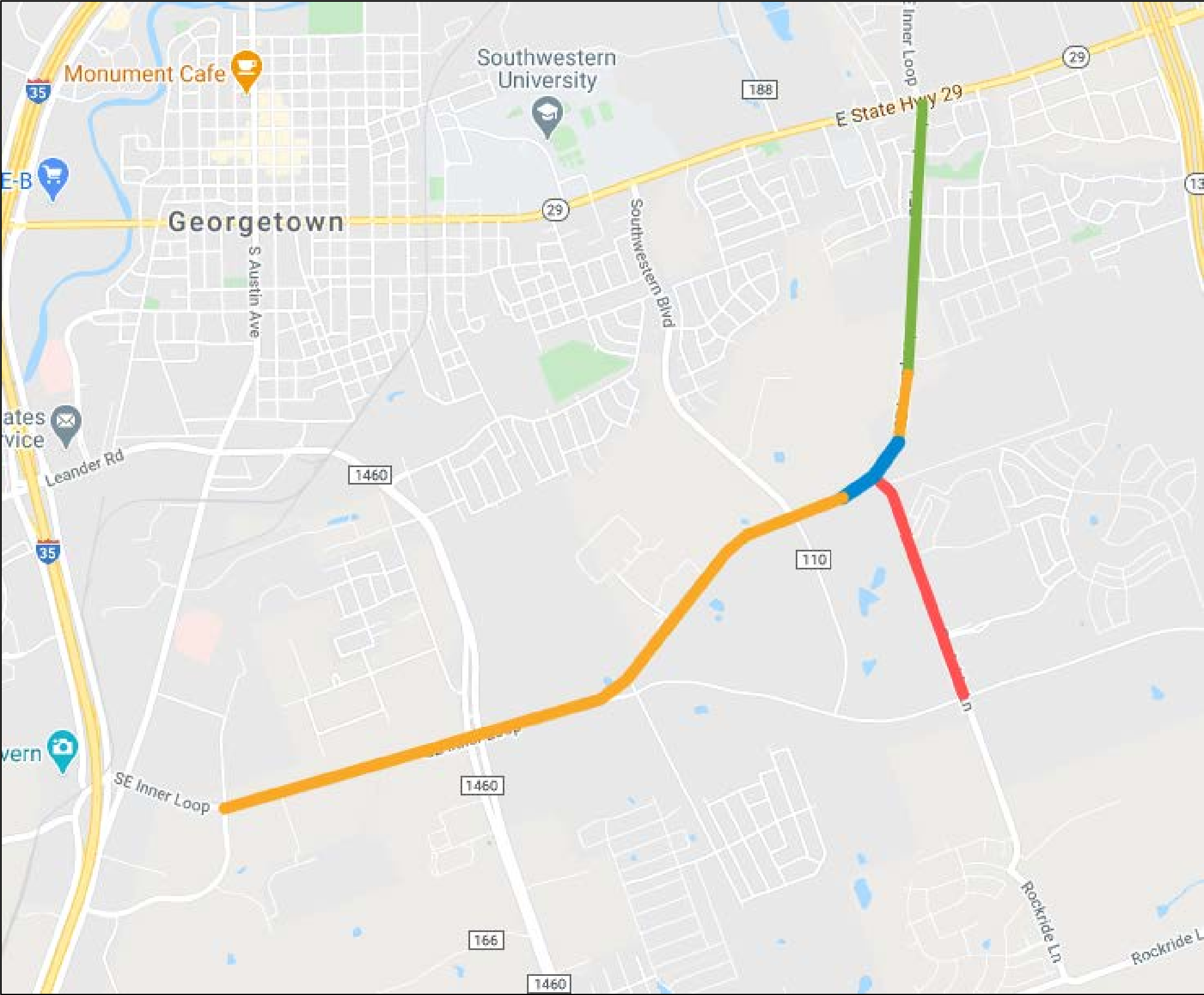
Existing Speed Zones

- SE Inner Loop from SH -29 to .06 mi south of SH-29 – **45 mph**
- SE Inner Loop from .06 mi south of SH-29 to Business 35/Austin Avenue– **55 mph**
- Rockride Lane from Sam Houston Avenue to SE Inner Loop – **50 mph**



Proposed Speed Zones

- SE Inner Loop from SH -29 to .6 mi south of SH-29 – **45 mph – same as existing**
- SE Inner Loop from .6 mi south of SH-29 to Business 35/Austin Avenue– **45 mph**
- SE Inner Loop from .25mi north of Rockride Lane to .25mi south of Rockride Lane – **40 mph**
- Rockride Lane from Sam Houston Avenue to SE Inner Loop – **35 mph**





NOTES:

1) ALL DIMS ARE APPROX AND MUST BE VERIFIED IN THE FIELD.

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| | | | |
| NO. | DATE | REVISION DESCRIPTION | APP. BY |



SE INNER LOOP AND ROCKRIDE

| | | | |
|---------------|--------------------|------------|-------------|
| FED RD DIV NO | CONTRACT SHELL NO. | | SHEET NO. |
| | | | 1 |
| STATE | DIST. | COUNTY | |
| TEXAS | | WILLIAMSON | |
| CONT. | SECT. | JOB | HIGHWAY NO. |
| | | | |

ORDINANCE NO. _____

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF GEORGETOWN, TEXAS, AMENDING SECTION 10.12.090 OF THE CODE OF ORDINANCES ENTITLED "CITY STREETS" REGARDING THE RATE OF SPEED ON SOUTHEAST INNER LOOP AND ROCKRIDE LANE IN THE CITY LIMITS; PROVIDING FOR A PENALTY AND PROSECUTION PURSUANT TO SECTION 10.12.010 OF THE CODE OF ORDINANCES; REPEALING CONFLICTING ORDINANCES AND RESOLUTIONS; INCLUDING A SEVERABILITY CLAUSE; AND ESTABLISHING AN EFFECTIVE DATE.

WHEREAS, the City Council of the City of Georgetown previously adopted Ordinance No. 2007-01, establishing a 55 Mile Per Hour speed zone on Georgetown Inner Loop Southeast (eastbound and westbound) from SH 29 East to Business 35/Austin Avenue; and

WHEREAS, the areas of Georgetown served by Southeast Inner Loop (formerly "Georgetown Inner Loop Southeast") and Rockride Lane have experienced significant growth since the adoption of Ordinance No. 2007-01, and traffic volumes along the two roadways have increased accordingly; and

WHEREAS, Georgetown Independent School District opened Mitchell Elementary in 2008 and Wagner Middle School in 2017, both of which are located at the intersection of Southeast Inner Loop and Rockride Lane; and

WHEREAS, the City Council of the City of Georgetown finds it in the best interest of the community to periodically review and update speed zones within the city; and

WHEREAS, the City of Georgetown Public Works Department has reviewed the speed zones on Southeast Inner Loop and on Rockride Lane and recommends adjusting the maximum speed allowed on each within the city limits.

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF GEORGETOWN, TEXAS:

SECTION 1. The meeting at which this ordinance was approved was in all things conducted in compliance with the Texas Open Meetings Act, Texas Government Code, Chapter 551.

SECTION 2. The facts and recitations contained in the preamble of this ordinance are hereby found and declared to be true and correct and are incorporated by reference herein and expressly made a part hereof, as if copied verbatim.

Ordinance No. _____

Page 1 of 3

Description: SE Inner Loop and Rockride Speed Zones

Date Approved: _____

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6. School Speed Zone. Rockride Lane: From Southeast Inner Loop to a point 1,500 feet south of the centerline of Southeast Inner Loop, a prima facie maximum speed limit of 20 miles per hour during the hours of 7:15 a.m. until 9:00 a.m., and 2:45 p.m. until 4:15 p.m., when school is in session.

SECTION 4. Section 10.12.090.D.4 is hereby added to the Code of Ordinances of the City of Georgetown, Texas, to read as follows:

4. Rockride Lane (northbound and southbound): From Southeast Inner Loop to Sam Houston Avenue, a prima facie maximum speed limit of 35 miles per hour.

SECTION 5. Section 10.12.090.E.9 is hereby added to the Code of Ordinances of the City of Georgetown, Texas, to read as follows:

5. Southeast Inner Loop (northbound and southbound): From a point 0.25 mile north of Rockride Lane to a point 0.25 mile south of Rockride Lane a prima facie maximum speed limit of 40 miles per hour.

SECTION 6. Section 10.12.090.F.2 of the Code of Ordinances of the City of Georgetown, Texas is hereby amended to read as follows:

6. Southeast Inner Loop (northbound and southbound): From State Highway 29 East / East University Avenue to a point 0.25 mile north of Rockride Lane; and from a point 0.25 mile south of Rockride Lane to Business 35 / Austin Avenue a prima facie maximum speed limit of 45 miles per hour.

SECTION 7. Section 10.12.090.I.2 of the Code of Ordinances of the City of Georgetown, Texas, establishing a 55 mile per hour speed zone on Georgetown Inner Loop Southeast, is hereby removed.

SECTION 8. The driving or operating of any motor vehicle on or along any portion of Southeast Inner Loop or Rockride Lane at a rate of speed that is greater than the maximum rate of speed for said portion of Southeast Inner Loop or Rockride Lane, as fixed by this ordinance, shall be guilty of a misdemeanor, which is named “The Offense of Speeding” and that the said offense is punishable by a fine not to exceed two hundred dollars (\$200.00). The use of the word “Speeding” shall be sufficient to designate the said offense, and in prosecutions under this ordinance for the offense of Speeding, the complaint shall be sufficient if it alleges that the defendant committed the offense of “Speeding”.

SECTION 9. If any section or any portion of any section of this ordinance, or application thereof to any person or circumstance, shall be held invalid, such invalidity shall not affect the validity of the remaining portions of this ordinance; and that each section and each portion thereof not decreed to be invalid shall remain valid and enforceable, and to this end the provisions of this ordinance are hereby declared to be severable.

SECTION 10. All ordinances and parts of ordinances that are in conflict with this ordinance are hereby repealed, and all other ordinances of the City not in conflict with the provisions of this ordinance shall remain in full force and effect.

SECTION 11. The Mayor is hereby authorized to sign this ordinance and the City Secretary to attest. This ordinance shall become effective and be in full force and effect ten (10) days after publication in accordance with the provisions of the Charter of the City of Georgetown.

PASSED AND APPROVED on First Reading on the ____ day of _____, 2021.

PASSED AND APPROVED on Second Reading on the ____ day of _____, 2021.

ATTEST:

THE CITY OF GEORGETOWN

Robyn Densmore, City Secretary

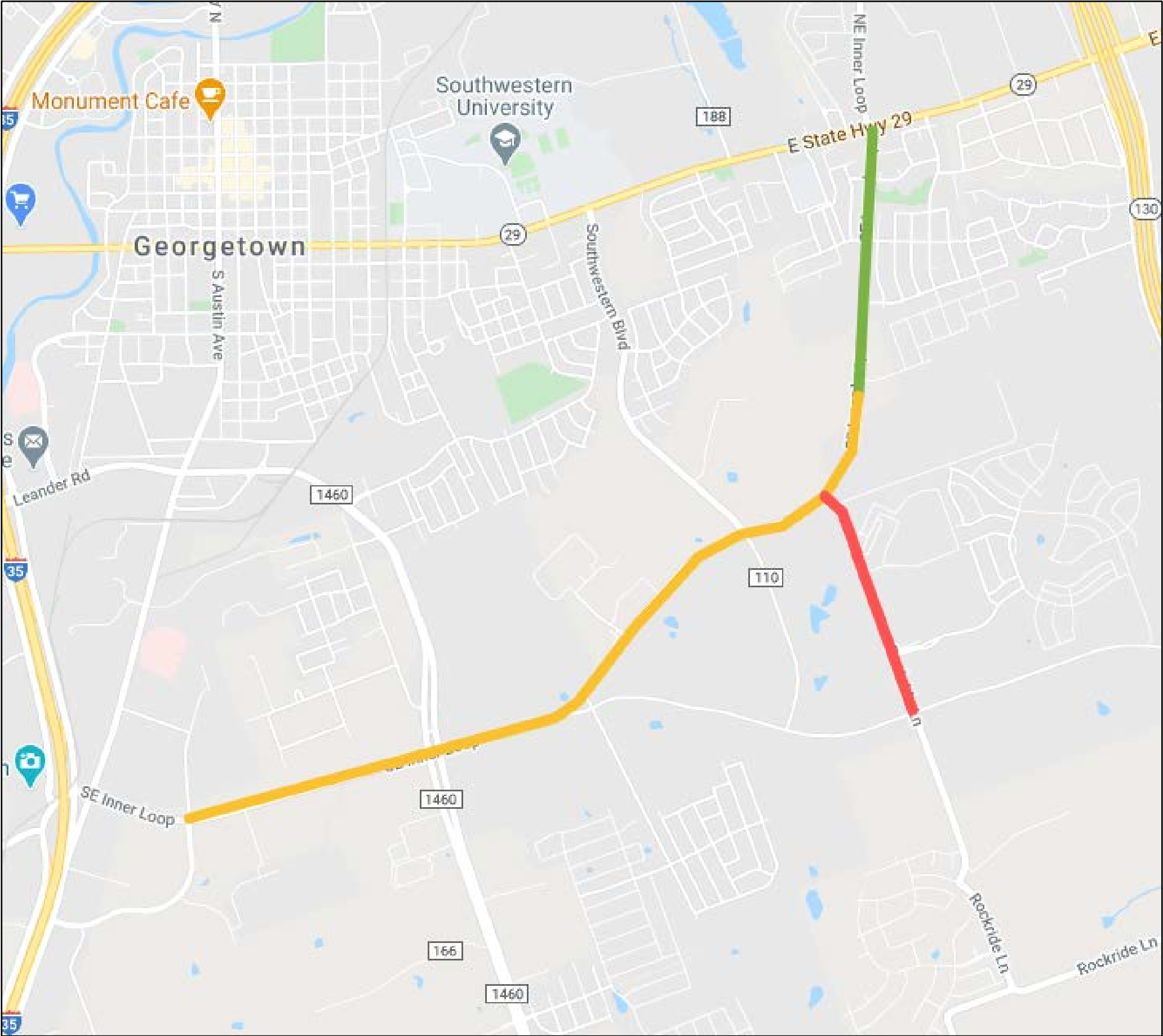
By: _____
Joshua Schroeder, Mayor

APPROVED AS TO FORM:





Skye Masson, City Attorney

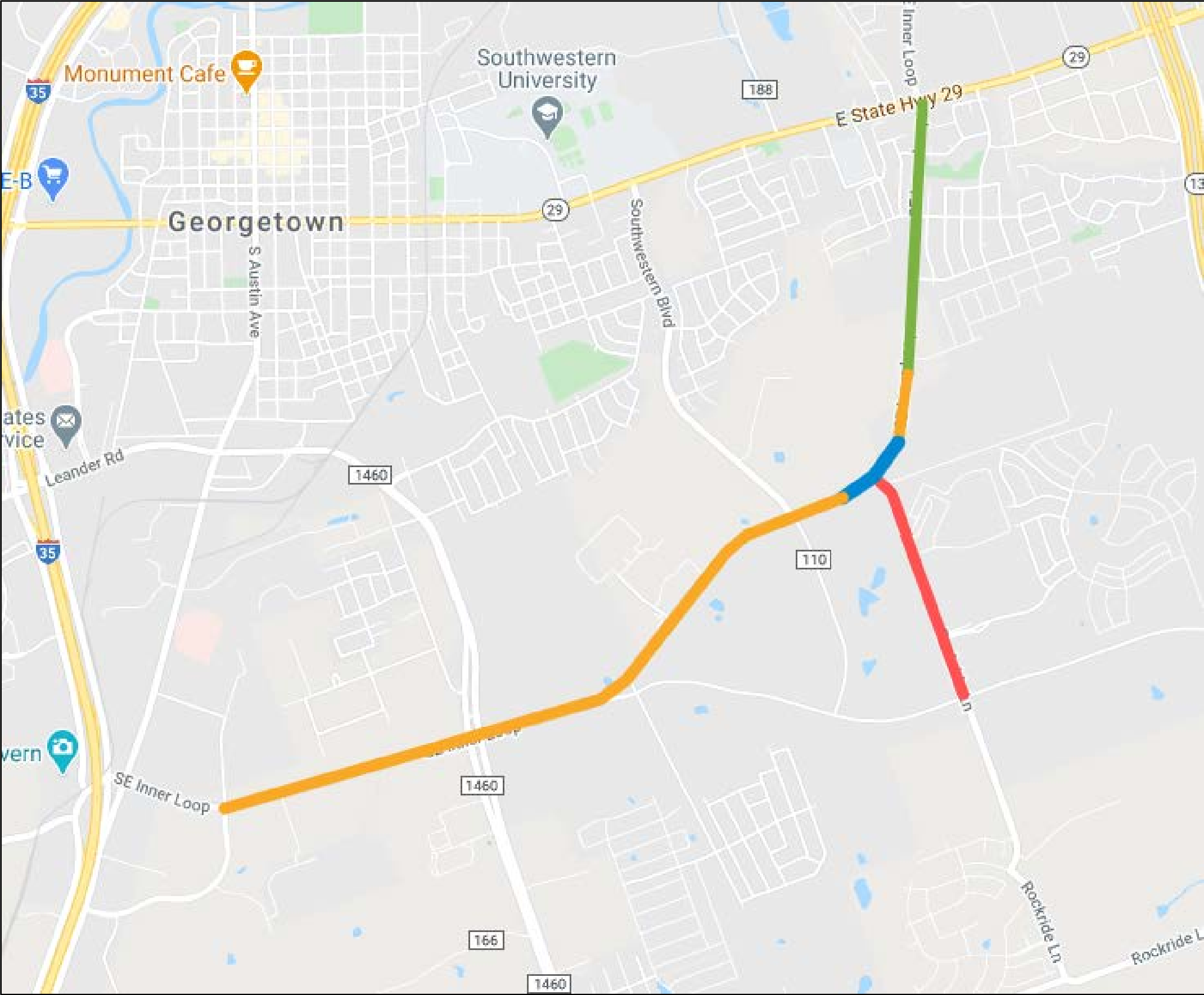
Existing Speed Zones

- SE Inner Loop from SH -29 to .06 mi south of SH-29 – **45 mph**
- SE Inner Loop from .06 mi south of SH-29 to Business 35/Austin Avenue– **55 mph**
- Rockride Lane from Sam Houston Avenue to SE Inner Loop – **50 mph**



Proposed Speed Zones

-  SE Inner Loop from SH -29 to .6 mi south of SH-29 – **45 mph – same as existing**
-  SE Inner Loop from .6 mi south of SH-29 to Business 35/Austin Avenue– **45 mph**
-  SE Inner Loop from .25mi north of Rockride Lane to .25mi south of Rockride Lane – **40 mph**
-  Rockride Lane from Sam Houston Avenue to SE Inner Loop – **35 mph**





NOTES:
1) ALL DIMS ARE APPROX AND MUST BE VERIFIED IN THE FIELD.

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| NO. | DATE | REVISION DESCRIPTION | APP. BY |



SE INNER LOOP AND ROCKRIDE

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| FED RD DIV NO | CONTRACT SHELL NO. | SHEET NO. |
| | | 1 |
| STATE | DIST. | COUNTY |
| TEXAS | | WILLIAMSON |
| CONT. | SECT. | JOB HIGHWAY NO. |
| | | |

Proposed Speed Changes on SE Inner Loop and Rockride Lane

City Council Meeting
January 12, 2021

Speed Zone Change

SE Inner Loop & Rockride Lane

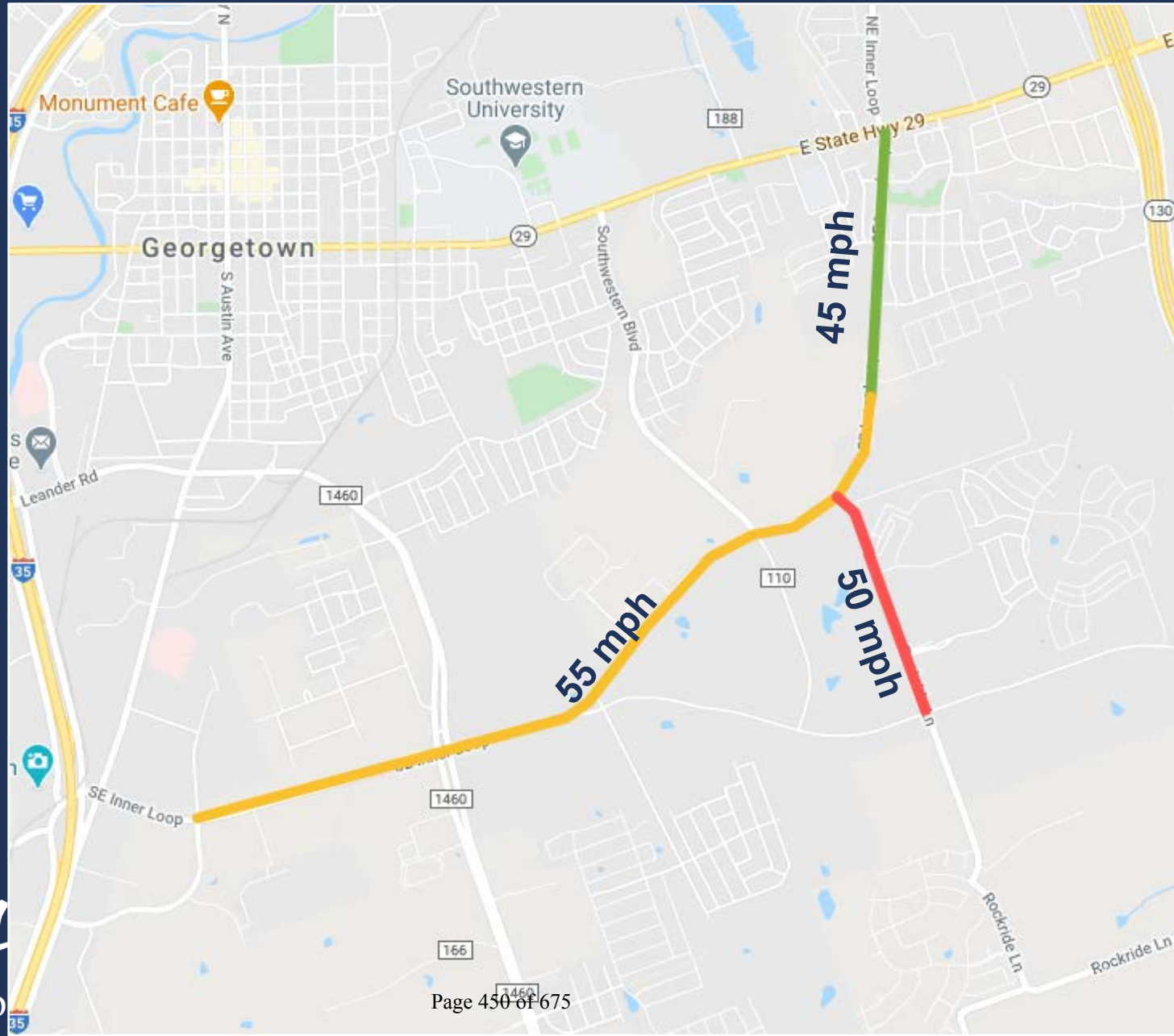
- This will be the First Reading of an Ordinance proposing a change to the regulatory speed limits along SE Inner Loop from SH-29 to Austin Avenue and along Rockride Lane from Sam Houston Avenue to SE Inner Loop.
- This Ordinance will also provide for a school 20mph school zone along Rockride Lane.

Speed Zone Change

SE Inner Loop & Rockride Lane

- Review of existing speed zones along SE Inner Loop and Rockride Lane
- Why should be re-evaluate the speed zones along each roadway?
- How do we determine or set speed zones?
- Proposed Speed Zone Changes and School Zone
- Comments / Questions?

Current Speed Zones



Why re-evaluate Speed Zones

- Mitchell Elementary School opened in 2008.
- Wagner Middle School in opened 2017.
- Other development along SE Inner Loop since 2007 when the 55 mph speed zone was established.
- Saddle Creek Subdivision that has access Rockride Lane
- The width of Rockride Lane is less than 30'. Not really designed for 50mph.
- Lowering the speed limit along Rockride Lane, helps facilitate the creation of a 20 mph school zone.
- Proposed future growth that will utilize both Rockride Lane and SE Inner Loop.
- Limited sight distance at SE Inner Loop and Southwestern Blvd.

How are speed zones determined?

- Most states, counties and cities utilize the Manual of Uniform Traffic Control Devices (MUTCD) as a reference.
- The MUTCD as well as other transportation publications recommend setting speed zones (limits) based on the 85th percentile.
- When speed data is being collected along a particular section of a roadway and 85% of the vehicles are traveling at a certain speed or range of speed then that is the speed limit that should be recommended for that section of roadway. The 85th percentile is known as the industry standard for determining speed limits.

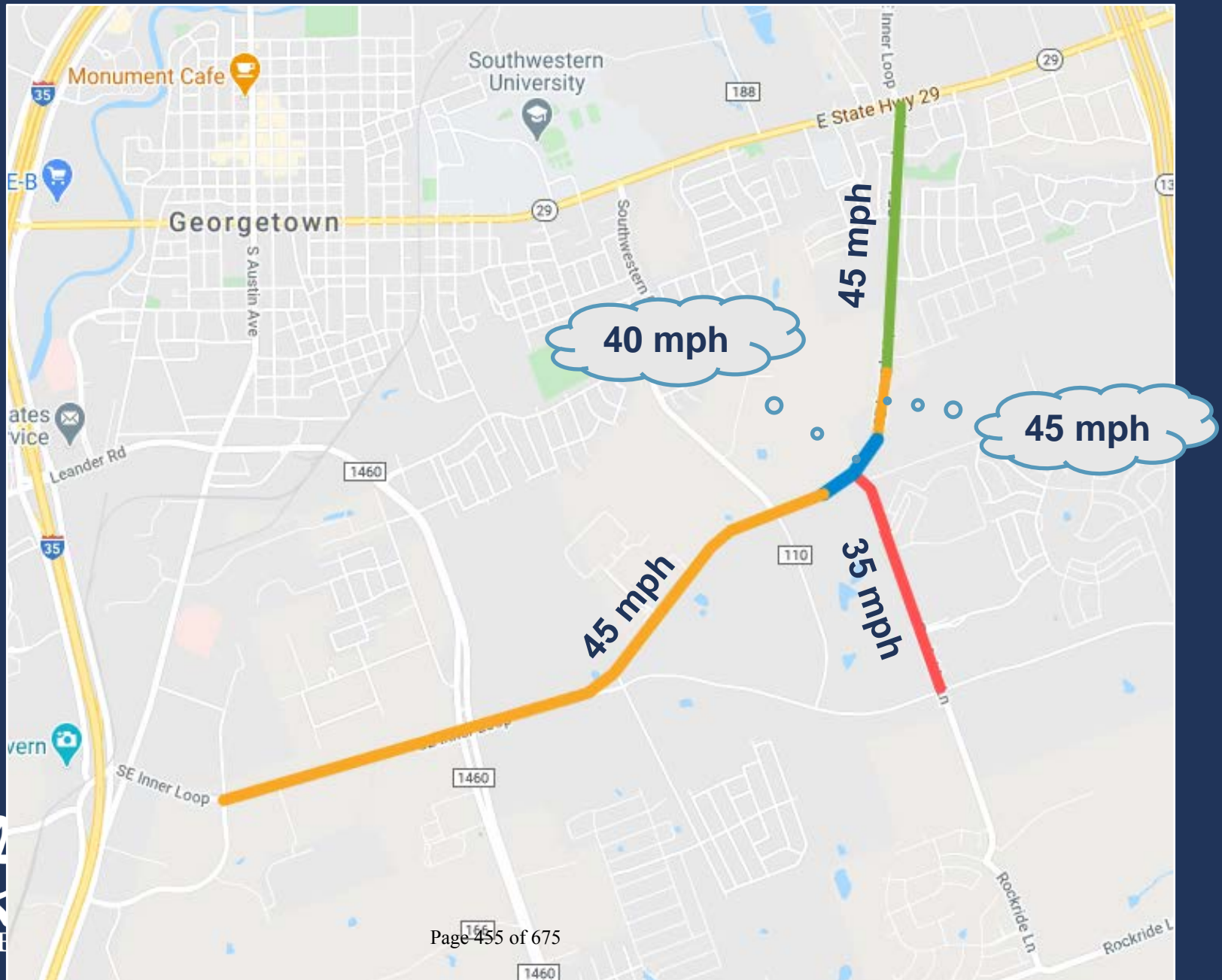
How are speed zones determined?

- The MUTCD also allows for using engineering judgement which takes into account the characteristics of the road, surrounding landuses, accidents and other data.
- A speed study was just recently conducted for GPD for the 55 mph section of SE Inner Loop. The study showed an 85th percentile of 54mph which typically would suggest that 55mph is an appropriate speed. However, taking in to account the GISD campuses, increased traffic and accidents, Staff believe that 45mph is a more appropriate speed limit and would make it consistent from SH-29 to Austin Avenue with the exception of the proposed 40mph section near the intersection of Rockride Lane.

How are speed zones determined?

- A speed study was also conducted in October 2019 for Rockride Lane. The study showed an 85th percentile speed of 29 mph. However, staff believes that a speed limit of 35 mph is a more appropriate speed limit for the entire section of Rockride from SE Inner Loop to Sam Houston Avenue.
- The addition of the school zone will provide for lower speeds during drop-off and pickup times for the GISD campuses which is when traffic volumes are the heaviest.

Proposed Speed Zones



Proposed School Zone



Speed Zone Change

SE Inner Loop & Rockride Lane

Next Steps:

- After City Council action on the proposed Ordinance – PW Staff begin making new speed limit signs and either change out existing signs or install speed limit signs in new locations.
- Install school zone flashers and signage along Rockride Lane.
- Estimating 2-3 weeks for complete installation but possibly completed sooner.

Questions?

Speed Zone Change

SE Inner Loop & Rockride Lane

- AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF GEORGETOWN, TEXAS, AMENDING SECTION 10.12.090 OF THE CODE OF ORDINANCES ENTITLED “CITY STREETS” REGARDING THE RATE OF SPEED ON SOUTHEAST INNER LOOP AND ROCKRIDE LANE IN THE CITY LIMITS; PROVIDING FOR A PENALTY AND PROSECUTION PURSUANT TO SECTION 10.12.010 OF THE CODE OF ORDINANCES; REPEALING CONFLICTING ORDINANCES AND RESOLUTIONS; INCLUDING A SEVERABILITY CLAUSE; AND ESTABLISHING AN EFFECTIVE DATE.

Thank You!



City of Georgetown, Texas
City Council Regular Meeting
January 12, 2021

SUBJECT:

First Reading of an Ordinance of the City of Georgetown, TX, **amending** the **FY2021 Annual Budget** due to **conditions** that resulted in **new program requirements** in the current year, due to the timing of **capital projects** and **other expenditures** approved in the prior year; **appropriating** the various amounts thereof; and repealing all ordinances or parts of ordinances in conflict therewith -- Nathan Parras, Assistant Finance Director

ITEM SUMMARY:

A corresponding presentation on this amendment is on the Workshop agenda for the January 12 Council Meeting.

Each year the City brings a roll forward amendment for capital projects or one-time items included and approved in the prior fiscal year. Due to the multi-year timing of capital projects, this remaining budget needs to be moved to the current fiscal year. Since the City changed financial software systems in FY2020, the roll forward amendment is larger than years past because the City changed accounting practices for encumbrances. In the past encumbrances (purchase orders issued but not yet expensed) were left in prior years, and only unencumbered funds were rolled forward. Now, all encumbered and unencumbered funds are rolled forward.

Additionally, the Charter and State Law allow the budget to be amended for other municipal purposes that were not foreseen at the time the original budget was adopted. The attached presentation provides an overview of the amendments that are items generally approved by Council since the original budget was adopted, as well as new items that respond to growth pressures and economic conditions. The details of each revenue and expenditure change are presented by fund in Exhibit A, CIP Project detail in Exhibit B, and position control schedule in Exhibit C.

This budget amendment addresses the legal and financial appropriation needed to accommodate these changes. The detailed distribution of the amendment is included in the attachments to the ordinance.

The following funds are amended for capital projects, operational costs of personnel, goods and services: General Capital Projects, General, Streets Maintenance, Tourism, PEG, Permitting, Abandon Vehicle, GTEC, GEDCO, Joint Services, Fleet, Facilities, Village PID, Rivery TIRZ, Downtown TIRZ, Information Technology, Airport, Electric, Stormwater and Water.

SPECIAL CONSIDERATIONS:

The City Charter requires that a majority plus one must approve an amendment to the approved budget. The City charter allows for budget amendments in emergency situations and when the issues and needs were unknown at the time the budget was adopted.

FINANCIAL IMPACT:

The proposed budget amendment would increase appropriations by \$140,920,264 through a combination of available fund balance and new revenue

SUBMITTED BY:

Sharon Parker

ATTACHMENTS:

Proposed Ordinance

Exhibit A

Exhibit B

Exhibit C

ORDINANCE NO. _____

AN ORDINANCE OF THE CITY OF GEORGETOWN, TX, AMENDING THE FISCAL YEAR 2021 ANNUAL BUDGET DUE TO CONDITIONS THAT RESULTED IN NEW PROGRAM REQUIREMENTS IN THE CURRENT YEAR, AND DUE TO THE TIMING OF CAPITAL PROJECTS AND OTHER EXPENDITURES APPROVED IN THE PRIOR YEAR; APPROPRIATING THE VARIOUS AMOUNTS THEREOF; AND REPEALING ALL ORDINANCES OR PARTS OF ORDINANCES IN CONFLICT THEREWITH.

WHEREAS, certain mid-year adjustments are required to accommodate timing and changing conditions due to growth and capital improvements that occurred during FY 2020; and

WHEREAS, certain appropriations among divisions and funds are required for personnel costs, programs, goods and services; and

WHEREAS, the various budgets need to be amended in FY2021 for these revenue and expense adjustments and transfers; and

WHEREAS, certain capital improvement and other planned projects budgeted in FY2020 were not completed in FY2020; and

WHEREAS, these certain capital improvements and other planned projects need funds and related budget appropriations to be rolled forward into FY2021; and

WHEREAS, the General Capital Projects, General, Streets Maintenance, Tourism, PEG, Permitting, Abandon Vehicle, GTEC, GEDCO, Joint Services, Fleet, Facilities, Village PID, Rivery TIRZ, Downtown TIRZ, Information Technology, Airport, Electric, Stormwater and Water funds have FY2020 fund balances in excess of amounts projected at the time of the FY2021 budget adoption; and

WHEREAS, Certificates of Obligation, General Obligation, or Revenue bonds have been or will be issued to fund the capital improvements not already included in the adopted 2021 budget; and

WHEREAS, the City Council of the City of Georgetown wishes to use those excess funds for these new conditions in FY2021; and

WHEREAS, the changes were unknown and unforeseeable at the time the fiscal year 2021 budget was approved; and

WHEREAS, the *City Charter* allows for changes in the Annual Operating Plan by a Council majority plus one for municipal purposes and in emergency situations;

Ordinance Number: _____

Page 1 of 3

Description: Roll-forward Amendment
Date Approved:

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF GEORGETOWN, TEXAS, THAT:

SECTION 1.

The facts and recitations contained in the preamble of this ordinance are hereby found and declared to be true and correct, and are incorporated by reference herein and expressly made a part hereof, as if copied verbatim.

SECTION 2.

The amendment to the 2021 Annual Budget of the revenues of the City of Georgetown and expenses of conducting the affairs thereof, is in all things adopted and approved as an addition to the previously approved budget of the current revenues and expenses as well as fixed charges against said City for the fiscal year beginning October 1, 2020, and ending September 30, 2021. A copy of the amendments are attached hereto as Exhibits "A, B and C."

SECTION 3.

The total of \$140,920,264 is hereby appropriated for payments of expenditures and payments of the funds and included in the Exhibit "A".

SECTION 4

All ordinances and resolutions, or parts of ordinances and resolutions, in conflict with this Ordinance are hereby repealed, and are no longer of any force and effect. This ordinance complies with the vision statement of the Georgetown 2030 Plan.

SECTION 5.

If any provision of this ordinance or application thereof to any person or circumstance, shall be held invalid, such invalidity shall not affect the other provisions, or application thereof, of this ordinance which can be given effect without the invalid provision or application, and to this end the provisions of this ordinance are hereby declared to be severable.

SECTION 6.

The Mayor is hereby authorized to sign this ordinance and the City Secretary to attest. This ordinance shall become effective upon adoption of its second and final reading by the City Council of the City of Georgetown, Texas.

PASSED AND APPROVED on First Reading on the 12th day of January, 2021.

PASSED AND APPROVED on Second Reading on the 26th day of January, 2021.

Ordinance Number: _____

Page 2 of 3

Description: Roll-forward Amendment
Date Approved:

ATTEST:

THE CITY OF GEORGETOWN:

Robyn Densmore
City Secretary

By: Josh Schroeder
Mayor

APPROVED AS TO FORM:

Skye Masson
City Attorney

Ordinance Number: _____

Page 3 of 3

Description: Roll-forward Amendment
Date Approved:

Exhibit A - FY2021 Operational and CIP Roll Forward Amendment

| | 2021 Approved Budget | Impact of This Action/CAFR Adjustment | 2021 Amended Budget | 120 - General Capital Projects |
|-------------------------------------|----------------------|---------------------------------------|----------------------|---|
| Beginning Fund Balance | \$ 7,266,408 | \$ 35,494,171 | \$ 42,760,579 | <p>Bond proceeds and CIP expense are both increased by \$35,000 for additional cardiac monitors at end of life that need to be replaced for the EMS program. Bond proceed revenue is reduced by \$275,000. This amount was to be issued for parks trail development; however, older existing bond proceeds from San Gabriel park are available and allowable to use, resulting in a draw down on fund balance. Bond proceed revenue is reduced by \$120,000 for the Teen/Rec Center Renovations due to use of prior issued Parks CO bond interest. The next amendment is to reduce bond proceed revenue and project expense by \$100,000 each for the HVAC replacement at the Recreation Center Natatorium. The bid came in lower than expected.</p> <p>Bond Proceed revenue and Transfer out to Fleet expense are both increased \$180,000 for a bucket truck for the Signal Technician positions and a truck for the additional Inspectors added to the General Fund.</p> <p>This amendment also rolls forward CIP projects started, but not completed, by the end of fiscal year 2020 which have ongoing encumbrances and bond proceeds to be spent in FY2021.</p> |
| Revenues | | | | |
| Other Revenues | \$ 395,000 | \$ - | \$ 395,000 | |
| Bond Proceeds | \$ 24,033,278 | \$ (280,000) | \$ 23,753,278 | |
| Total Revenues | \$ 24,428,278 | \$ (280,000) | \$ 24,148,278 | |
| Expenses | | | | |
| Transfer Out - Fleet | | \$ 180,000 | \$ 180,000 | |
| Capital Expense - Cardiac Monitors | \$ 225,000 | \$ 35,000 | \$ 260,000 | |
| Capital Expense - HVAC Natatorium | | \$ (100,000) | \$ (100,000) | |
| Capital Expense - Current Projects | \$ 28,238,944 | \$ - | \$ 28,238,944 | |
| CIP Expense - Roll Forward Projects | | \$ 35,494,171 | \$ 35,452,783 | |
| Total Expenses | \$ 28,463,944 | \$ 35,609,171 | \$ 64,031,727 | |
| Ending Fund Balance | \$ 3,230,742 | \$ (395,000) | \$ 2,877,130 | |
| TIA Reserve | \$ 2,100,000 | | \$ 2,100,000 | |
| | | | | |
| Available Fund Balance | \$ 1,130,742 | \$ (395,000) | \$ 777,130 | |

| | 2021 Approved Budget | Impact of This Action/CAFR Adjustment | 2021 Amended Budget | 100 - General Fund |
|-----------------------------------|----------------------|---------------------------------------|----------------------|--|
| Beginning Fund Balance | \$ 15,443,733 | \$ 105,190 | \$ 15,548,923 | The first proposed amendment is to recognize \$15,000 in beginning balance from available one-time funds from FY2020, and to appropriate the same amount in expense in Administrative Services for a required increase in the mobility bond program expenditures. |
| Revenues | | | | |
| Other Revenues | \$ 40,263,562 | \$ 7,900 | \$ 40,271,462 | Miscellaneous Revenue and Administrative Services expense are amended \$7,900 each for the cost and reimbursement of printing the Atmos Franchise Agreement. |
| Sales Tax | \$ 17,859,375 | \$ 714,375 | \$ 18,573,750 | The next amendment recognizes \$535K in additional revenue from the contract with Emergency Services District 8. Fire Department expenses for maintaining held back vehicles increases by \$41,900. The remaining amount of \$493K is transferred out to the Fleet Fund to be used to offset future vehicle purchases for Fire. |
| Transfers In - Downtown TIRZ | \$ 9,326,677 | \$ 100,000 | \$ 9,426,677 | |
| Fire/EMS | \$ 7,477,004 | \$ 535,091 | \$ 8,012,095 | |
| Permits/Development | \$ 4,205,500 | \$ 2,293,825 | \$ 6,499,325 | |
| Total Revenues | \$ 79,132,118 | \$ 3,651,191 | \$ 82,783,309 | |
| Expenses | | | | |
| Non-Dept / Transfers Out | \$ 839,000 | \$ 514,191 | \$ 1,353,191 | The next amendment recognizes revenue of \$100K as a transfer in from the Downtown TIRZ fund and appropriates the same amount in Environmental Services expense for the Downtown Concierge Service Pilot. Environmental Services expenses are increased by \$25,000 for a one-time expense to relocate dumpsters to City owned property in the downtown square. Environmental Services is also increased \$15,000 for a sanitation contract consultant, \$12,000 for recycling program, as well as \$50,000 to provide Hazardous Waste collection programming. |
| Library | \$ 2,820,601 | \$ 17,303 | \$ 2,837,904 | |
| Administrative Services | \$ 1,863,118 | \$ 30,765 | \$ 1,893,883 | |
| Fire Emergency Services | \$ 15,820,814 | \$ 98,265 | \$ 15,919,079 | |
| Fire Administration | \$ 4,246,201 | \$ 21,926 | \$ 4,268,127 | |
| EMS | \$ 2,454,520 | \$ 124,586 | \$ 2,579,106 | |
| Police Administration | \$ 2,549,296 | \$ 10,470 | \$ 2,559,766 | |
| Police Operations | \$ 14,292,279 | \$ 43,554 | \$ 14,335,833 | |
| Planning | \$ 1,719,727 | \$ 141,062 | \$ 1,860,789 | |
| Communications and Engagement | \$ 799,280 | \$ 45,324 | \$ 844,604 | |
| Community Services | \$ 332,577 | \$ 21,312 | \$ 353,889 | |
| Parks Administration | \$ 654,507 | \$ 7,718 | \$ 662,225 | |
| Parks | \$ 2,706,481 | \$ 14,944 | \$ 2,721,425 | |
| Recreation | \$ 2,879,945 | \$ 15,730 | \$ 2,895,675 | |
| Tennis Center | \$ 440,557 | \$ 2,360 | \$ 442,917 | |
| Recreation Programs | \$ 1,236,490 | \$ 3,146 | \$ 1,239,636 | |
| Garey Park | \$ 974,063 | \$ 5,899 | \$ 979,962 | |
| Arts and Culture | \$ 57,857 | \$ - | \$ 57,857 | The next amendment increases appropriation in Inspections and Public Works by approximately \$5K each for their share of the annual cost of utilities at the Georgetown Municipal Complex. Savings is already reflected in the Electric Fund, which previously covered these costs. Public Works cost center expenses are increased by \$40,000 for one-time Right of Way cleaning. Public Works is also increased \$50K for the reimbursement of paratransit bus service. |
| Municipal Court | \$ 581,191 | \$ 3,933 | \$ 585,124 | |
| City Council | \$ 185,734 | \$ - | \$ 185,734 | |
| City Secretary | \$ 995,328 | \$ 4,719 | \$ 1,000,047 | |
| General Government Contracts | \$ 4,770,618 | \$ 4,190 | \$ 4,774,808 | |
| Animal Services | \$ 1,098,443 | \$ 8,258 | \$ 1,106,701 | |
| Streets | \$ 2,948,520 | \$ 137,605 | \$ 3,086,125 | |
| Code Compliance | \$ 558,651 | \$ 3,933 | \$ 562,584 | |
| Environmental Services | \$ 9,431,924 | \$ 202,000 | \$ 9,633,924 | |
| Inspection Services | \$ 1,386,971 | \$ 132,563 | \$ 1,519,534 | |
| Public Works | \$ 1,389,108 | \$ 102,184 | \$ 1,491,292 | |
| Total Expenses | \$ 80,033,801 | \$ 1,717,937 | \$ 81,751,738 | |
| Ending Fund Balance | \$ 14,542,050 | \$ 2,038,444 | \$ 16,580,494 | |
| Contingency | \$ 12,626,752 | | \$ 12,626,752 | |
| Benefit Payout Reserve | \$ 340,000 | \$ - | \$ 340,000 | |
| Economic Stability Reserve | \$ 1,467,563 | | \$ 1,467,563 | |
| Available Fund Balance | \$ 107,735 | \$ 2,038,444 | \$ 2,146,179 | Revenue for sales tax is amended for an increase of \$714K, or 4% of the adopted budget, due to continued strong sales tax trends despite the COVID-19 pandemic economic conditions. Revenue for permits/development is amended for an increase of \$2,293,825. This is an increase of \$500,000 for commercial permit revenue, \$1,350,000 for residential permits, \$190,000 for developer applications revenue, and recognition a one-time MUD/MDF payment of \$253,825. Inspections expenses are proposed to increase \$132,563 with the addition of two positions and associated operational costs. Two Inspectors will help offset the impact of the current workload in the department. Planning expenses increase to recognize two additional positions, a Senior Planner and a Planning Assistant. These positions are pro-rated anticipating a February 1, 2021 start date. Total increase to planning expense is \$94,630. Expenses are increased for salary market survey results for Fire, Police, Parks, Planning, Communications, Community Services and Public Works. Personnel expenses across multiple cost centers are increased a total of \$158,000 for a one-time merit compensation for employees. Transfers out to IT Fund are increased by \$3,000 for each new position added to the fund to cover their IT equipment and subscriptions (\$21K total). |

Fire Operations and EMS expenses are increased by \$137,000 for one-time payments for paramedic overtime and promotions reviews. Fire Operations is increased \$56K, and Police Operations increased \$21K to move civil service public safety personnel from 80% to 100% of market.

This amendment recognizes encumbrances released into fund balance at the end of FY2020 due to projects not being able to be completed by the end of the fiscal year and re-appropriates the expenses in FY2021. These include \$40,000 for a City branding study, \$4,190 for the fiscal impact model, \$30,000 to complete the Downtown and Old Town design guidelines, and \$16,000 for mitigation plan development.

Available ending fund balance shows as \$2.1 million. It is important for Finance team and external auditors to finalize fiscal year-end 2020. The team will then come back to Council with recommendations for the available funds, such as increasing the Economic Stability Reserve or other options as allowable under fiscal and budgetary policy.

| | 2021 Approved Budget | Impact of This Action/CAFR Adjustment | 2021 Amended Budget | 203 - Streets Sales Tax SRF |
|-------------------------------|-------------------------|--|------------------------|--|
| Beginning Fund Balance | \$ 2,386,894 | \$ - | \$ 2,386,894 | The amendment recognizes a 4% increase in the budget for sales tax revenue due to strong growth experienced in the past few months despite the pandemic economic conditions. |
| Revenues | | | | |
| Sales Tax | \$ 3,977,250 | \$ 158,750 | \$ 4,136,000 | |
| Total Revenues | \$ 3,977,250 | \$ 158,750 | \$ 4,136,000 | |
| Expenses | | | | |
| Street Maintenance | \$ 4,375,000 | \$ - | \$ 4,375,000 | |
| Total Expenses | \$ 4,375,000 | \$ - | \$ 4,375,000 | |
| Ending Fund Balance | \$ 1,989,144 | \$ 158,750 | \$ 2,147,894 | |
| Arterial Reserve | \$ 750,000 | | \$ 750,000 | |
| Available Fund Balance | \$ 1,239,144 | \$ 158,750 | \$ 1,397,894 | |

| | 2021 Approved Budget | Impact of This Action/CAFR Adjustment | 2021 Amended Budget | 201 - Tourism/CVB |
|-------------------------------|-------------------------|--|------------------------|--|
| Beginning Fund Balance | \$ 1,276,917 | \$ 6,000 | \$ 1,282,917 | This amendment re-appropriates \$6,000 beginning balance and expenses for artist murals commissioned in FY2020 that were not completed. The amendment also includes \$3,500 for one-time merit compensation for employees. |
| Revenues | | | \$ - | |
| Current Revenues | \$ 1,050,000 | \$ - | \$ 1,050,000 | |
| Total Revenues | \$ 1,050,000 | \$ - | \$ 1,050,000 | |
| Expenses | | | \$ - | |
| Current Expenses | \$ 1,468,636 | \$ 9,539 | \$ 1,478,175 | |
| Total Expenses | \$ 1,468,636 | \$ 9,539 | \$ 1,478,175 | |
| Ending Fund Balance | \$ 858,281 | \$ (3,539) | \$ 854,742 | |

| | 2021 Approved Budget | Impact of This Action/CAFR Adjustment | 2021 Amended Budget | 209 - PEG Fees |
|-------------------------------|-------------------------|--|------------------------|--|
| Beginning Fund Balance | \$ 220,957 | \$ 35,867 | \$ 256,824 | This amendment re-appropriates construction of a video studio in the art center building that was budgeted but not able to be completed in FY2020. |
| Revenues | | | | |
| Current Revenues | \$ 125,250 | \$ - | \$ 125,250 | |
| Total Revenues | \$ 125,250 | \$ - | \$ 125,250 | |
| Expenses | | | | |
| Other Expenses | \$ 66,500 | \$ 35,867 | \$ 102,367 | |
| Transfer Out - Fleet Fund | \$ 33,500 | \$ - | \$ 33,500 | |
| Total Expenses | \$ 100,000 | \$ 35,867 | \$ 135,867 | |
| Ending Fund Balance | \$ 246,207 | \$ - | \$ 246,207 | |

| | 2021 Approved Budget | Impact of This Action/CAFR Adjustment | 2021 Amended Budget | <u>250 - Permitting Technology Fund</u> |
|-------------------------------|----------------------|---------------------------------------|---------------------|--|
| Beginning Fund Balance | \$ 290,001 | | \$ 290,001 | This amendment recognizes an increase in permit activity and the resulting increase in revenue from permit technology fee. |
| Revenues | | | | |
| Current Revenues | \$ 105,500 | \$ 80,000 | \$ 185,500 | |
| Total Revenues | \$ 105,500 | \$ 80,000 | \$ 185,500 | |
| Expenses | | | | |
| Current Expenses | \$ 191,700 | \$ - | \$ 191,700 | |
| Total Expenses | \$ 191,700 | \$ - | \$ 191,700 | |
| Ending Fund Balance | \$ 203,801 | \$ 80,000 | \$ 283,801 | |

| | 2021 Approved Budget | Impact of This Action/CAFR Adjustment | 2021 Amended Budget | <u>271 - Abandoned Vehicles</u> |
|-------------------------------|----------------------|---------------------------------------|---------------------|---|
| Beginning Fund Balance | \$ 2,345 | \$ 9,043 | \$ 11,388 | This amendment re-appropriates expenses for equipment ordered in FY2020 that was not received until FY2021. |
| Revenues | | | | |
| Current Revenues | \$ - | \$ - | \$ - | |
| Total Revenues | \$ - | \$ - | \$ - | |
| Expenses | | | | |
| Current Expenses | \$ - | \$ 9,043 | \$ 9,043 | |
| Total Expenses | \$ - | \$ 9,043 | \$ 9,043 | |
| Ending Fund Balance | \$ 2,345 | \$ - | \$ 2,345 | |

| | 2021 Approved Budget | Impact of This Action/CAFR Adjustment | 2021 Amended Budget | <u>400 - Georgetown Transportation Enhancement Corp</u> |
|-------------------------------|----------------------|---------------------------------------|----------------------|---|
| Beginning Fund Balance | \$ 13,545,669 | 12,476,813 | \$ 26,022,482 | The amendment recognizes a 4% increase in the budget for sales tax revenue due to strong growth experienced in the past few months despite the pandemic economic conditions. This amendment also re-appropriates CIP projects started but not completed by the end of fiscal year 2020 which have ongoing encumbrances and bond proceeds to be spent in FY2021. |
| Revenues | | | | |
| Current Revenue | \$ 10,660,000 | \$ - | \$ 10,660,000 | |
| Sales Tax | \$ 7,937,500 | \$ 317,500 | \$ 8,255,000 | |
| Total Revenues | \$ 18,597,500 | \$ 317,500 | \$ 18,915,000 | |
| Expenses | | | | |
| Current Expenses | \$ 16,803,629 | \$ - | \$ 16,803,629 | |
| CIP Projects - Roll Forward | \$ - | \$ 12,476,813 | \$ 12,476,813 | |
| Total Expenses | \$ 16,803,629 | \$ 12,476,813 | \$ 29,280,442 | |
| Ending Fund Balance | \$ 15,339,540 | \$ 317,500 | \$ 15,657,040 | |
| Contingency | \$ 1,984,375 | | \$ 1,984,375 | |
| Debt Service Reserve | \$ 3,494,232 | | \$ 3,494,232 | |
| Available Fund Balance | \$ 9,860,933 | \$ 317,500 | \$ 10,178,433 | |

| | 2021 Approved Budget | Impact of This Action/CAFR Adjustment | 2021 Amended Budget | 420 - Georgetown Economic Development Corp |
|-------------------------------|----------------------|---------------------------------------|----------------------|--|
| Beginning Fund Balance | \$ 8,845,777 | \$ - | \$ 8,845,777 | The amendment recognizes a 4% increase in the budget for sales tax revenue due to strong growth experienced in the past few months despite the pandemic economic conditions. The next amendment reduced funds available for Economic Development Projects by \$1M and increases the Transfer Out by \$1M for the Titan project. The transfer is to the Electric Fund to cover its costs for the project. |
| Revenues | | | | |
| Current Revenue | \$ 19,000 | \$ - | \$ 19,000 | |
| Sales Tax | \$ 1,984,375 | \$ 79,375 | \$ 2,063,750 | |
| Total Revenues | \$ 2,003,375 | \$ 79,375 | \$ 2,082,750 | |
| Expenses | | | | |
| Other Expenses | \$ 684,355 | \$ - | \$ 684,355 | |
| Economic Development Projects | \$ 9,256,391 | \$ (1,000,000) | \$ 8,256,391 | |
| Transfer Out | \$ 200,169 | \$ 1,000,000 | \$ 1,200,169 | |
| Total Expenses | \$ 10,140,915 | \$ - | \$ 10,140,915 | |
| Ending Fund Balance | \$ 708,237 | \$ 79,375 | \$ 787,612 | |
| Contingency | \$ 505,468 | | \$ 505,468 | |
| Debt Service Reserve | \$ 202,769 | | \$ 202,769 | |
| Available Fund Balance | \$ - | \$ 79,375 | \$ 79,375 | |

| | 2021 Approved Budget | Impact of This Action/CAFR Adjustment | 2021 Amended Budget | 540 - Joint Services Fund |
|-------------------------------|----------------------|---------------------------------------|----------------------|--|
| Beginning Fund Balance | \$ 2,032,470 | | \$ 2,032,470 | The first amendment restores \$4,000 to the Legal Department's training budget. The second amendment appropriates \$65K through Customer Care, Purchasing and Systems Engineering for their share of the annual cost of utilities to operate the Georgetown Municipal Complex facility. The savings is already reflected in the Electric Fund's budget, which was previously covering the bills for all departments in the building. The amendment also includes expenses of \$3,500 in Purchasing for an Amazon Business Prime subscription for the City. This will save shipping costs across all funds throughout the City, as well as staff time administering change orders for shipping. |
| Revenues | | | | |
| Department Allocations | \$ 18,230,730 | \$ - | \$ 18,230,730 | |
| Total Revenues | \$ 18,230,730 | \$ - | \$ 18,230,730 | |
| Expenses | | | | |
| Legal | \$ 1,040,801 | \$ 7,146 | \$ 1,047,947 | |
| Customer Care | \$ 5,815,418 | \$ 170,995 | \$ 5,986,413 | |
| Purchasing | \$ 957,623 | \$ 44,346 | \$ 1,001,969 | |
| Systems Engineering | \$ 2,700,649 | \$ 52,262 | \$ 2,752,911 | |
| Finance Administration | \$ 1,246,039 | \$ 7,870 | \$ 1,253,909 | |
| Accounting | \$ 1,255,046 | \$ 9,438 | \$ 1,264,484 | Finance Administration and Systems Engineering are increased for salary market survey results. Personnel costs are increased \$80K across multiple cost centers for a one-time merit compensation to employees. Customer care is amended \$69K for billing printing services, \$59,747 for a new FTE; Business Systems Analyst, and a transfer out to the IT Fund are increased by \$3K for the IT equipment and software subscriptions for the new position in Customer Care. Systems Engineering is increased \$25,000 for continued consulting on implementing a Transportation Impact Fee. |
| Organizational Development | \$ 339,650 | \$ 2,360 | \$ 342,010 | |
| Conservation | \$ 803,853 | \$ 2,360 | \$ 806,213 | |
| Economic Development | \$ 565,544 | \$ 3,146 | \$ 568,690 | |
| Human Resources | \$ 1,493,902 | \$ 8,652 | \$ 1,502,554 | |
| Citywide HR | \$ 1,219,444 | \$ - | \$ 1,219,444 | |
| Non-Dept / Transfers Out | \$ 606,999 | \$ 3,000 | \$ 609,999 | |
| Total Expenses | \$ 18,044,968 | \$ 311,574 | \$ 18,356,542 | |
| Ending Fund Balance | \$ 2,218,232 | \$ (311,574) | \$ 1,906,658 | |
| Contingency | \$ 2,218,232 | \$ (311,574) | \$ 1,906,658 | |
| Available Fund Balance | \$ - | \$ 0 | \$ 0 | The Joint Services Fund contingency reserve is reduced. The cost allocation model will have to increase rates in future years to recover the fund balance required to meet policy. |
| | | | | |

| | 2021 Approved Budget | Impact of This Action/CAFR Adjustment | 2021 Amended Budget | 520 - Fleet Fund |
|--------------------------------------|----------------------|---------------------------------------|---------------------|--|
| Beginning Fund Balance | \$ 4,268,083 | \$ 1,576,740 | \$ 5,844,823 | <p>This amendment rolls forward \$1.1 million in beginning balance and in capital equipment expense for purchases started but not completed by the end of fiscal year 2020. The next proposed amendment includes increasing Vehicle Lease Allocation Revenue and Vehicle Maintenance Expense for \$41,900 each for the maintenance of held back vehicles for the Fire Department. The second amendment is to recognize a transfer in from the General Fund for \$493K to hold in fund balance for future Fire vehicle purchases. This comes from the ESD 8 contract revenue.</p> <p>The next amendment is to recognize \$283,140 in beginning fund balance from insurance proceeds booked in the prior year, as well as \$129,603 of insurance proceeds revenue pending in this fiscal year, and to appropriate \$327K for repair expenses of hail damaged vehicles. The next amendment appropriates \$134K in expense to purchase replacement vehicles that were totaled in a hail storm.</p> <p>The next amendment is to recognize \$179,738 of beginning fund balance for insurance proceeds posted in the prior year, FY2020, for the 2 totaled electric trucks. There is also a transfer in of \$81K from Electric Fund for bond proceeds to cover the remaining cost of replacing the 2 totaled electric trucks and a transfer in of \$22,875 to cover the remaining cost of two trailers that were approved in the budget process. Vehicle purchases expense is increased to buy the new replacements for these 2 units.</p> <p>There is also an amendment to recognize \$180K of revenue transfer in from other funds, and \$180K of expenses to purchase the 2 vehicles to support the new Inspector position and the new Sign and Signal positions added to the General Fund in this amendment.</p> <p>Finally, personnel costs are increased \$7,865 for one-time merit compensation for employees.</p> |
| Revenues | | | | |
| Other Revenues | \$ 5,217,079 | \$ - | \$ 5,217,079 | |
| Vehicle Lease Allocation | \$ 1,909,346 | \$ (339,217) | \$ 1,570,129 | |
| Insurance Proceeds | \$ - | \$ 128,602 | \$ 128,602 | |
| Transfers In - GCP | \$ - | \$ 180,000 | \$ 180,000 | |
| Transfers In - General Fund | \$ - | \$ 493,191 | \$ 493,191 | |
| Transfers In - Electric | \$ 274,500 | \$ 475,875 | \$ 750,375 | |
| Total Revenues | \$ 7,400,925 | \$ 938,451 | \$ 8,339,376 | |
| Expenses | | | | |
| Vehicle Purchases - New Replacements | \$ - | \$ 154,757 | \$ 154,757 | |
| Vehicle Purchases - New Vehicles | \$ - | \$ 202,875 | \$ 202,875 | |
| Vehicle Body Repair | \$ - | \$ 327,141 | \$ 327,141 | |
| Vehicle Maintenance | \$ 558,280 | \$ 45,400 | \$ 603,680 | |
| Other Expenses | \$ 6,848,668 | \$ 7,865 | \$ 6,856,533 | |
| Capital Equipment - Roll Forward | \$ - | \$ 1,113,863 | \$ 1,113,863 | |
| Total Expenses | \$ 7,406,948 | \$ 1,851,901 | \$ 9,258,849 | |
| Ending Fund Balance | \$ 4,262,060 | \$ 663,290 | \$ 4,925,350 | |
| Contingency | \$ 519,976 | | \$ 519,976 | |
| Non Operating Reserve | \$ 1,425,000 | \$ 439,191 | \$ 1,864,191 | |
| Available Fund Balance | \$ 2,317,084 | \$ 224,099 | \$ 2,541,183 | |

| | 2021 Approved Budget | Impact of This Action/CAFR Adjustment | 2021 Amended Budget | 500 - Facilities |
|-------------------------------|----------------------|---------------------------------------|---------------------|--|
| Beginning Fund Balance | \$ 2,050,773 | \$ 128,619 | \$ 2,179,392 | <p>Expenses are amended for salary market survey results, as well as for one-time merit compensation for employees. This also re-appropriates \$128K of funds for HVAC-maintenance projects not completed in FY2020.</p> |
| Revenues | | | | |
| Current Revenues | \$ 3,740,380 | \$ - | \$ 3,740,380 | |
| Total Revenues | \$ 3,740,380 | \$ - | \$ 3,740,380 | |
| Expenses | | | | |
| Current Expenses | \$ 3,976,296 | \$ 137,195 | \$ 4,113,491 | |
| Total Expenses | \$ 3,976,296 | \$ 137,195 | \$ 4,113,491 | |
| Ending Fund Balance | \$ 1,814,857 | \$ (8,576) | \$ 1,806,281 | |
| Contingency Reserve | \$ 473,982 | | \$ 473,982 | |
| Capital Reserve | \$ 1,340,875 | \$ (8,576) | \$ 1,332,299 | |
| Available Fund Balance | \$ - | \$ 0 | \$ 0 | |

| | 2021 Approved Budget | Impact of This Action/CAFR Adjustment | 2021 Amended Budget | 350 - Georgetown Village PID |
|------------------------|----------------------|---------------------------------------|---------------------|---|
| Beginning Fund Balance | \$ 394,229 | \$ 190,368 | \$ 584,597 | This amendment re-appropriates expenses for sidewalk maintenance and park improvements not completed in FY2020. |
| Revenues | | | \$ - | |
| Current Revenues | \$ 456,100 | \$ - | \$ 456,100 | |
| Total Revenues | \$ 456,100 | \$ - | \$ 456,100 | |
| Expenses | | | | |
| Current Expenses | \$ 311,018 | \$ 190,368 | \$ 501,386 | |
| Total Expenses | \$ 311,018 | \$ 190,368 | \$ 501,386 | |
| Ending Fund Balance | \$ 539,311 | \$ - | \$ 539,311 | |

| | 2021 Approved Budget | Impact of This Action/CAFR Adjustment | 2021 Amended Budget | 365 - Rivery Rivery Tax Increment Reinvestment Zone |
|------------------------|----------------------|---------------------------------------|---------------------|---|
| Beginning Fund Balance | \$ 433,375 | \$ - | \$ 433,375 | This fund is increasing appropriation by \$5,000 for expenditures for an economic feasibility study for the TIRZ as previously approved by Council. The fund will need to rebuild the debt service reserve in future years. |
| Revenues | | | | |
| Current Revenues | \$ 794,742 | \$ - | \$ 794,742 | |
| Total Revenues | \$ 794,742 | \$ - | \$ 794,742 | |
| Expenses | | | | |
| Current Expenses | \$ 623,368 | \$ 5,000 | \$ 628,368 | |
| Total Expenses | \$ 623,368 | \$ 5,000 | \$ 628,368 | |
| Ending Fund Balance | \$ 604,749 | \$ (5,000) | \$ 599,749 | |
| Debt Service Reserve | \$ 610,820 | \$ (11,071) | \$ 599,749 | |
| Available Fund Balance | \$ (6,071) | \$ 6,071 | \$ - | |

| | 2021 Approved Budget | Impact of This Action/CAFR Adjustment | 2021 Amended Budget | 362 - Downtown Tax Increment Reinvestment Zone |
|-------------------------------|----------------------|---------------------------------------|---------------------|---|
| Beginning Fund Balance | \$ 337,828 | \$ 155,760 | \$ 493,588 | This amendment recognizes savings in the fund in FY2020 and rolls forward \$100,000 of available beginning balance. It then appropriates a transfer out to the General Fund of \$100K to cover the cost of a one-year pilot program for concierge garbage and recycling services in the defined downtown area as previously approved by Council. This also re-appropriates the remaining landscaping design contract for City Center of \$55,760. |
| Revenues | | | | |
| Current Revenues | \$ 346,580 | \$ - | \$ 346,580 | |
| Total Revenues | \$ 346,580 | \$ - | \$ 346,580 | |
| Expenses | | | | |
| Current Expenses | \$ 600,000 | \$ 55,760 | \$ 655,760 | |
| Transfer Out - General Fund | \$ - | \$ 100,000 | \$ 100,000 | |
| Total Expenses | \$ 600,000 | \$ 155,760 | \$ 755,760 | |
| Ending Fund Balance | \$ 84,408 | \$ - | \$ 84,408 | |

| | 2021 Approved Budget | Impact of This Action/CAFR Adjustment | 2021 Amended Budget | 570 - Information Technology Fund |
|-------------------------------|----------------------|---------------------------------------|---------------------|--|
| Beginning Fund Balance | \$ 1,725,215 | \$ - | \$ 1,725,215 | Revenue from Transfers In and Expenses for IT equipment and software are each increased by \$27,000 for the 9 new positions added in the General, Joint and Water funds in the amendment. Personnel expenses are increased \$25K for the one-time merit compensation, and Reserve for capital is reduced by the same amount. |
| Revenues | | | | |
| Current Revenues | \$ 9,622,591 | \$ - | \$ 9,622,591 | |
| Transfer In | \$ 54,000 | \$ 27,000 | \$ 81,000 | |
| Total Revenues | \$ 9,676,591 | \$ 27,000 | \$ 9,703,591 | |
| Expenses | | | | |
| Current Expenses | \$ 9,179,384 | \$ 25,168 | \$ 9,204,552 | |
| Computer Hardware | \$ 808,542 | \$ 27,000 | \$ 835,542 | |
| Total Expenses | \$ 9,987,926 | \$ 52,168 | \$ 10,040,094 | |
| Ending Fund Balance | \$ 1,413,880 | \$ (25,169) | \$ 1,388,712 | |
| Contingency | \$ 1,053,449 | \$ - | \$ 1,053,449 | |
| Reserve for Capital | \$ 360,431 | \$ (25,169) | \$ 335,263 | |
| Available Fund Balance | \$ - | \$ - | \$ - | |

| | 2021 Approved Budget | Impact of This Action/CAFR Adjustment | 2021 Amended Budget | 600 - Airport Fund |
|---------------------------------|----------------------|---------------------------------------|---------------------|--|
| Beginning Fund Balance | \$ 1,219,047 | \$ 209,067 | \$ 1,428,114 | This amendment re-appropriates ongoing construction 10% match costs associated with TXDOT Aviation grants. Legal expenses are increased \$95,000 for rate review. Personnel expenses are increased for a one-time merit compensation to employees. Additional appropriation of \$70K is needed for equipment from ACTC Communication CAREs. |
| Revenues | | | | |
| Current Revenues | \$ 4,156,500 | \$ - | \$ 4,156,500 | |
| Total Revenues | \$ 4,156,500 | \$ - | \$ 4,156,500 | |
| Expenses | | | | |
| Current Expenses | \$ 4,452,051 | \$ 378,393 | \$ 4,830,444 | |
| Total Expenses | \$ 4,452,051 | \$ 378,393 | \$ 4,830,444 | |
| Ending Fund Balance | \$ 923,496 | \$ (169,326) | \$ 754,170 | |
| Contingency | \$ 332,917 | \$ - | \$ 332,917 | |
| Reserve for Debt service | \$ 141,478 | \$ - | \$ 141,478 | |
| Available Fund Balance | \$ 449,101 | \$ (169,326) | \$ 279,775 | |

| | 2021 Approved Budget | Impact of This Action/CAFR Adjustment | 2021 Amended Budget | 610 - Electric |
|--|----------------------|---------------------------------------|----------------------|---|
| Beginning Fund Balance | \$ 18,892,253 | \$ 810,452 | \$ 19,702,705 | <p>Several amendments are proposed for the Electric Fund in a continued effort to improve the fund's financial position and to benefit electric customers. First, \$800K of beginning fund balance and \$1.2 million of CIP expense are rolling forward from FY2020. These funds are to complete multi-year projects and to continue to use available bond proceeds. Electric Charges revenue budget is reduced by \$5 million for the 1 cent reduction in the Power Cost Adjustment. The Non-Operating Reserve is lowered but still within bounds of financial policy.</p> <p>Expenses for salary and benefits are reduced by \$500K in Electric Engineering and by \$1.5M in Transmission and Distribution cost centers. These labor costs will be capitalized to the Capital Improvement Projects. The Transmission and Distribution operations budget for replacement meters is reduced by \$130,000.</p> <p>Bond Proceed revenue is increased by \$372,000 for the purpose of debt-funding vehicles on the replacement schedule, and the funds are transferred out to Fleet Fund where the units are purchased. Proceeds are further increased \$81,000 for totaled vehicles needing replacement that were not on the planned schedule. Insurance proceeds do not cover the full replacement cost. There is a corresponding increase in Transfer Out to Fleet Fund where vehicles are purchased on behalf of Electric. The Fleet Lease Allocation expense is reduced \$396,617 as part of the transition to debt-funding replacement vehicles. The reduction is spread across 5 cost centers. Debt payments will increase for Electric in subsequent fiscal years, but the debt coverage ratio will be affected minimally.</p> <p>Bond Proceed revenue and Capital Improvement Project Expense are both increased by \$100,000 for consulting engineer services. There is also a \$200K increase in bond proceed revenue and CIP expense for the upgrade of the GeoDigital software. The next amendment includes revenue from Transfer - In from GEDCO for \$1 million, and increase to CIP Expense of \$1 million, both for the Titan economic development project approved by Council.</p> <p>Electric Administration costs are increased for the market salary study. Personnel expenses are increased \$50K throughout the cost centers for a one-time merit compensation for employees.</p> <p>Finally, the Reserve for Bond proceeds is increased by \$2.2 million to pay off the remaining debt services on the transformer assets sold to LCRA. The original \$1.2 million was an estimate, and since the sale is completed the assets were finalized.</p> |
| Revenues | | | | |
| Other Revenues | \$ 6,131,560 | \$ - | \$ 6,131,560 | |
| Electric Charges | \$ 83,982,278 | \$ (5,000,000) | \$ 78,982,278 | |
| Bond Proceeds | \$ 5,648,625 | \$ 1,000,000 | \$ 6,648,625 | |
| Transfers In | \$ 379,308 | \$ 1,000,000 | \$ 1,379,308 | |
| Total Revenues | \$ 96,141,771 | \$ (3,000,000) | \$ 93,141,771 | |
| Expenses | | | | |
| Non-Dept / Debt Service | \$ 4,152,805 | \$ - | \$ 4,152,805 | |
| Non-Dept / Transfer Out | \$ 4,756,000 | \$ - | \$ 4,756,000 | |
| Transfer Out - Fleet Fund | \$ 274,500 | \$ 475,875 | \$ 750,375 | |
| Capital Improvement Projects - Current | \$ 5,351,250 | \$ 1,547,000 | \$ 6,898,250 | |
| CIP Projects - Roll Forward | \$ - | \$ 1,267,893 | \$ 1,267,893 | |
| Electric Technical Services | \$ 722,419 | \$ (10,654) | \$ 711,765 | |
| Electric Administration | \$ 9,026,647 | \$ (288,598) | \$ 8,738,050 | |
| Metering Services | \$ 2,042,512 | \$ (33,133) | \$ 2,009,379 | |
| Electric Resource Management | \$ 60,332,820 | \$ 1,573 | \$ 60,334,393 | |
| Electric Engineering - Operations | \$ 1,151,223 | \$ (514,354) | \$ 636,869 | |
| Transmission and Distribution - Operations | \$ 4,527,761 | \$ (1,478,765) | \$ 3,048,997 | |
| Electric Systems Operations | \$ 1,584,011 | \$ (135,109) | \$ 1,448,903 | |
| Total Expenses | \$ 93,921,948 | \$ 831,729 | \$ 94,753,677 | |
| Ending Fund Balance | \$ 21,112,076 | \$ (3,021,277) | \$ 18,090,799 | |
| Contingency | \$ 4,018,754 | | \$ 4,018,754 | |
| Non Operating Reserve | \$ 15,847,362 | \$ (5,252,363) | \$ 10,594,999 | |
| Reserved Bond Proceeds | \$ 1,245,960 | \$ 2,231,086 | \$ 3,477,046 | |
| Available Fund Balance | \$ - | \$ (0) | \$ (0) | |

| | 2021 Approved Budget | Impact of This Action/CAFR Adjustment | 2021 Amended Budget | 640 - Stormwater Fund |
|---------------------------------|----------------------|---------------------------------------|---------------------|--|
| Beginning Fund Balance | \$ 1,617,677 | \$ 722,749 | \$ 2,340,426 | This fund is amended to recognize it's share of the annual cost of utilities at the Georgetown Municipal Complex. Savings in the Electric Fund is already accounted. The amendment reduces bond proceeds revenue of \$500,000. Available proceeds will be used for existing projects. This amendment also re-appropriates \$722K of beginning balance and CIP expense for projects started but not completed by the end of fiscal year 2020. Personnel costs are increased \$6,300 for a one-time merit compensation to employees. |
| Revenues | | | | |
| Current Revenues | \$ 4,351,000 | \$ - | \$ 4,351,000 | |
| Bond Proceeds | | \$ (500,000) | \$ (500,000) | |
| Total Revenues | \$ 4,351,000 | \$ (500,000) | \$ 3,851,000 | |
| Expenses | | | | |
| Current Expenses | \$ 4,368,436 | \$ 11,058 | \$ 4,379,494 | |
| CIP Projects - Roll Forward | | \$ 722,749 | \$ 722,749 | |
| Total Expenses | \$ 4,368,436 | \$ 733,807 | \$ 5,102,243 | |
| Ending Fund Balance | \$ 1,600,241 | \$ (511,058) | \$ 1,089,183 | |
| Contingency | \$ 389,470 | | \$ 389,470 | |
| Reserve for Debt service | \$ 480,662 | | \$ 480,662 | |
| Available Fund Balance | \$ 730,109 | \$ (511,058) | \$ 219,051 | |

| | 2021 Approved Budget | Impact of This Action/CAFR Adjustment | 2021 Amended Budget | 660 - Water Fund |
|-------------------------------|----------------------|---------------------------------------|-----------------------|---|
| Beginning Fund Balance | \$ 31,137,205 | \$ 84,374,613 | \$ 115,511,818 | The amendment recognizes the fund's share of utility costs at the Georgetown Municipal Complex facility. Savings are already accounted in the Electric Fund. Water Administration is amended to add an additional FTE, an Operations Engineer. This position is an additional \$93,750 plus an increase in the transfer out to IT by \$3,000 for the new position's cost of equipment and software. Personnel costs are increased by \$50K for one-time merit compensation for employees. This amendment rolls forward \$86.2 million in capital project expense for numerous projects that span multiple years and were not completed in FY2020. The beginning balance roll forward is \$2 million less because some of the available funds are already in the approved beginning balance. |
| Revenues | | | | |
| Current Revenues | \$ 88,324,750 | \$ - | \$ 88,324,750 | |
| Total Revenues | \$ 88,324,750 | \$ - | \$ 88,324,750 | |
| Expenses | | | | |
| Other Expenses | \$ 58,565,258 | \$ 53,336 | \$ 58,618,594 | |
| Water Administration | \$ 26,277,319 | \$ 105,714 | \$ 26,383,033 | |
| CIP Projects - Roll Forward | | \$ 86,254,949 | \$ 86,254,949 | |
| Total Expenses | \$ 84,842,577 | \$ 86,413,999 | \$ 171,256,576 | |
| Ending Fund Balance | \$ 34,619,378 | \$ (2,039,386) | \$ 32,579,992 | |
| Contingency | \$ 9,127,742 | | \$ 9,127,742 | |
| Non-Operating Reserve | \$ 10,000,000 | | \$ 10,000,000 | |
| Available Fund Balance | \$ 15,491,636 | \$ (2,039,386) | \$ 13,452,250 | |

TOTAL CHANGE IN EXPENSE APPROPRIATION \$ 140,920,264

| | | | |
|---------------------------------|--------|------|---|
| POSITION CONTROL SCHEDULE - FTE | 775.50 | 1.00 | Heavy Equipment Operator, General Fund - Streets |
| | | 2.00 | Sign and Signal Tech, General Fund - Streets |
| | | 2.00 | Building Inspector, General Fund - Inspections |
| | | 1.00 | Senior Planner, General Fund - Planning |
| | | 1.00 | Planning Assistant, General Fund - Planning |
| | | 1.00 | Business Systems Analyst, Joint Services Fund - Customer Ca |
| | | 1.00 | Engineer, Water Fund - Water Admin |
| | | 9.00 | 784.50 |

Exhibit B - CIP Roll Forward Detail by Fund, Cost Center, and Project Name

| CIP Roll Forward Budgets | FY2021 Roll Forward |
|---------------------------------------|---------------------|
| 120 | |
| CC0211 | |
| ADA FACILITIES | 650,000.00 |
| GAREY PARK | 254,873.68 |
| KATY CROSSING TRAIL | 17,779.82 |
| NEIGHBORHOOD PARK DEV | 72,077.86 |
| SAN GABRIEL PARK IMPR | 115,403.70 |
| TRAIL DEVELOPMENT | 268,341.14 |
| CC0211 Total | 1,378,476.20 |
| CC0302 | |
| ERP PROJECT | 769,466.14 |
| CC0302 Total | 769,466.14 |
| CC0319 | |
| HVAC REPLACEMENT | 700,000.00 |
| CC0319 Total | 700,000.00 |
| CC0402 | |
| FIRE SCBA | 290,000.00 |
| PUBLIC SAFETY EQUIP(CARDIAC MONITORS) | 225,000.00 |
| CC0402 Total | 515,000.00 |
| CC0526 | |
| SW BYPASS/WOLF RANCH | 1,754,588.49 |
| CC0526 Total | 1,754,588.49 |
| CC0533 | |
| TRANSFER STATION/LAND | 5,089,556.00 |
| CC0533 Total | 5,089,556.00 |
| CC0602 | |
| DOWNTOWN LANDSCAPING & PUBLIC ART | 50,960.00 |
| DOWNTOWN PARKING EXPA | 21,058.50 |
| DOWNTOWN PARKING GARA | 297,205.00 |
| DOWNTOWN WEST SIGNAGE | 125,000.00 |
| EOC SIREN SYSTEM | 15,525.00 |
| FIRE STATION 6 | 287,109.29 |
| FIRE STATION 7 | 718,072.67 |
| FUEL STATION | 1,100,000.00 |
| GMC REMODEL | 250,000.00 |

| | |
|-------------------------------------|----------------------|
| CC0602 Total | 2,864,930.46 |
| CC0702 | |
| DIGITAL MOBILE VIDEO (Body Cameras) | 62,588.06 |
| CC0702 Total | 62,588.06 |
| CC0802 | |
| AUSTIN AVE. (SH29-FM2243) | 47,984.33 |
| AUSTIN AVENUE BRIDGE | 12,629.64 |
| DOWNTOWN SIDEWALK | 1,103,959.47 |
| FM 1460 | 948,981.68 |
| INTERSECTION IMPROVEM | 1,157,907.80 |
| LEANDER RD(SW BYPASS) | 6,459,279.40 |
| SE INNER LOOP ROCKRIDE | 115,000.00 |
| SHELL ROAD SIDEWALK | 26,070.00 |
| SOUTHWESTERN BLVD | 3,586,323.00 |
| WESTINGHOUSE/SCENIC TRAFFI | 568,050.50 |
| CC0802 Total | 14,026,185.82 |
| CC0846 | |
| FM 971 | 3,832,302.51 |
| NORTHWEST BLVD BRIDGE | 4,185,787.00 |
| SOUTHEAST INNER LOOP | 315,290.34 |
| CC0846 Total | 8,333,379.85 |
| 120 Total | 35,494,171.02 |
| 402 | |
| CC0500 | |
| FM971/Fontana | 48,657.00 |
| Rabbit Hill Rd | 4,386,209.19 |
| Rivery Ext (Williams Dr) | 251,122.79 |
| SE Inner Loop Widening | 6,250,000.00 |
| SH29 | 1,540,824.30 |
| CC0500 Total | 12,476,813.28 |
| 402 Total | 12,476,813.28 |
| 520 | |
| CC0320 | |
| Fire Vehicles | 755,828.54 |
| Police Vehicles | 178,714.81 |
| Vehicles | 179,319.00 |
| CC0320 Total | 1,113,862.35 |
| 520 Total | 1,113,862.35 |

| | |
|-------------------------|---------------------|
| 612 | |
| CC0557 | |
| DB Wood | 1,611.60 |
| IH35 Mobility Project | 28,822.00 |
| New Development | 1,237,180.00 |
| Shell Rd Feeders | 279.00 |
| CC0557 Total | 1,267,892.60 |
| 612 Total | 1,267,892.60 |
| 642 | |
| CC0845 | |
| 18th and Hutto Drainage | 158,824.00 |
| Curb & Gutter | 263,925.00 |
| Drainage Improvements | 300,000.00 |
| CC0845 Total | 722,749.00 |
| 642 Total | 722,749.00 |
| 662 | |
| CC0526 | |
| BERRY CREEK INTER (BC 4 | 25,777,976.45 |
| CEDAR BREAKS | 236,730.00 |
| CR 255 (WD14-2) | 1,817,359.45 |
| DB WOOD/ PASTOR 24 DEDI | 2,420,841.74 |
| EARZ | 2,337,127.05 |
| GATLIN/TERA VISTA IMPRO | 450,000.00 |
| LEANDER INTERCONNECT | 192,037.76 |
| LIFT STATION UPGRADE | 1,173,592.50 |
| LWTP RAW WATER INTAKE | 16,300,816.77 |
| MISC LINE UPGRADES | 410,263.35 |
| PARK LIFT STATION & FOR | 2,981,038.94 |
| PARK WTP CLEARWELL | 992,279.00 |
| PUMPS & STORAGE | 1,000,000.00 |
| RABBIT HILL WATERLINE | 1,050,000.00 |
| RONALD REAGAN/DANIELS M | 201,410.56 |
| ROUND ROCK SUPPLY LINE | 989,063.00 |
| SAN GABRIEL BELT PRESS | 261,449.70 |
| SAN GABRIEL INTER SGI-2 | 4,375,055.00 |
| SAN GABRIEL WWTP | 1,240,262.43 |
| SHELL ROAD WATER LINE | 6,111,101.00 |
| SOUTHLAKE WTP | 8,308,615.40 |
| SW BYPASS WATER H24-1 | 339,689.00 |
| TANK REHABILITATION | 1,931,687.78 |
| WATER MAINS | 1,173,749.15 |
| WEST LOOP (H-1A) | 1,671,614.86 |
| WW INTERCEPTORS | 608,431.00 |

| | |
|---------------------|-----------------------|
| WWTP UPGRADE/EXP | 1,150,000.30 |
| CC0526 Total | 85,502,192.19 |
| | |
| CC0527 | |
| AMI SYSTEM | 750,000.00 |
| CC0527 Total | 750,000.00 |
| | |
| CC0529 | |
| PLANT UPGRADE | 2,756.72 |
| CC0529 Total | 2,756.72 |
| | |
| 662 Total | 86,254,948.91 |
| | |
| Grand Total | 137,330,437.16 |

Exhibit C - Position Control Schedule

| Exhibit C: | | | | | | |
|--|---------------|---------------|---------------|-----------------------|----------------------|-----------------------|
| Position Control | FY2018 | FY2019 | FY2020 | FY2021 Adopted Budget | FY2021 CIP Amendment | FY2021 Amended Budget |
| 100 General Fund | | | | | | |
| CC0107 Planning | 12.00 | 13.00 | 13.00 | 13.00 | 2.00 | 15.00 |
| CC0202 Parks Administration | 2.00 | 2.00 | 2.00 | 2.00 | | 2.00 |
| CC0210 Library | 23.50 | 23.50 | 23.50 | 23.50 | | 23.50 |
| CC0211 Parks | 20.00 | 21.00 | 20.00 | 20.00 | | 20.00 |
| CC0212 Recreation | 21.00 | 21.00 | 22.00 | 22.00 | | 22.00 |
| CC0213 Tennis Center | 3.50 | 3.50 | 3.50 | 3.50 | | 3.50 |
| CC0214 Recreation Programs | 5.00 | 5.00 | 5.00 | 5.00 | | 5.00 |
| CC0215 Garey Park | 7.50 | 7.50 | 7.50 | 7.50 | | 7.50 |
| CC0218 Arts and Culture | 0.50 | 0.50 | 0.50 | 0.50 | | 0.50 |
| CC0316 Municipal Court | 6.50 | 6.50 | 6.50 | 6.50 | | 6.50 |
| CC0402 Fire Support Services/Administration | 14.00 | 15.00 | 15.00 | 15.00 | | 15.00 |
| CC0422 Fire Emergency Services | 87.50 | 106.00 | 106.00 | 112.00 | | 112.00 |
| CC0448 EMS | - | 23.00 | 23.00 | 23.00 | | 23.00 |
| CC0536 Inspection Services | 14.00 | 15.00 | 15.00 | 15.00 | 2.00 | 17.00 |
| CC0602 Administrative Services | 9.00 | 9.00 | 12.00 | 11.00 | | 11.00 |
| CC0605 Community Services | - | - | 2.00 | 2.00 | | 2.00 |
| CC0635 City Secretary Services | 6.00 | 6.00 | 6.00 | 6.00 | | 6.00 |
| CC0655 Communications/Public Engagement | 3.00 | 3.00 | 4.00 | 5.00 | | 5.00 |
| CC0702 Police Administration | 4.00 | 4.00 | 4.00 | 4.00 | | 4.00 |
| CC0742 Police Operations | 109.50 | 110.50 | 116.50 | 118.50 | | 118.50 |
| CC0744 Animal Services | 10.50 | 11.50 | 11.50 | 12.00 | | 12.00 |
| CC0745 Code Compliance | 5.00 | 5.00 | 6.00 | 6.00 | | 6.00 |
| CC0802 Public Works | 4.00 | 4.00 | 5.00 | 5.00 | | 5.00 |
| CC0846 Streets | 19.75 | 19.75 | 19.00 | 19.00 | 3.00 | 22.00 |
| 100 General Fund Total | 387.75 | 435.25 | 448.50 | 457.00 | 7.00 | 464.00 |
| 201 Tourism | | | | | | |
| CC0208 CVB | 4.50 | 4.50 | 5.00 | 5.00 | | 5.00 |
| 201 Tourism Total | 4.50 | 4.50 | 5.00 | 5.00 | | 5.00 |
| 244 Paramedic Fund | | | | | | |
| CC0448 EMS | 22.50 | - | - | - | | - |
| 244 Paramedic Fund Total | 22.50 | - | - | - | | - |
| 500 Facilities Maintenance Fund | | | | | | |
| CC0319 Facilities | 6.00 | 6.00 | 6.00 | 7.00 | | 7.00 |
| 500 Facilities Maintenance Fund Total | 6.00 | 6.00 | 6.00 | 7.00 | | 7.00 |
| 520 Fleet Services Fund | | | | | | |
| CC0320 Fleet | 9.00 | 10.00 | 10.00 | 10.00 | | 10.00 |
| 520 Fleet Services Fund Total | 9.00 | 10.00 | 10.00 | 10.00 | | 10.00 |
| 540 Joint Service Fund | | | | | | |
| CC0302 Finance Administration | 6.00 | 6.00 | 6.00 | 6.00 | | 6.00 |
| CC0315 Accounting | 11.00 | 11.00 | 12.00 | 12.00 | | 12.00 |
| CC0317 Purchasing | 8.00 | 8.00 | 9.00 | 9.00 | | 9.00 |
| CC0321 Customer Care | 24.00 | 24.00 | 25.00 | 26.00 | 1.00 | 27.00 |
| CC0502 Georgetown Utility Administration | 10.00 | 9.00 | - | - | | - |
| CC0503 Organizational and Operational Excellence | - | 2.00 | 3.00 | 3.00 | | 3.00 |
| CC0526 Systems Engineering | 18.00 | 19.00 | 20.00 | 21.00 | | 21.00 |
| CC0534 Conservation | 5.00 | 4.00 | 4.00 | 3.00 | | 3.00 |
| CC0547 Business System Services | 10.00 | 10.00 | 10.00 | - | | - |
| CC0637 Economic Development | 4.00 | 4.00 | 4.00 | 4.00 | | 4.00 |
| CC0639 Human Resources | 8.00 | 8.00 | 12.00 | 12.00 | | 12.00 |
| CC0654 Legal | 5.00 | 5.00 | 5.00 | 5.00 | | 5.00 |
| 540 Joint Service Fund Total | 109.00 | 110.00 | 110.00 | 101.00 | 1.00 | 102.00 |
| 570 Information Technology Fund | | | | | | |
| CC0652 IT Infrastructure | 22.50 | 25.00 | 25.00 | 11.00 | | 11.00 |
| CC0662 Applications | - | - | - | 13.00 | | 13.00 |
| CC0672 Fiber | - | - | - | 2.00 | | 2.00 |
| CC0682 IT Administration | - | - | - | 8.00 | | 8.00 |
| CC0692 IT Public Safety | - | - | - | 4.00 | | 4.00 |
| 570 Information Technology Fund Total | 22.50 | 25.00 | 25.00 | 38.00 | | 38.00 |
| 600 Airport Operations | | | | | | |
| CC0636 Airport | 5.50 | 6.00 | 6.00 | 6.00 | | 6.00 |
| 600 Airport Operations Total | 5.50 | 6.00 | 6.00 | 6.00 | | 6.00 |
| 610 Electric Services | | | | | | |
| CC0521 Electric Technical Services | 5.00 | 5.00 | 5.00 | 4.00 | | 4.00 |
| CC0522 Electric Administration | - | - | 3.00 | 4.00 | | 4.00 |
| CC0524 Metering Services | 12.00 | 12.00 | 12.00 | 11.00 | | 11.00 |
| CC0525 T&D Services | 33.00 | 33.00 | 33.00 | 33.00 | | 33.00 |

| Exhibit C: | | | | | | |
|--------------------------------------|---------------|---------------|---------------|-----------------------|----------------------|-----------------------|
| Position Control | FY2018 | FY2019 | FY2020 | FY2021 Adopted Budget | FY2021 CIP Amendment | FY2021 Amended Budget |
| CC0537 Electric Resource Management | 3.00 | 3.00 | - | - | | - |
| CC0555 Electric Systems Operations | 16.50 | 16.50 | 14.00 | 16.00 | | 16.00 |
| CC0557 Electrical Engineering | 7.00 | 7.00 | 7.00 | 8.00 | | 8.00 |
| 610 Electric Services Total | 76.50 | 76.50 | 74.00 | 76.00 | | 76.00 |
| 640 Stormwater Services | | | | | | |
| CC0845 Stormwater | 8.50 | 8.50 | 8.50 | 8.50 | | 8.50 |
| 640 Stormwater Services Total | 8.50 | 8.50 | 8.50 | 8.50 | | 8.50 |
| 660 Water Services | | | | | | |
| CC0527 Water Services Administration | 0.50 | 1.00 | 3.00 | 4.00 | 1.00 | 5.00 |
| CC0529 Water Plant Management | 8.00 | 9.00 | 9.00 | 9.00 | | 9.00 |
| CC0531 Wastewater Plant Management | 7.00 | 7.00 | 7.00 | 7.00 | | 7.00 |
| CC0553 Water Operations | 43.00 | 47.00 | 48.00 | 47.00 | | 47.00 |
| 660 Water Services Total | 58.50 | 64.00 | 67.00 | 67.00 | 1.00 | 68.00 |
| Grand Total | 710.25 | 745.75 | 760.00 | 775.50 | 9.00 | 784.50 |

City of Georgetown, Texas
City Council Regular Meeting
January 12, 2021

SUBJECT:

First Reading of an Ordinance of the City Council of the City of Georgetown, Texas, **amending Ordinance 2020-58 extending the duration of a temporary license to encroach process for expanded downtown seating and retail areas** within city right of way and parking as a result of the COVID-19 pandemic; repealing conflicting ordinances and resolutions; providing a severability clause; and setting an effective date -- Travis Baird, Real Estate Services Manager

ITEM SUMMARY:

The COVID-19 pandemic has created unprecedented complications for our community. The need to provide additional space to maintain social distancing has significantly reduced the occupancy limits of business premises and requires novel ways of providing sufficient capacity to support the local business community. The hardship introduced by this space constraint is especially acute in more densely developed areas, such as Georgetown's Downtown, in which business premises are often fully developed and lack additional space to re-purpose at this time.

In September 2020 the City Council passed an ordinance establishing a temporary program to allow the use of on street parking in portions of the Downtown to address the limitations and concerns outlined above. Though the temporary program has not seen broad use, it has provided support to a local business within the Downtown. This temporary program ended on December 31st, and the license issued under the program will expire January 30th. This item is the first reading of an ordinance which would extend the program and allow for the temporary extension of retail and/or food/drink service on premises service into on-street parking spaces. The ordinance continues to provide for a temporary license program, authorizes the City manager to issue such licenses, and provides specific regulations as well as direction to create a final license form and process for issuance.

Staff recommends approval of this item.

Project #600-2000-0002

FINANCIAL IMPACT:

N/A.

SUBMITTED BY:

Travis Baird- Real Estate Services Manager

ATTACHMENTS:

PROPOSED Ordinance

Presentation

Existing Ordinance

ORDINANCE NO. _____

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF GEORGETOWN, TEXAS, AMENDING ORDINANCE NO. 2020-58 EXTENDING THE DURATION OF A TEMPORARY LICENSE TO ENCROACH PROCESS FOR EXPANDED DOWNTOWN SEATING AND RETAIL AREAS WITHIN CITY RIGHT OF WAY AND PARKING AS A RESULT OF THE COVID 19 PANDEMIC; REPEALING CONFLICTING ORDINANCES AND RESOLUTIONS; PROVIDING A SEVERABILITY CLAUSE; AND SETTING AN EFFECTIVE DATE.

WHEREAS, the COVID 19 pandemic has resulted in social distancing requirements and reduced capacity limits adversely affecting downtown businesses; and,

WHEREAS, a temporary program was established by Ordinance No. 2020-58 which allowed downtown businesses to utilize certain adjacent parking spots to provide extended retail and dining service areas to help support the downtown businesses during the pandemic and promote the health and safety of the City's residents;and,

WHEREAS, though that temporary program expired on December 31, 2020, and all such licenses issued thereunder will expire on January 30, 2021, the COVID 19 pandemic is ongoing and the adverse effects on local businesses and public health continue.

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF GEORGETOWN, TEXAS, THAT:

Section 1. The meeting at which this ordinance was approved was in all things conducted in compliance with the Texas Open Meetings Act, Texas Government Code, Chapter 551.

Section 2. The facts and recitations contained in the preamble of this ordinance are hereby found and declared to be true and correct and are incorporated by reference herein and expressly made a part hereof, as if copied verbatim.

Section 3. The 2020 Downtown Temporary License to Encroach Program is hereby continued until May 31, 2021.

Section 4. Authority to issue Downtown Temporary License to Encroach is delegated by City Council as follows:

- A. The City Manager or the City Manager's Designee is authorized to issue a temporary license to encroach to businesses to allow use of certain street parking for extended food/drink service areas or retail service areas pursuant to the requirements of this Ordinance.
- B. All other improvements in or uses of a public right-of-way not specified in this Ordinance may only be approved as specifically provided by other ordinances or

by the city council, subject to applicable laws.

- C. A Temporary License to Encroach issued under this Ordinance is a revocable grant of a privilege and is not a property right, nor conveyance of an interest in real property.

Section 5. The following requirements shall apply to all Downtown Temporary License to Encroaches.

- A. *Locations allowed.* Downtown Temporary License to Encroaches may only be issued for existing, marked parking spaces within the following rights of way: 7th, 8th, and 9th Streets between Rock and Church Streets; and Rock, Main, and Church Streets between 7th and 9th Street. A license shall only be granted for the areas in the right-of-way that abuts any face of the business premises, unless a business owner has obtained the written consent of a business that is an immediate neighbor of said business.
- B. *Permitted Uses.* Downtown temporary licenses to encroach may only be granted for an extension of on-premises services, and all food and drink service in license areas must comply with all applicable regulations.
- C. *Uses and improvements not allowed.* No downtown temporary license to encroach may be granted for:
1. any building or structure requiring a building permit; or
 2. any use or improvement requiring permanent alteration to the right of way including but not limited to bolting or securing improvements to the right of way or the removal of paint, a markings, surface treatment or any other City property or improvement; or
 3. any improvement, facility or use, the installation or allowance of which would:
 - a. result in interference with marked ADA parking or any other applicable local, state or federal health or safety law or regulation;
 - b. unduly interfere with the free passage of vehicles on the street or of pedestrians on the sidewalk;
 - c. create a traffic hazard; unduly interfere with the safe and efficient operation of a utility facility;
 - d. create undue adverse impacts on adjacent property owners and businesses; or
 - e. block the sight visibility triangle at an intersection; or.
 - f. require the relocation of any utility or utility facility.
- D. *General requirements for all downtown temporary licenses to encroach.* A license applicable to permitted uses and improvements allowed under this Ordinance, shall include, as applicable:
1. all technical standards and specifications developed to implement this Ordinance including the following:

- a. Minimum distance from roadway intersections
 - b. Minimum distance from intersections of driveways with public rights of way
 - c. Minimum distance from travel lanes
 - d. Maintenance of the license areas including removal of refuse/waste and abatement of nuisances
2. terms and restrictions necessary to protect public use of the public right-of-way or the facilities and access needs of a public or private utility provider;
3. specifications for required clearances between the improvements and utility facilities, whether above ground, underground or overhead, as prescribed by applicable building and health and safety codes, franchise agreements or state or federal laws;
4. authorization for the city or a utility provider to remove, without liability, all or part of the improvements, if necessary, to obtain access to an affected utility facility;
5. provisions approved by the City Attorney that require the licensee to indemnify, defend, hold harmless and release the city, its officers, agents, and employees from any and all claims, losses, damages, causes of action, suits, and liability of every kind, including all expenses of litigation for injury or death of any person, or for damage to any property, arising out of or in connection with licensee's use of public right-of-way;
6. a provision specifying that the term or expiration date of the license shall not exceed August 31, 2021;
7. a provision for termination of the license for violation of its terms, subject to notice of the violation and an opportunity to cure the violation within ten (10) calendar days after receipt of the notice, except that violation of the expiration date shall be addressed immediately;
8. a provision for termination of the license by the city without recourse before the end of the license term when necessary to implement a capital improvements or utility project, to address threats to public health or safety, or to mitigate adverse impacts to adjacent property owners and businesses caused by the improvement or use for which the license is granted;
9. a provision providing for the prompt removal of all improvements or cessation of uses upon termination of the license at the Licensee's expense, including the right of the city to remove improvements upon failure of the Licensee to do so and to recover the city's cost for such removal; and
10. *COVID-19 Requirements.* All licensees shall have read and shall follow the protocols, practices, and guidelines, as applicable to their business, specified in the Governor's Executive Orders and Local Emergency Orders, and any potential amendments. Violations of this section shall result in the licensee receiving a verbal warning and an opportunity to comply with this section. If a second violation occurs, the license may be

revoked immediately and the improvements may be removed.

Section 6. The following insurance requirements shall apply to all Downtown Temporary License to Encroach.

A. Insurance for Downtown Temporary License to Encroach

1. No downtown temporary license to encroach shall be granted unless the licensee files with the city manager or city manager's designee a certificate of liability insurance or other proof of insurance in a form acceptable to the City confirming that the applicant has procured the general liability insurance, alcohol service insurance if applicable and worker's compensation required by this section. If the policy is not kept in full force and effect throughout the term of the license, the license shall automatically become void and the improvements must be removed at that time.
2. Minimum coverages. Licensee must maintain the following minimum coverages:
 - a. The general liability insurance shall provide coverage in an amount of not less than \$1,000,000.00 for each single occurrence, and \$2,000,000.00 aggregate.
 - b. If applicable, alcohol service insurance coverage in amount not less than \$1,000,000.00.
 - c. Worker's compensation coverage in an amount of not less than \$500,000.00.
3. The insurance policy shall be issued by an insurance company authorized to do business in the state. The policy shall provide in substance that the insurer will defend against all claims and lawsuits which arise and will pay any final judgment of a court of competent jurisdiction against the city, its officers, agents or employees. The minimum amounts of insurance coverage may be increased by the city when it is in the best interest of the public. The policy of insurance shall name both the licensee and the city as insured parties to the full amount of the policy limits.

Section 7. An application for a downtown temporary license to encroach under this ordinance must be filed with the department designated by the City Manager on a form approved by the City Manager or the City Manager's Designee

Section 8. In addition to any other remedies and penalties that may be pursued for a violation of this ordinance, the City Manager or the City Manager's Designee may revoke a license issued under this article to a licensee that commits a violation under this section.

Section 9. All ordinances and resolutions or parts of ordinances and resolutions that are in conflict with the provisions of this Ordinance are repealed to the extent of the conflict and all other ordinances of the City not in conflict with the provisions of this Ordinance shall remain in full force and effect.

Section 10. The Mayor is hereby authorized to sign this ordinance and the City Secretary to attest. This Ordinance shall become effective in accordance with the provisions of the Charter of the City of Georgetown, and shall remain in effect until May 31, 2021.

PASSED AND APPROVED on First Reading on the ____ day of _____, 2021.

PASSED AND APPROVED on Second Reading on the ____ day of _____, 2021.

ATTEST:

THE CITY OF GEORGETOWN

Robyn Densmore, City Secretary

By: _____
Josh Schroeder, Mayor

APPROVED AS TO FORM:

Skye Masson, City Attorney

Extended Downtown Dining & Retail:

Temp. License to Encroach Ordinance Extension

City Council Regular

January 12, 2021

Issue

- Social distancing and lower occupancy requirements are in place for retail businesses and restaurants.
- Businesses in other areas of the city can utilize their parking lots for expanded space if they wish, or participate in property events, while downtown businesses are limited to their existing space.
- Crowded sidewalks are dangerous and can discourage patronage.
- In September 2020, the City Council Authorized the licensing of on-street parking for seating and retail.
- **The program has expired, and licenses issued thereunder terminate 1/30/2021**

Existing Solution



Open parking spots in public rights of way to seating and retail

Current Status

- 3 inquiries regarding program
- 2 applicants
 - 1 license issued
- Public Works has obtained bike racks for barricade management in house.
- Communications facilitated through Downtown Manager.

License -Ordinance Reqs.

- Administrative Approval
 - CM or designee will issue license
- Revocable
 - CM may revoke for violations
- Extension of Expiration (**Only Update to Ordinance**)
 - Ordinance expires 5/31/2021
 - All licenses expire 8/31/2021
- Indemnity and Insurance
 - Gen. Liability **\$1 mill. Single occ./\$2 mill. Agg.**
 - Alcohol **\$1 million**
 - Worker's Comp. **\$500,000**

License-Ordinance Reqs.

- Location
 - 7th, 8th, and 9th Streets between Rock and Church Streets
 - Rock, Main, and Church Streets between 7th and 9th Street
- Prohibitions on Use
 - Adverse impacts on neighboring properties
 - Traffic hazard, interfere w/ roadway operations
 - Block sight triangle
 - Require utility relocation
 - Interfere with ADA spots, safety or other regulations
- COVID-19 regulation compliance

Streets Impacted



License-Administrative Reqs.

- Submittal
 - a) Form is posted on City real estate site with directions on submittal
 - b) Modified version of existing license submittal form
 - c) Submitted to ROW@georgetown.org to enable flexible submittal and avoid difficulty in fee waiver.
- Tech. requirements
 - a) Minimum distance from roadway intersections (10')
 - b) Minimum distance from intersections of driveways with public rights of way (10')
 - c) Minimum distance from travel lanes (3')
 - d) Maintenance of the license areas including removal of refuse/waste and abatement of nuisances (removal w/in 1 hr of posted closing)

Caption

- **AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF GEORGETOWN, TEXAS, AMENDING ORDINANCE NO. 2020-58 EXTENDING THE DURATION OF A TEMPORARY LICENSE TO ENCROACH PROCESS FOR EXPANDED DOWNTOWN SEATING AND RETAIL AREAS WITHIN CITY RIGHT OF WAY AND PARKING AS A RESULT OF THE COVID 19 PANDEMIC; REPEALING CONFLICTING ORDINANCES AND RESOLUTIONS; PROVIDING A SEVERABILITY CLAUSE; AND SETTING AN EFFECTIVE DATE.**

ORDINANCE NO. 2020-58

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF GEORGETOWN, TEXAS, ESTABLISHING A TEMPORARY LICENSE TO ENCROACH PROCESS FOR EXPANDED DOWNTOWN SEATING AND RETAIL AREAS WITHIN CITY RIGHT OF WAY AND PARKING AS A RESULT OF THE COVID 19 PANDEMIC; REPEALING CONFLICTING ORDINANCES AND RESOLUTIONS; PROVIDING A SEVERABILITY CLAUSE; AND SETTING AN EFFECTIVE DATE.

WHEREAS, the COVID 19 pandemic has resulted in social distancing requirements and reduced capacity limits adversely affecting downtown businesses;

WHEREAS, establishing a temporary program that would allow downtown businesses to utilize certain adjacent parking spots to provide extended retail and dining service areas will help support the downtown businesses during the pandemic and promote the health and safety of the City's residents.

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF GEORGETOWN, TEXAS, THAT:

Section 1. The meeting at which this ordinance was approved was in all things conducted in compliance with the Texas Open Meetings Act, Texas Government Code, Chapter 551.

Section 2. The facts and recitations contained in the preamble of this ordinance are hereby found and declared to be true and correct and are incorporated by reference herein and expressly made a part hereof, as if copied verbatim.

Section 3. The 2020 Downtown Temporary License to Encroach Program is hereby established.

Section 4. Authority to issue Downtown Temporary License to Encroach is delegated by City Council as follows:

- A. The City Manager or the City Manager's Designee is authorized to issue a temporary license to encroach to businesses to allow use of certain street parking for extended food/drink service areas or retail service areas pursuant to the requirements of this Ordinance.
- B. All other improvements in or uses of a public right-of-way not specified in this Ordinance may only be approved as specifically provided by other ordinances or by the city council, subject to applicable laws.
- C. A Temporary License to Encroach issued under this Ordinance is a revocable grant of a privilege and is not a property right, nor conveyance of an interest in real property.

Section 5. The following requirements shall apply to all Downtown Temporary License to Encroachments.

- A. *Locations allowed.* Downtown Temporary License to Encroachments may only be issued for existing, marked parking spaces within the following rights of way: 7th, 8th, and 9th Streets between Rock and Church Streets; and Rock, Main, and Church Streets between 7th and 9th Street. A license shall only be granted for the areas in the right-of-way that abuts any face of the business premises, unless a business owner has obtained the written consent of a business that is an immediate neighbor of said business.
- B. *Permitted Uses.* Downtown temporary licenses to encroach may only be granted for an extension of on-premises services, and all food and drink service in license areas must comply with all applicable regulations.
- C. *Uses and improvements not allowed.* No downtown temporary license to encroach may be granted for:
1. any building or structure requiring a building permit; or
 2. any use or improvement requiring permanent alteration to the right of way including but not limited to bolting or securing improvements to the right of way or the removal of paint, a markings, surface treatment or any other City property or improvement; or
 3. any improvement, facility or use, the installation or allowance of which would:
 - a. result in interference with marked ADA parking or any other applicable local, state or federal health or safety law or regulation;
 - b. unduly interfere with the free passage of vehicles on the street or of pedestrians on the sidewalk;
 - c. create a traffic hazard; unduly interfere with the safe and efficient operation of a utility facility;
 - d. create undue adverse impacts on adjacent property owners and businesses; or
 - e. block the sight visibility triangle at an intersection; or.
 - f. require the relocation of any utility or utility facility.
- D. *General requirements for all downtown temporary licenses to encroach.* A license applicable to permitted uses and improvements allowed under this Ordinance, shall include, as applicable:
1. all technical standards and specifications developed to implement this Ordinance including the following:
 - a. Minimum distance from roadway intersections
 - b. Minimum distance from intersections of driveways with public rights of way
 - c. Minimum distance from travel lanes

- d. Maintenance of the license areas including removal of refuse/waste and abatement of nuisances
2. terms and restrictions necessary to protect public use of the public right-of-way or the facilities and access needs of a public or private utility provider;
3. specifications for required clearances between the improvements and utility facilities, whether above ground, underground or overhead, as prescribed by applicable building and health and safety codes, franchise agreements or state or federal laws;
4. authorization for the city or a utility provider to remove, without liability, all or part of the improvements, if necessary, to obtain access to an affected utility facility;
5. provisions approved by the City Attorney that require the licensee to indemnify, defend, hold harmless and release the city, its officers, agents, and employees from any and all claims, losses, damages, causes of action, suits, and liability of every kind, including all expenses of litigation for injury or death of any person, or for damage to any property, arising out of or in connection with licensee's use of public right-of-way;
6. a provision specifying that the term or expiration date of the license shall not exceed January 30, 2021;
7. a provision for termination of the license for violation of its terms, subject to notice of the violation and an opportunity to cure the violation within ten (10) calendar days after receipt of the notice, except that violation of the expiration date shall be addressed immediately;
8. a provision for termination of the license by the city without recourse before the end of the license term when necessary to implement a capital improvements or utility project, to address threats to public health or safety, or to mitigate adverse impacts to adjacent property owners and businesses caused by the improvement or use for which the license is granted;
9. a provision providing for the prompt removal of all improvements or cessation of uses upon termination of the license at the Licensee's expense, including the right of the city to remove improvements upon failure of the Licensee to do so and to recover the city's cost for such removal; and
10. *COVID-19 Requirements.* All licensees shall have read and shall follow the protocols, practices, and guidelines, as applicable to their business, specified in the Governor's Executive Orders and Local Emergency Orders, and any potential amendments. Violations of this section shall result in the licensee receiving a verbal warning and an opportunity to comply with this section. If a second violation occurs, the license may be revoked immediately and the improvements may be removed.

Section 6. The following insurance requirements shall apply to all Downtown Temporary License to Encroach.

A. *Insurance for Downtown Temporary License to Encroach*

1. No downtown temporary license to encroach shall be granted unless the licensee files with the city manager or city manager's designee a certificate of liability insurance or other proof of insurance in a form acceptable to the City confirming that the applicant has procured the general liability insurance, alcohol service insurance if applicable and worker's compensation required by this section. If the policy is not kept in full force and effect throughout the term of the license, the license shall automatically become void and the improvements must be removed at that time.
2. Minimum coverages. Licensee must maintain the following minimum coverages:
 - a. The general liability insurance shall provide coverage in an amount of not less than \$1,000,000.00 for each single occurrence, and \$2,000,000.00 aggregate.
 - b. If applicable, alcohol service insurance coverage in amount not less than \$1,000,000.00.
 - c. Worker's compensation coverage in an amount of not less than \$500,000.00.
3. The insurance policy shall be issued by an insurance company authorized to do business in the state. The policy shall provide in substance that the insurer will defend against all claims and lawsuits which arise and will pay any final judgment of a court of competent jurisdiction against the city, its officers, agents or employees. The minimum amounts of insurance coverage may be increased by the city when it is in the best interest of the public. The policy of insurance shall name both the licensee and the city as insured parties to the full amount of the policy limits.

Section 7. An application for a downtown temporary license to encroach under this ordinance must be filed with the department designated by the City Manager on a form approved by the City Manager or the City Manager's Designee

Section 8. In addition to any other remedies and penalties that may be pursued for a violation of this ordinance, the City Manager or the City Manager's Designee may revoke a license issued under this article to a licensee that commits a violation under this section.

Section 9. All ordinances and resolutions or parts of ordinances and resolutions that are in conflict with the provisions of this Ordinance are repealed to the extent of the conflict and all other ordinances of the City not in conflict with the provisions of this Ordinance shall remain in full force and effect.

Section 10. The Mayor is hereby authorized to sign this ordinance and the City Secretary to attest. This Ordinance shall become effective in accordance with the provisions of the Charter of the City of Georgetown, and shall remain in effect until December 31, 2020.

PASSED AND APPROVED on First Reading on the 25th day of August, 2020.

PASSED AND APPROVED on Second Reading on the 8th day of September, 2020.

ATTEST:

THE CITY OF GEORGETOWN


Robyn Densmore, City Secretary

By: 
Dale Ross, Mayor

APPROVED AS TO FORM:


Skye Masson, City Attorney

City of Georgetown, Texas
City Council Regular Meeting
January 12, 2021

SUBJECT:

Consideration and possible action to approve a **Consultation Agreement, No. 21-0051-CC**, between **NewGen Strategies and Solutions, LLC** and the City of Georgetown, to provide **Comprehensive Electric Utility Cost of Service Study** and **Rate Design Study**, in the amount of **\$79,160.00** -- Leticia Zavala-Jones, Customer Care Director and Daniel Bethapudi, General Manager of Electric

ITEM SUMMARY:

The proposed Cost of Service Study will review the Cost of Service, Revenue requirements and rate design for the electric utility. This study will consist of 3 Phases - Cost of Service Analysis; Rate Design; and Project Reporting and Presentations.

FINANCIAL IMPACT:

Funds in the amount of \$79,160.00 are budgeted in the Customer Care - Conservation Fund

SUBMITTED BY:

Daniel N. Bethapudi - General Manager, Electric Utility (LJW)

ATTACHMENTS:

NewGen Strategies - Cost of Service/Rate Design Study

CONSULTATION AGREEMENT WITH THE CITY OF GEORGETOWN

This Consultation Agreement (the "Agreement") is entered into and made effective on the _____ day of _____, 2020 by and between NewGen Strategies and Solutions, LLC ("Consultant") and the City of Georgetown, Texas ("City"), as an End User of the All Hazards Preparedness, Planning, Consulting and Recovery Services Contract between Houston-Galveston Area Council of Governments and Consultant, dated October 25, 2017, as amended (the "HGAC Agreement").

1. **Scope of Services.** Consultant agrees to provide such services as further described in **Exhibit A**, which is attached and incorporated herein. Any request by the Consultant for an increase in the Scope of Services and an increase in the amount listed in paragraph four of this Agreement shall be made and approved by the City prior to the Consultant providing such services, or the right to payment for such additional services shall be **waived**. If there is a dispute between the Consultant and the City respecting any service provided or to be provided hereunder by the Consultant, including a dispute as to whether such service is additional to the Scope of Services included in this Agreement, the Consultant agrees to continue providing on a timely basis all services to be provided by the Consultant hereunder, including any service as to which there is a dispute.
2. **Supplement Provisions.** Supplemental provisions applicable to this Agreement are included in **Exhibit B** and incorporated herein by reference.
3. **City Terms Prevail.** In the event there is a conflict between a term in **Exhibit A** or **Exhibit B** and a term in this Agreement, the terms of this Agreement shall prevail.
4. **Total Compensation.** The total compensation paid by the City to the Consultant, including expenses, under this Agreement shall not exceed SEVENTY-NINE THOUSAND ONE HUNDRED AND SIXTY dollars and No/100 (\$79,160). Payment schedule will be made in accordance with **Exhibit C**, which is attached and incorporated herein.
5. **Term.** The term of this Agreement shall be in effect until the services have been completed by Consultant, but in no event shall the term extend beyond July 31, 2021.
6. **Amendments.** Any changes to the terms of this agreement will not be effective unless in writing and signed by both parties.
7. **Insurance.** Consultant shall procure and maintain at its sole cost and expense for the duration of this Agreement insurance against claims for injuries to persons or damages to property that may arise from or in connection with the performance of the work hereunder by the Consultant, its agents, representatives, volunteers, employees or subcontractors. The policies, limits and endorsements required are set forth in **Exhibit D**. Consultants insurance certificate satisfying the City insurance requirements is attached as **Exhibit E**.
8. **INDEMNITY. THE CONSULTANT SHALL DEFEND, INDEMNIFY AND HOLD HARMLESS THE CITY, ITS OFFICERS, AGENTS, SERVANTS AND EMPLOYEES**

FROM AND AGAINST ANY AND ALL SUITS, ACTIONS, LEGAL PROCEEDINGS, CAUSES OF ACTION, CLAIMS, DEMANDS, DAMAGES, JUDGMENTS, LOSSES, LIENS, COSTS, EXPENSES, ATTORNEYS' FEES AND ANY AND ALL OTHER COSTS, FEES AND/OR CLAIMS OF ANY KIND OR DESCRIPTION ARISING OUT OF, IN CONNECTION WITH OR RESULTING FROM THE AGREEMENT OR SERVICES PROVIDED UNDER THE AGREEMENT OR FROM ITS NEGLIGENCE OR WILLFUL ACT WHETHER SUCH ACT BE BY THE CONSULTANT OR ITS DESIGNEE. THE CITY, AS A GOVERNMENTAL ENTITY IN THE STATE OF TEXAS, SHALL NOT INDEMNIFY THE CONSULTANT.

9. **Release by Consultant.** The Consultant releases, relinquishes and discharges the City, its elected officials, officers, directors, agents, employees, representatives and volunteers from all claims, demands, and causes of action of every kind and character, including the cost of defense, for any injury to or death of any person (whether employees of either party or other third parties) and any loss or damage to any property that is caused by or alleged to be caused by, arising out of, or in connection with the work it performed under this Agreement. This release shall apply regardless of whether the claims, demands and/or causes of action are covered in whole or in part by insurance.
10. **Dispute Resolution.** If either the Consultant or the City has a claim or dispute, the parties shall first attempt to resolve the matter through this dispute resolution process. The disputing party shall notify the other party in writing as soon as practicable after discovering the claim, dispute or breach. The notice shall state the nature of the dispute and list the party's specific reasons for such dispute. Within ten (10) business days of receipt of the notice, both parties shall make a good faith effort, in person or through generally accepted means, to resolve any claim, dispute, breach or other matter in question that may arise out of, or in connection with, this Agreement. If the parties fail to resolve the dispute within sixty (60) days of the date of receipt of the notice of the dispute, then the parties may submit the matter to non-binding mediation upon written consent of authorized representatives of both parties. If the parties cannot resolve the dispute through mediation, then either party shall have the right to exercise any and all remedies available under law regarding the dispute.
11. **Ownership of Documents.** The City shall retain ownership of all associated work products and documentation obtained from or created by the Consultant pursuant to this Agreement. Consultant shall deliver all documents or other work product to the City upon request, including original versions if so specified in the request.
12. **Payment Terms.** All payments will be processed in accordance with Texas Prompt Payment Act, Texas Government Code, Subtitle F, Chapter 2251. The City will pay Consultant within thirty (30) days after of receipt of a correct invoice for services. The Consultant may charge a late fee (fee shall not be greater than that permitted under the Texas Prompt Payment Act) for payments not made in accordance with this prompt payment policy; however, the policy does not apply to payments made by the City in the event: (a) there is a bona fide dispute between the City and Consultant concerning the goods, supplies, materials, equipment delivered, or the services performed, that causes the payment to be late; (b) the terms of a federal agreement,

grant, regulation or statute prevents the City from making a timely payment with Federal funds; (c) there is a bona fide dispute between the Consultant and a subcontractor and its suppliers concerning goods, supplies, material or equipment delivered, or the services performed, which caused the payment to be late; or (d) the invoice is not mailed to the City in accordance with Agreement.

13. **Termination for Convenience.** The City shall have the right to terminate this Agreement, in whole or in part, without cause any time upon thirty (30) calendar days' prior written notice. Upon receipt of a notice of termination, the Consultant shall promptly cease all further work pursuant to the Agreement, with such exceptions, if any, specified in the notice of termination. The City shall pay the Consultant, to the extent of funds appropriated or otherwise legally available for such purposes, for all services performed and obligations incurred prior to the date of termination.
14. **Termination for Cause.** In addition to the termination rights described above, either party may terminate this Agreement effective upon written notice to the other if the other breaches any of the terms and conditions of this Agreement and fails to cure that breach within thirty (30) days after receiving written notice of the breach. In the event of an incurable breach, the non-breaching party may terminate this Agreement effective immediately upon written notice to the breaching party. In addition to all other remedies available under law and in equity, the City may remove the Consultant from the City's Vendor list in the event that this Agreement is terminated for cause and any offer submitted by the Consultant may be disqualified for up to three (3) years.
15. **Non-Appropriation.** This Agreement is a commitment of City's current revenues only. It is understand and agreed that the City shall have the right to terminate this Agreement at the end of any City fiscal year if the governing body of the city does not appropriate funds sufficient to purchase the services. The City may terminate for non-appropriation by giving the Consultant a written notice of termination at the end of its then current fiscal year.
16. **Notices.** Any notice or communication permitted or required by this Agreement shall be deemed effective when personally delivered or deposited, postage prepaid, in the first class mail of the United States properly, or sent via electronic means, addressed to the appropriate party at the address set forth below:

Notice to the Consultant:

NewGen Strategies and Solutions, LLC
ATTN: Scott Burnham, Director
225 Union Boulevard, Suite 305
Lakewood, CO 80228
sburnham@newgenstrategies.net

Notice to the City:

City of Georgetown
ATTN: City Manager
P.O. Box 409

Georgetown, Texas 78627
david.morgan@georgetown.org

With a copy to:

City of Georgetown
ATTN: City Attorney
P.O. Box 409
Georgetown, Texas 78627
Skye.masson@georgetown.org

17. **Independent Contractor.** The Agreement shall not be construed as creating an employer/employee relationship, a partnership or joint venture. The Consultant's services shall be those of an independent contractor. The Consultant agrees and understands that the Agreement does not grant any rights or privileges established for employees of the City. Consultant shall not be within protection or coverage of the City's Worker Compensation insurance, Health Insurance, Liability Insurance or any other insurance that the City, from time to time, may have in force.
18. **Force Majeure.** The City and the Consultant will exert all efforts to perform the tasks set forth herein within the proposed schedules. However, neither the City nor the Consultant shall be held responsible for inability to perform under this Agreement if such inability is a direct result of a force substantially beyond its control, including but not limited to the following: strikes, riots, civil disturbances, fire, insurrection, war, embargoes, failures of carriers, acts of God, or the public enemy.
19. **No Waiver.** The waiver by either party of a breach or violation of any provision of this Agreement shall not operate as or be construed to be a waiver of any subsequent breach hereof.
20. **Nondiscrimination.** The Consultant, with regard to the work performed by it after award and prior to completion of this Agreement, shall not discriminate on the basis of race, color, sex, or national origin in the selection and retention of Sub-consultants, including procurements of materials and leases of equipment. The Consultant shall not participate either directly or indirectly in the discrimination prohibited by any federal, state or local law.
21. **Right to Audit.** The Consultant agrees that the representatives of the City shall have access to, and the rights to audit, examine, or reproduce, any and all Consultant records related to the performance under this Agreement. The Consultant shall retain all such records for a period of four (4) years after final payment on this Agreement or until all audit and litigation matters that the City has brought to the attention of the Consultant are resolved, whichever is longer.
22. **Advertising and Publicity.** Consultant shall not advertise or otherwise publicize, without the City's prior written consent, the fact that the City has entered into the Agreement, except to the extent required by applicable law.
23. **Confidential Information.** Each party agrees not to use, disclose, sell, license, publish, reproduce or otherwise make available the Confidential Information of the other party except

and only to the extent necessary to perform under this Agreement or as required by the Texas Public Information Act or other applicable law. Confidential Information shall be designated and marked as such at the time of disclosure. Each party agrees to secure and protect the other party's Confidential Information in a manner consistent with the maintenance of the other party's confidential and proprietary rights in the information and to take appropriate action by instruction or agreement with its employees, consultants, or other agents who are permitted access to the other party's Confidential Information to satisfy its obligations under this Section. The provisions of this paragraph shall survive the term of the Agreement.

24. **Consultant Certification regarding Boycotting Israel.** Pursuant to Chapter 2270, *Texas Government Code*, Consultant certifies that either (1) Consultant is a sole proprietorship or company with fewer than ten (10) employees, or (2) does not currently boycott Israel and will not boycott Israel during the Term of this Agreement. Consultant acknowledges this Agreement may be terminated and payment withheld if this certification is inaccurate.
25. **Consultant Certification regarding Business with Certain Countries and Organizations.** Pursuant to Subchapter F, Chapter 2252, *Texas Government Code*, Consultant certifies Consultant is not engaged in business with Iran, Sudan, or a foreign terrorist organization. Consultant acknowledges this Agreement may be terminated and payment withheld if this certification is inaccurate.
26. **Severability.** This Agreement is severable and if any one or more parts of it are found to be invalid, such invalidity shall not affect the remainder of this Agreement if it can be given effect without the invalid parts.
27. **Governing Law and Venue.** This Agreement shall be governed by the laws of the State of Texas. Venue shall be located in Williamson County, Texas.
28. **Successors and Assigns.** This Agreement shall bind and inure to the benefit of the parties hereto and any subsequent successors and assigns; provided however, that no right or interest in the Agreement shall be assigned and no obligation shall be delegated by the Consultant without the prior written consent of the City. Any attempted assignment or delegation by the Consultant shall be void unless made in conformity with this Paragraph.
29. **Third Party Beneficiaries.** Nothing contained in this Agreement shall create a contractual relationship with or a cause of action in favor of a third party against either the City or the Consultant.
30. **Entire Agreement.** This Agreement, with all exhibits, includes the entire agreement of the City and the Consultant and supersedes all prior and contemporaneous agreements between the parties, whether oral or written, relating to the subject of this agreement.

[Signatures on the following page.]

THE CITY OF GEORGETOWN

**NEWGEN STRATEGIES AND
SOLUTIONS, LLC**

Josh Schroeder, Mayor

Date Signed: _____

DocuSigned by:

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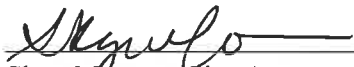
Scott Burnham, Director

Date Signed: 12/11/2020

Attest:

Robyn Densmore, City Secretary

Approved as to form:



Skye Masson, City Attorney

Exhibit A

Scope of Services

Comprehensive Electric Utility Cost of Service Study and Rate Design Study

Consultant shall conduct a comprehensive electric utility cost of service study and rate design study. Consultant shall perform the following services in the phases as described below. The regularly scheduled status update meetings with City staff are envisioned to be conducted on-line to minimize the budget impacts and accommodate COVID-19 related travel restrictions. The final presentation of results may be on-line or in-person depending on the conditions at that time and the preferences of the City.

| Phas | Tasks |
|---|--|
| Phase 1 – Cost of Service Analysis | <p>Task 1.1 – Initial Data Request and Kick-Off Meeting</p> <ul style="list-style-type: none"> ▪ Review / comment on initial data request, on-line meeting with City staff, Rate Policy Framework document <p>Task 1.2 – Development of Test Year and five-year revenue requirement</p> <ul style="list-style-type: none"> ▪ Conference call / on-line presentation of draft / final revenue requirement <p>Task 1.3 – Load and Revenue Forecast</p> <ul style="list-style-type: none"> ▪ Conference call / on-line presentation of draft / final revenue forecast <p>Task 1.4 – Cost of Service</p> <ul style="list-style-type: none"> ▪ Draft COS model, delivery of COS unit costs, on-line meeting to review COS results |
| Phase 2 – Rate Design | <p>Task 2.1 – Rate Design</p> <ul style="list-style-type: none"> ▪ Draft / final rate design model, recommendations via on-line meeting ▪ Demand cost recovery review, including rates and process <p>Task 2.2 – Customer Impacts from Rate Design</p> <ul style="list-style-type: none"> ▪ On-line meeting with City staff <p>Task 2.3 – Rate Comparisons with Other Utilities</p> <ul style="list-style-type: none"> ▪ On-line meeting with City staff |
| Phase 3 – Project Reporting and Presentations | <ul style="list-style-type: none"> ▪ Conference calls / on-line meeting to review draft reports ▪ Presentation of results to City Council in public meeting (on-line or in-person depending on circumstances at the time) |

1 WORK PLAN AND PROJECT SCHEDULE

Work Plan

Phase 1 – Cost of Service Analysis

Task 1.1 – Initial Data Request and Kick-Off Meeting

Project initiation and kick-off is an important first step to ensure the Study begins in a timely, efficient, and coordinated manner. Consultant will provide to the City a detailed data request listing the data required to successfully complete the Study. Requested items will include historical system operating statistics, detailed financial reports, budgets, long-term plans (business, strategic, capital, etc.), monthly customer billing records, customer, and class load profiles, etc. This will allow us to review City's financial history, including revenues and expenses, and its current rates and fee structures in advance of our kick-off meeting. As Consultant receives the requested data, we will review and quality check the data to ensure we understand what has been provided as well as identify any potential gaps in information or additional data required for the Study.

In parallel with our initial review of requested data, we will schedule a kick-off meeting with City staff to review and discuss the data, request follow up data, confirm the Study schedule and establish milestone delivery dates, as well as review communication protocols and define Study expectations. Consultant expects this to be an on-line meeting between the City and Consultant. Consultant and the City will establish a time frame for bi-weekly status calls to develop and maintain project momentum.

Key members of the Consultant team will be included in the kick-off meeting. During this initial meeting we recommend a discussion and formulation of a rate strategy and philosophy document for the City. Goals and objectives may include COS recovery strategies at the class and customer level, legal compliance of rate structures, conservation/ demand management, etc. Upon completion of the kick-off meeting, we will develop a draft rate strategy and philosophy "framework" policy statement for the City's review. The rate strategy and philosophy policy will guide the City's current and future COS and rate making decisions, and will address specific goals, objectives, and policies such as adherence to key financial metrics, COS results, and any City specific requests for the Study.

Deliverable: Review / comment on initial data request, on-line meeting with City staff, Rate Strategy and Philosophy Policy Framework document.

Task 1.2 – Development of Test Year and Five-Year Revenue Requirement

Consultant will review the City's most current financial forecast and all supporting analyses used in the development of current and projected budgets, including the five-year capital improvement plan and total projected project costs. Based on our review, we will develop a detailed revenue requirement for a "Test Year" for use in the COS study. This process is designed to assess the City's revenue needs for the Test Year and will include adequate coverage for operations and maintenance (O&M) costs, capital projects, debt service, and reserve contributions, as appropriate. The revenue requirement represents City's costs to be covered with revenues derived from rates and will be based on FY 2019 audited actual financial results (or FY 2020 estimates, if preferred by the City) adjusted for "known and measurable changes" as represented in the City's financial forecast. For the City, the revenue requirement will be developed on a cash basis consistent with the establishment of municipal utility rates and is expected to include, at a

minimum, O&M expenses, debt service, cash funded capital, in-lieu of tax payments to the City, and reserve requirements related to debt service coverage covenants or other City financial policies. Anticipated contributions in aid of construction (CIAC) will be incorporated as a credit into the revenue requirement, as appropriate.

The revenue requirement model will evaluate the City's existing and projected debt issues as they relate to capital improvements. Consistent with City's debt policies, including debt to equity ratios, Consultant will provide a scenario analysis of the impacts to the revenue requirement from the issuance of new debt, while calculating and maintaining a proper balance for the utility's debt coverage and rate stabilization reserve over the forecast period.

Deliverable: Conference calls / on-line presentation of draft five-year revenue requirement / final five- year revenue requirement document / spreadsheet.

1.1 Task 1.3 – Load and Revenue Forecast

Consultant will work with City management and staff to develop a load and revenue forecast for use in this Study, which will become part of the revenue requirement modeling effort. The load forecast will be utilized to identify current electric load and project future loads by class based on anticipated community growth specifically for this Study. To accomplish this, we will develop a regression analysis utilizing various economic factors for the Georgetown region, as well as historic relationships between load growth and increases in population, economic activity, and other data, as appropriate.

The revenue forecast will utilize the projected load by class and the City's existing rates and rate structures to calculate anticipated revenues. This will include distributed energy resources (net energy metering), electric vehicle charging, and other special rate classes, such as Southwestern University, as appropriate. These revenues will be utilized to project a "status quo" case for which to compare future costs by class that are determined from the COS process. We will present our methodology and results of the load and revenue forecast to City management and staff via conference call / webinar to solicit input and comments, which will be incorporated into the final forecast, as appropriate.

In evaluating the revenue requirement and projected rate revenue, Consultant will examine the adequacy of the City's reserves for operating revenues and capital projects to determine if they are sufficiently funded to offset periods of low consumption and loss of revenue from disruptive events. This will be accomplished by working with City management and staff to review reserve levels and their policies, as well as the impact of historic disruptive events on the utility's financial condition. This may include reviewing the impact of the current COVID-19 pandemic on existing and projected utility sales and associated loss of revenue, as well as impacts from the City's recently adopted policy regarding non- payment accounts.

Financial metrics of interest to the City, including debt service coverage ratios, minimum cash reserve recommendations, reserves (as identified in bond covenants and City / utility policies), and others will be included in the revenue requirement model and calculated on an annual basis. We will work with the City to understand which metrics are critical to their sound financial future and incorporate them into the model, as appropriate.

The revenue requirement model will be developed in a user-friendly format. The final version of the model will become the property of the City upon completion of the Study for its use

in the future. During the Study, we will conduct several interactive work sessions such that City management and staff will understand how the model works and how to adjust inputs, assumptions, and outputs, as appropriate.

Deliverable: Conference calls, on-line presentation of draft revenue forecast, final load, and revenue forecast model (spreadsheet).

1.2 Task 1.4 – Cost of Service

The results of the revenue requirement (Task 1.2) and load forecast (Task 1.3) provide an indication of overall revenue needs for the utility. The COS analysis (Task 1.4) is utilized to determine how the revenues should be collected from different classes of customers, as well as through different components of the rates within each class. The Test Year revenue requirement is first functionalized by operational category such as generation, transmission, distribution, and customer service. Within each function, the revenue requirement is then classified as demand-related, energy-related, customer-related, revenue-related, or direct assignment cost, as related to their classified purpose. This is the process that determines the fixed and variable costs structures for the City. During this process, Consultant will advise the City on industry- accepted methodologies for allocating costs to the various customer classes, including costs associated with equipment and materials, labor costs for personnel and other administrative functions, cost for transformation of power, and “directly assignable” costs such as those for street and security lighting services. The COS results will provide an allocation of these costs to each customer class, as appropriate, and will show how they relate to the provision of electric services.

In the development of a customized COS model for the City, Consultant will use standard Microsoft Excel tools such as reference tables, pull down menus, and lists for inputs and adjusting selections such as allocation methodologies or specific allocators. Consultant will augment these tools with custom Excel ribbon modules to aid in model reporting, navigation, and scenario management, if desired. To help with model management, Consultant will build an “Input Manager” to ensure that the necessary data used in the COS model is imported in a standardized way, minimizing the chance for inconsistent model updates.

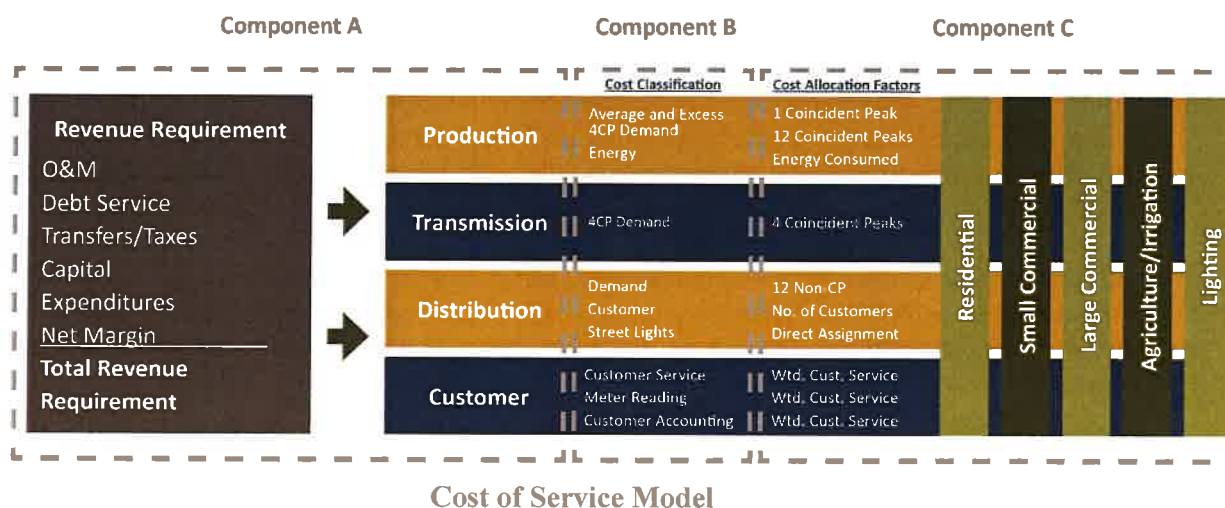
To determine the unique cost to serve each customer class the revenue requirements derived from the classified costs within each function are allocated to each customer class. Demand allocators are used for demand-classified costs, energy allocators are used for energy-classified costs, and customer allocators are used for customer-classified costs.

The allocated cost to serve each class is compared to the revenues received from that class to determine if any class specific revenue adjustments are warranted. Additionally, the COS yields specific demand-, energy-, and customer-related costs for each class, which can be utilized in the design of demand, energy, and customer charges for each class of customers. For example, our COS will include detailed unbundled COS categories such as the categorization of distribution demand-related costs by voltage, distribution customer-related costs, and power supply demand/variable per customer class and by unit costs.

The COS methodologies we will rely upon are based on accepted industry standards and procedures, including those recommended by the National Association of Regulatory Utility Commissioners (NARUC), the American Public Power Association (APPA), and others. To

the extent that changes in cost allocation methods are recommended because of the Study, we will work with the City to devise a plan for implementation to reduce the potential for “rate shock” to customer classes.

We will employ traditional COS and rate setting principles and approaches to ensure that the City’s class rate requirements are fair, equitable, and, to the extent warranted, similar to other electric utilities. The COS model and its three interconnected components are graphically depicted and described in further detail below. The allocators and customer classes listed are for illustrative purposes and may not be appropriate for the City.



1.2.1.1 Fixed and Variable Costs

The COS process includes a classification step to identify those costs that are fixed (and do not materially change with energy sales) and those that are variable (those that do materially change with the volume of energy sales). The classification of costs is an important step in understanding the financial condition of the utility. This process will include a review of current demand billing cost recovery practices, including how demand rates are implemented and the process for determining demand customers.

Deliverables: Draft COS model, delivery of COS unit costs, on-line meeting to Review COS results, discussion of current demand cost recovery and how it may impact rate design options. The COS model will include the “Input Manager” template, and we will develop an implementation plan for rate recovery by class as appropriate.

Phase 2 – Rate Design

Task 2.1 – Rate Design

The next step in the Study is developing the rate design model and recommended rates to the City and its stakeholders. The rate design model will be provided to the City at the completion of the Study for its future use in evaluating rates and rate structures.

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Task 2.1 includes designing base rates for each customer class, confirming their ability to fully recover the system revenue requirement, and presenting the draft results to the City. This initial review of the rate structures will identify any intra-class subsidies and misalignments in the recovery of fixed and variable costs. The existing rates and rate structures will be reviewed relative to their underlying costs and recommended rate alternatives will be developed in coordination with the City. Rates will be designed to follow and support the broader rate philosophy as identified in the Rate Policy Framework and will align with COS results, and include a categorization of customer-, demand-, and energy-related costs for each customer class. Consultant will also review the City's contract for power supply with Southwestern University to ensure proper cost recovery and provide recommendations as appropriate.

Consultant will develop proposed rates and rate structures for the City on the premise that each customer should be classified and served under a schedule that will recover the costs allocated from the COS, including operating expenses, debt service, maintaining adequate inventories for capital improvement projects, a proper contribution to operating reserves, and the in-lieu-of-tax contributions to the General Fund. An analysis of the rate impacts of existing and future capital improvements will be conducted, which will reflect the financing decisions made in the revenue requirement analysis. The evaluation of existing rates will include an analysis of the revenue and related future power resource impacts due to changing patterns of consumption, growth in customer numbers and usage, price elasticity of consumption, and the effects of conservation. A separate analysis will be developed to recommend best practice rate recovery strategies for demand billing customers, which will include an evaluation of current revenue recovery from these customers compared to their fully allocated cost of service.

Consultant will evaluate and design retail rates for specific applications for the City, including residential and utility-owned electric vehicle (EV) charging stations. This may include the development of unique EV rates for private and public charging stations, either on an incremental or average cost basis, as well as potential time-based charges or rate structures. This evaluation will include development of costs to serve EV charging stations, anticipated usage patterns by residential and commercial applications, and design of optional rates for metering solutions (either as a second meter or as part of the load measured by the existing meter). Additionally, Consultant will evaluate and design retail rates for potential behind-the-meter battery energy storage systems (BESS), to ensure cost recovery of City's infrastructure costs. For BESS rates, Consultant will utilize existing commercial application of energy storage systems, as well as any pertinent City supplied data regarding customer inquiries as appropriate.

The analysis of rates and rate design will include a review of existing lighting service (streetlights) in comparison to costs as well as any proposed changes to streetlighting systems, such as LED lighting replacements, or policy. This review of existing and proposed streetlight rates will include development of energy-only rates, as well as energy and O&M rates (for recovery of operational and capital costs, as appropriate). Additionally, Consultant will evaluate and review current and proposed Net Metering rates, in comparison to the COS results and the recent changes implemented. As part of this phase, Consultant will review the fees charged by the City for services (Service Charges). Fees will be compared to similarly situated distribution utilities in Texas, as well as an initial assessment of the costs

recovered / incurred from these fees, with an understanding of potential policy implications associated with the existing or proposed fee structures. Consultant will evaluate potential pole attachment fees for network providers utilizing the City's infrastructure as well as cost estimates associated with non-metered network node electricity usage and make recommendations for such fees and rates as appropriate.

The rate design model will include the ability to conduct a thorough review and analysis of the City's current Power Cost Adjustment (PCA) formula with recommendations for any needed change in the implementation of this mechanism as a rate stabilization method. The rates charged for transmission services to customers will be evaluated along with the recovery of wholesale power costs. Rate discounts for customers taking power at primary voltage and who own their own transformation will be applied, as appropriately determined from the COS analysis.

Inherent in this task is a review of existing City rates and comparison with COS results for any recommended structural modifications or adjustments. Consultant will design rates to fully recover projected costs over the forecast period, as determined in the revenue requirement. This may include recommendations on the use of gradualism, where needed, to phase-in structural rate changes (e.g., shifts from energy to demand charges), as well as any appropriate City rate policies. Additionally, we will evaluate the City customer database to ensure that customers are in the correct classes relative to their usage characteristics. Any misalignment or re-arrangement of customers into other or new classes, as appropriate, will reflect the goal of maintaining the fewest number of rate classes that are necessary to properly recognize meaningful COS differentials. This analysis of the City's database will include an evaluation of the City's largest users and a determination as to whether they are being charged under the appropriate rate schedule, based on their usage characteristics.

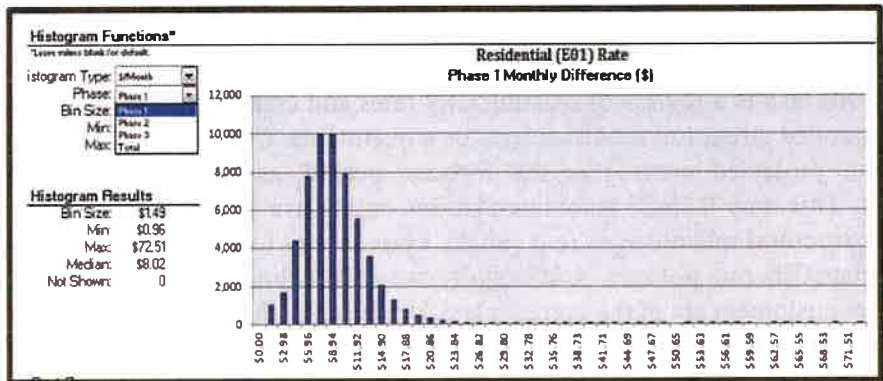
After designing the recommended rates, the revenue adequacy of the new rates will be proven by calculating the forecasted annual rate revenue generated for each customer class and comparing it to the class and total system revenue requirement.

Deliverable: Draft / final rate design model, recommendations via on-line meeting, document outlining recommendations for demand billing customers, lighting services, the PCA and structural changes, as appropriate.

1.3 Task 2.2 - Customer Impacts from Rate Design

Average bills and related impacts for each class will automatically be calculated to compare existing, COS-based, and recommended new rates. This will include a summary of rate impact at various usage levels within all customer classes and will include a minimum of three examples per class. The analysis will include a sampling of one calendar year by month for each customer example.

In addition, Consultant will utilize the analysis of the City’s billing database to evaluate the impacts of the rate changes for all customers within a class, which will provide insight into the range of rate impacts to each class. We will exclude personal identification of each account but will analyze the impacts to each customer served by the City. This information will be conveyed to City management and staff through a distribution of impacts (histogram). Further, we will identify those customers by premise number or unique identification code in a rank order to compare existing bills with projected bills. With this information, we can accurately present dollar and percentage impacts for all customers within each class based on historic usage. This information allows the City to identify specific customer accounts that may be adversely impacted by proposed rates and rate



structures well before the rates have been implemented. An example of our rate design impact model is provided below.

The results of the initial rate design will be presented and discussed via a conference call / webinar with City staff. The model will provide for the ability to analyze impacts to commercial / industrial customers that transition between customer classes as a result of changes in their usage. The rates and rate structures will be designed to minimize the impact due to these transitions across the non-residential customer groups.

All elements of the rate design model are user friendly and easily adjusted to evaluate alternative rate implementation scenarios and metrics for success such as revenue adequacy, gradualism (e.g., maximum and minimum rate changes), fixed cost recovery changes, cost shifting, and alignment with COS results.

Deliverable: On-line meeting with City staff, final histogram, and bill comparison data by premise ID.

1.4 Task 2.3– Rate Comparisons with Other Utilities

Current and proposed rates will be compared with up to five other utilities as identified during the kick- off meeting, if desired. For each customer class, competitive rate structures will be applied to the City’s current and proposed rates and the COS to determine the economic impact of proposed rates and the competitive options available to customers. Consultant will review with the City the selection of other utilities to use for rate comparison, including New Braunfels, Austin Energy, and others, during the kick- off meeting. This will include utilities to be reviewed for a comparison of service fees as well.

Deliverable: On-line meeting with City staff, document of comparison data.

Phase 3 – Project Reporting and Presentations

Upon completion of Phases 1 and 2, Consultant will prepare a draft report for the Study. A final version of the report will be delivered within two weeks of receipt of all final comments from the City. Consultant will develop presentation material to support the Study results and recommendations. For the purposes of the budget we have assumed one in-person trip to present Study results to City Council by two members of the project team.

Deliverable: Conference calls / on-line meeting to review draft report, presentation of final results and documentation.

2 Project Schedule

Assuming timely responses to data requests and other requests for information, Consultant will commit to providing a draft report for the Study within 120 to 150 days of the kick-off meeting, assuming availability of data and timely receipt of comments and feedback from the City. A detailed project schedule can be provided if requested.

Exhibit B

Supplemental Provisions

MOST FAVORED CUSTOMER CLAUSE

If Consultant, at any time during this Agreement, routinely enters into agreements with other governmental customers within the State of Texas, and offers the same or substantially the same products/services offered to the City on a basis that provides prices, warranties, benefits, and or terms more favorable than those provided to City, Consultant shall notify City within ten (10) business days thereafter of that offering and this Agreement shall be deemed to be automatically amended effective retroactively to the effective date of the most favorable contract, wherein Consultant shall provide the same prices, warranties, benefits, or terms to City. City shall have the right and option at any time to decline to accept any such change, in which case the amendment shall be deemed null and void. If Consultant is of the opinion that any apparently more favorable price, warranty, benefit, or term charged and/or offered a customer during the term of this Agreement is not in fact most favored treatment, Consultant shall within ten (10) business days notify City in writing, setting forth the detailed reasons Consultant believes aforesaid offer, which has been deemed to be a most favored treatment, is not in fact most favored treatment. City, after due consideration of such written explanation, may decline to accept such explanation and thereupon this Agreement between City and Consultant shall be automatically amended, effective retroactively, to the effective date of the most favored agreement to provide the same prices, warranties, benefits, or terms to City.

The Parties accept the following definition of routine: A prescribed, detailed course of action to be followed regularly; a standard procedure. ***EXCEPTION: This clause shall not be applicable to prices and price adjustments offered by a bidder, proposer or contractor, which are not within bidder's/ proposer's control [example: a manufacturer's bid concession], or to any prices offered to the Federal Government and its agencies.***

Exhibit C

Payment Terms

Compensation is based on **actual** hours of work/time devoted to providing the described services. The Consultant will be paid at the rates per service or employee shown below based upon the estimates hours for each phase below. The City will reimburse the Consultant for **actual**, non-salary expenses at the rates set forth below. Unless amended by a duly authorized written change order, the total payment for all invoices on this job, including both salary and non-salary expenses, shall not exceed the amount set forth in Section 4 of this Agreement.

NewGen Strategies & Solutions HGAC Approved Pricing

| Labor Category | Hourly Billing Rate |
|--|---------------------|
| GM | \$295 |
| President | \$265 - \$295 |
| Director/Executive Consultant/Vice President | \$215 - \$295 |
| Senior Consultant | \$160 - \$215 |
| Staff Consultant | \$145 - \$160 |
| Analyst | \$125 - \$145 |
| Administrative Assistant | \$85 |

Note: Billing rates are subject to change with HGAC-approved changes in subsequent fiscal years.

| Team Member / Hourly Rate | Burnham \$250 | Rabon \$240 | Accardo \$185 | Tomczyk \$245 | Admin \$85 | Total |
|--|------------------|----------------|------------------|------------------|---------------|-----------------|
| Phase 1 | | | | | | |
| Phase 1 (Hours) | 40 | 28 | 87 | 5 | - | 160 |
| Phase 1 (Labor) ⁽¹⁾ | \$10,000 | \$6,700 | \$16,100 | \$1,200 | - | \$34,000 |
| Phase 2 | | | | | | |
| Phase 2 (Hours) | 34 | 26 | 82 | 5 | - | 147 |
| Phase 2 (Labor) ⁽¹⁾ | \$8,500 | \$6,200 | \$15,200 | \$1,200 | - | \$31,100 |
| Phase 3 | | | | | | |
| Phase 3 (Hours) | 24 | 6 | 24 | 0 | 16 | 70 |
| Phase 3 (Labor) ⁽¹⁾ | \$6,000 | \$1,400 | \$4,400 | \$0 | \$1,360 | \$13,160 |
| Out-of-Pocket Expenses | | | | | | \$900 |
| Total Study Hours / Cost Estimate | 98 | 60 | 193 | 10 | 16 | \$79,160 |

(1) Values may not add due to rounding

Consulting Agreement
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The Consultant must submit *monthly* invoices to the City, accompanied by an explanation of charges, professional fees, services, and expenses. The City will pay such invoices according to its normal payment procedures.

Expenses shall be reimbursed as follows:

Non-salary expenses are not subject to reimbursement under this agreement.

Exhibit D

Insurance Requirements

I. The Consultant agrees to maintain the types and amounts of insurance required in this Agreement throughout the term of the Agreement. The following insurance policies shall be required:

- A. Commercial General Liability
- B. Business Automobile Liability
- C. Workers' Compensation
- D. Professional Liability

II. For each of these policies, the Consultant's insurance coverage shall be primary with respect to the City, its officials, agents, employees and volunteers. Any insurance or self-insurance carried or obtained by the City, its officials, agents, employees or volunteers, shall be considered in excess of the Consultant's insurance and shall not contribute to it. No term or provision of the indemnification provided by the Consultant to the City pursuant to this Agreement shall be construed or interpreted as limiting or otherwise affecting the terms of the insurance coverage. All Certificates of Insurance and endorsements shall be furnished to the City's Representative at the time of execution of this Agreement, attached hereto as Exhibit D, and approved by the City *before* work commences.

III. General Requirements Applicable to All Policies.

- A. Only licensed insurance carriers authorized to do business in the State of Texas shall be accepted.
- B. Deductibles shall be listed on the certificate of insurance and are acceptable only on an "occurrence" basis.
- C. "Claims made" policies are not accepted, except for Professional Liability insurance.
- D. Coverage shall not be suspended, voided, canceled, or reduced in coverage or in limits except after thirty (30) calendar days prior written notice has been given to the City of Georgetown.
- E. The Certificates of Insurance shall be prepared and executed by the insurance company or its authorized agent. Each certificate shall contain the following provisions and warranties:
 - 1. The insurance company is licensed and authorized to do business in the State of Texas
 - 2. The insurance policy is underwritten on forms provided by the Texas State Board of Insurance or ISO
 - 3. All endorsements and coverages are included according to the requirements of this Agreement
 - 4. The form of notice of cancellation, termination, or change in coverage provisions is specified in this attachment

- F. The City of Georgetown, its officials, agents, employees, and volunteers are to be listed as Additional Insureds on the Commercial General Liability and Business Automobile Liability Policies. The coverages shall contain no special limitations on the scope of protection afforded the City, its officials, employees, and volunteers.

V. Commercial General Liability requirements:

- A. Coverage shall be written by a carrier rated "A: VIII" or better in accordance with the current A. M. Best Key Rating Guide.
- B. Minimum Combined Single Limit of \$1,000,000 per occurrence per project for bodily injury and property damage with a \$2,000,000 annual aggregate limit.
- C. Coverage shall be at least as broad as Insurance Service's Office Number CG 00 01.
- D. No coverage shall be excluded from the standard policy without notification of individual exclusions being attached for review and acceptance.
- E. The coverage shall not exclude: premises/operations; independent contracts; products/completed operations; contractual liability (insuring the indemnity provided herein); and where exposures exist, Explosion, Collapse and Underground coverage.
- F. The City shall be listed as Additional Insured, and the policy shall be endorsed to waive rights of subrogation, to be primary and non-contributory with regard to any self-insurance or insurance policy held by the City.

VI. Business Automobile Liability requirements:

- A. Coverage shall be written by a carrier rated "A:VIII" or better in accordance with the current Best Key Rating Guide.
- B. Minimum Combined Single Limit of \$1,000,000 per occurrence for bodily injury and property damage.
- C. The Business Auto Policy must show Symbol 1 in the Covered Autos portion of the liability section in Item 2 of the declarations page.
- D. The coverage shall include owned, leased or rented autos, non-owned autos, any autos and hired autos.

VII. Workers' Compensation Insurance requirements:

- A. Pursuant to the requirements set forth in Title 28, Section 110.110 of the Texas Administrative Code, *all* employees of the Consultant, the Consultant, *all* employees of any and all subconsultants, and all other persons providing services on the Project must be covered by a workers compensation insurance policy, either directly through their employer's policy (the Consultant's, or subconsultant's policy) or through an executed coverage agreement on an approved DWC form. Accordingly, if a subconsultant does not have his or

her own policy and a coverage agreement is used, Consultants and subconsultants *must* use that portion of the form whereby the hiring Consultant agrees to provide coverage to the employees of the subconsultant. The portion of the form that would otherwise allow them not to provide coverage for the employees of an independent Consultant may not be used.

- B. The workers compensation insurance shall include the following terms:
1. Employer's Liability limits of \$1,000,000 for each accident is required.
 2. "Texas Waiver of Our Right to Recover From Others Endorsement, WC 42 03 04" shall be included in this policy.
 3. Texas must appear in Item 3A of the Worker's Compensation coverage or Item 3C must contain the following: All States except those listed in Item 3A and the States of NV, ND, OH, WA, WV, and WY.

VIII. Professional Liability requirements:

- A. Coverage shall be written by a carrier rated "A:VIII" or better in accordance with the current A. M. Best Key Rating Guide.
- B. Minimum of \$1,000,000 per occurrence and \$2,000,000 aggregate, with a maximum deductible of \$100,000.00. Financial statements shall be furnished to the City upon request.
- C. For "claims made" policies, the availability of a 24-month extended reporting period is necessary. The retroactive date shall be shown on the certificate of liability insurance.

Exhibit E

Certificate of Insurance

City of Georgetown, Texas
City Council Regular Meeting
January 12, 2021

SUBJECT:

Consideration and possible action to approve a Resolution to set a **Public Hearing Date** on the imposition of a **Transportation Impact Fee** -- Wesley Wright, PE, Systems Engineering Director

ITEM SUMMARY:

In early 2019, Council authorized a task order to study potential Transportation Impact Fees for development in the City of Georgetown. In late 2019, service areas were identified and approved by Council, and the majority of the Transportation Impact Fee Study (Study) was completed.

In early 2020, an Impact Fee Advisory Committee (Committee) consisting of Georgetown Transportation Advisory Board Members as well as members of the development community was established to review the Study and make recommendations to Council on potential Transportation Impact Fees.

On October 27, 2020, Council approved the Land Use Assumptions (LUAs) and Capital Improvement Plan which allowed the city's consultant to complete the financial analysis and finalize the Transportation Impact Fee Study.

The Committee's final recommendations are anticipated to be presented to Council in February 2021.

In order to move forward with consideration on Transportation Impact Fees, State Law requires Council first conduct a Public Hearing to allow for input on the matter.

Staff is proposing to conduct this Public Hearing at the regularly scheduled City Council Meeting on Tuesday, February 23, 2021 at 6pm.

FINANCIAL IMPACT:

Aside from publication of notice of the Public Hearing (approx \$100), there is no financial impact with this item.

SUBMITTED BY:

Wesley Wright

ATTACHMENTS:

Resolution - Feb 23 Public Hearing

RESOLUTION NO. _____

**A RESOLUTION OF THE CITY COUNCIL OF THE CITY
OF GEORGETOWN, TEXAS, SETTING A PUBLIC
HEARING TO CONSIDER THE ADOPTION OF A
ROADWAY IMPACT FEE**

WHEREAS, Chapter 395 of the Texas Local Government Code governs financing capital improvements in municipalities; and,

WHEREAS, on January 22, 2019, City Council authorized the preparation of a Roadway Impact Fee Study (“Study”); and,

WHEREAS, the Study is being developed with the intent to implement a roadway impact fee for the City of Georgetown in accordance with Chapter 395 of the Texas Local Government Code; and

WHEREAS, on November 26, 2019, the City Council established service areas to be considered in the Study; and,

WHEREAS, the Land Use Assumptions (“LUAs”) and Capital Improvements Plan (“CIP”) to be considered in the Study, were approved on October 27, 2020; and,

WHEREAS, Section 395.047 of the Texas Local Government Code requires a municipality to conduct a public hearing to discuss the imposition of the impact fee.

**THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF
GEORGETOWN, TEXAS:**

SECTION 1. The facts and matters set forth in the preamble of this Resolution are hereby found to be true and correct.

SECTION 2. A public hearing shall be held on February 23, 2021 at 6:00 p.m. as part of the regularly scheduled City Council Meeting to discuss and review the to the City’s Transportation Impact Fee Study and the imposition of a Roadway Impact Fee.

SECTION 3. The City Manager is directed to comply with Section 395.049 of the Code; Notice of Hearing on Impact Fee.

SECTION 4. The Mayor is authorized to sign this Resolution and the City Secretary to attest.

SECTION 5. This Resolution shall become effective and be in full force and effect upon execution by the Mayor.

PASSED AND APPROVED THIS 12th DAY OF January 2021

ATTEST:

THE CITY OF GEORGETOWN:

Robyn Densmore, City Secretary

Josh Schroeder, Mayor

APPROVED AS TO FORM:

Skye Masson, City Attorney

City of Georgetown, Texas
City Council Regular Meeting
January 12, 2021

SUBJECT:

Consideration and possible action to approve **temporary employee Policy and Procedures for Families First Coronavirus Response Act (FFCRA)** -- Tadd Phillips, Human Resources & Organizational Development Director

ITEM SUMMARY:

Initial Temporary Policy:

On March 27, 2020, the federal government passed the CARES act, which included the Families First Coronavirus Response Act (FFCRA). The FFCRA was comprised of two components: The Emergency Paid Sick Leave Act (ESick), and the Emergency Family and Medical Leave Act (EFMLA). Under the FFCRA, an employee qualifies for paid sick time if the employee is unable to work or telework for the COVID-19 reasons listed below. The City of Georgetown was compelled to provide these leave types to its employees April 1, 2020. As such, a temporary policy and procedure was approved by City Manager Morgan at that time.

The FFCRA granted each employee 80 total hours of paid sick leave (ESick) if employee was unable to work or telework for a variety of COVID-19 reasons including quarantine, COVID-19 symptoms for self, caring for an individual with COVID-19, or caring for a child if school or childcare are unavailable. It also granted additional family leave (EFMLA) for care of children at home because of school or daycare closure.

During the policy's nine months of existence city employees used about 9% of total available time, or about 5,558 hours of leave. The overwhelming majority of that use was for ESick and occurred within the last two months of the year, corresponding with increased COVID-19 cases in Williamson County.

The ESick program has been a tool in helping employees stay home when sick, exposed, or caring for others during the pandemic. The FFCRA law and corresponding temporary policy expired on December 31, 2020.

Recommended Path Forward:

While the FFCRA has expired, the pandemic remains. Like Williamson County, city employee COVID-19 positive cases, exposures, and the need to care for others is on the rise. ESick is a program that adds value for employees and aligns with our dual goals of keeping employees safe while assuring continuity of services for our citizens and customers. EFMLA, on the other hand, had limited use and was focused on school/day care closures.

We believe access to ESick, which was initially thrust upon us by federal mandate, should be available to employees who need it beyond December 31, while the pandemic continues.

Staff requests Council approval of an updated temporary policy including an extension of the existing ESick program through the remainder of the current fiscal year.

FINANCIAL IMPACT:

This policy does impact employee leave time utilization. In most cases that utilization does not have a net increase in budgeted personnel expenses. In some cases, overtime may be called in to fill slots of those utilizing leave. However, the overtime may be incurred with or without this policy. Overall, budgetary impact is expected to be small.

SUBMITTED BY:

Robyn Iverson

ATTACHMENTS:

Cover Sheet

Redline policy – reflecting updates from initial temporary policy enacted April 1, 2020.

Clean final policy for Council consideration

Council Meeting Date: January 12, 2021

or Council Workshop Date: _____

Regular Agenda



Consent



Executive Session



Attachments



Ordinance Publication Date: N/A

Draft Ordinance to City Secretary: N/A

*Must be published 72 hours before meeting; deadline to WC
Sun is 11:00 Monday*

*Draft ordinance must be given to City Secretary one week before
Council meeting*

AGENDA ITEM COVER SHEET

SUBJECT:

Consideration and possible action to approve temporary employee Policy and Procedures for Families First Coronavirus Response Act (FFCRA)

Tadd Phillips, Human Resources & Organizational Development Director

ITEM SUMMARY/SPECIAL CONSIDERATIONS:

Initial Temporary Policy:

On March 27, 2020, the federal government passed the CARES act, which included the Families First Coronavirus Response Act (FFCRA). The FFCRA was comprised of two components: The Emergency Paid Sick Leave Act (ESick), and the Emergency Family and Medical Leave Act (EFMLA). Under the FFCRA, an employee qualifies for paid sick time if the employee is unable to work or telework for the COVID-19 reasons listed below. The City of Georgetown was compelled to provide these leave types to its employees April 1, 2020. As such, a temporary policy and procedure was approved by City Manager Morgan at that time.

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adds value for employees and aligns with our dual goals of keeping employees safe while assuring continuity of services for our citizens and customers. EFMLA, on the other hand, had limited use and was focused on school/day care closures.

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COMMENTS:

None.

ATTACHMENTS:

Redline policy – reflecting updates from initial temporary policy enacted April 1, 2020.
Clean final policy for Council consideration.



CITY OF GEORGETOWN

Families First Coronavirus Response Act (FFCRA)

Policy and Procedures for Families First Coronavirus Response Act

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Policy Purpose

The purpose of this policy is to provide guidance and instruction to employees on how to manage time away from work if a leave of absence is needed in accordance with the Emergency Paid Sick Leave Act (ESick) ~~and the Emergency Family and Medical Leave (EFMLA)~~. When a nationwide emergency rises to the level resulting in ~~school dismissals, childcare program closures,~~ quarantine, ~~illness,~~ and the like, this policy addresses time away from work for employees to provide care for their child(ren), themselves, and/or other individuals in a manner allowing for the continuity of the required City operations and service delivery.

Leave under this policy is paid at the employee's regular rate of pay ~~and employees who qualify have certain job protections under the Families First Coronavirus Response Act (FFCRA)~~.

Effective Date

The policy is effective from April 1, 2020 until ~~December 31, 2020~~ September 30, 2021.

Scope

The ESick Act ~~and the EFMLA Act~~ provides s paid leave to full-time, part-time, and temporary employees when they are unable to work for reasons outlined in this policy. Although not required by the law, City emergency responders are included ~~in both~~. All leave addressed in this policy will be paid at the employee's regular rate of pay.

This policy supersedes all previously implemented policies regarding emergency leave. In the event this policy is in conflict with any local, state or federal laws, the federal or state or local laws take precedence.

Definitions

- **Quarantine/Isolation-** A requirement set forth by local, state or Federal Government or healthcare provider requiring an individual to seclude themselves from contact with others by remaining in their home for a specified period of time.
- **Childcare Provider** – A provider who receives compensation for providing childcare services on a regular basis – Elementary or Secondary schools are included for purposes of this policy.
- **Child** - Under the FFCRA, a “son or daughter” is your own child, which includes your biological, adopted, or foster child, your stepchild, a legal ward, or a child for whom you are

standing in loco parentis—someone with day-to-day responsibilities to care for or financially support a child.

- **Parent** – Biological, foster or adoptive parents, stepparents, legal guardians, or someone who plays or has played the role of parent.
- **Spouse** – A legal marital relationship recognized under Texas law.

Policy

~~The FFCRA is comprised of two components: The Emergency Paid Sick Leave Act (ESick), and the Emergency Family and Medical Leave Act (EFMLA).~~ Under the FFCRA, an employee qualifies for paid sick time if the employee is unable to work or telework for the COVID-19 reasons listed below.

Telework is a solution offered for many positions consistent with the City of Georgetown Telecommuting policy. If you and your supervisor agree that you will work your normal number of hours, but outside of your normally scheduled hours (for instance early in the morning or late at night), then you are able to work and leave is not necessary unless a COVID-19 qualifying reason (listed below) prevents you from working that schedule.

Emergency Paid Sick Leave Act (ESick)

To comply with the Emergency Paid Sick Leave Act (ESick), the city allows for up to a total of 80 hours of pay for full-time employees and a pro-rated* amount of hours for part-time and temporary employees at the regular rate of pay, if leave is required because:

1. Employee is subject to a Federal, State or local quarantine or isolation order related to COVID-19;
2. Employee has been advised by a health care provider to self-quarantine due to concerns related to COVID-19;
3. Employee is experiencing symptoms of COVID-19 and is seeking a medical diagnosis;
4. Employee is caring for an individual who is subject to (1) or (2);
5. Employee is experiencing any other substantially similar condition specified by the Secretary of Health and Human Services in consultation with the Secretary of the Treasury and the Secretary of Labor;
6. Employee is caring for a child of such employee if the school or place of care of the son or daughter has been closed, or the childcare provider of such son or daughter is unavailable, due to COVID-19.

Policy and Procedures for Families First Coronavirus Response Act

Employees who are unable to work, or telework due to the COVID-19 reasons above or are caring for the employee's child, parent, or spouse who is ill due to COVID-19 or is awaiting a medical diagnosis due to COVID-19 symptoms, are entitled to leave at their regular rate of pay as outlined in this policy.

**Part-time and temporary employees will receive a pro-rated amount based on their regular or historical schedule as determined by the City. Employees may contact Human Resources to learn their pro-rated amount.*

Employees requiring leave beyond 80 hours (or their pro-rated amount) due to reasons #1-#5 above may utilize their accumulated leave time to cover the remaining time that is required, this will fall under the requirements of our Family Medical Leave (FMLA) policy, which allows for 12 weeks of job-protected leave.

~~Leave taken within this policy due to reason #6 above may qualify for leave under the Emergency Family Medical Leave Act (EFMLA).~~

Emergency Family and Medical Leave Expansion Act (EFMLA)

~~The Families First Coronavirus Response Act (FFCRA) expands the Family Medical Leave Act (FMLA) to cover a qualifying need related to a public health emergency with respect to the COVID-19 pandemic of 2020. It applies to employees who have been employed for at least 30 days. In compliance with this expansion, the City will provide up to 2/3 of the usual rate of pay for an additional 10 work weeks of paid leave for full-time, part-time, and temporary employees under this temporary policy. This policy works in conjunction with the ESick policy outlined above, for a total of 12 weeks of paid leave. The employee may use their own accrued leave such as sick, vacation, comp, or wellness time for the 1/3 of time not covered by this policy in order to achieve normal regular rate pay. The employee may also choose to take that final 1/3 as unpaid.~~

~~The only qualifying reason for EFMLA leave is to care for a child(ren) (under 18 years of age) of an employee if the school or place of care has been closed, or the childcare provider of such child(ren) is unavailable due to the COVID-19 pandemic. This leave goes in effect only if telecommuting or alternate work scheduling is not an option for the employee to continue productive work.~~

Employee Responsibilities

Employees who think they qualify for leave under this policy must notify their supervisor and/or Human Resources as soon as possible. This notification allows the City to take appropriate workplace precautions to protect other employees. Any medical information provided to the City is confidential. Only appropriate, need to know information will be provided to City management

or other first aid/safety personnel as required for implementing appropriate workplace precautions to maintain a safe work environment. Employees are required, by the FFCRA, to provide appropriate medical documentation to support the usage of leave for this policy. When applicable, employees are also required to provide appropriate documentation for any school or day care closures and attest that they are the only individual in their household available to care for their child(ren).

Employees who are on leave due to the COVID-19 reasons outlined within this policy must contact their supervisor on a weekly basis, or as soon as practical, to provide updated work status information.

The employee may not take leave, or refuse to work, simply to avoid possible exposure to a causative agent in the workplace. Employees who have concerns about their own or a family member's disability that creates an increased risk associated with the COVID-19 pandemic are encouraged to notify Human Resources to discuss possible accommodations in accordance with the Americans with Disabilities Act.

Procedures

As soon as practical, employee is to notify their supervisor of their need for ~~EFMLA~~/ESick leave. ~~For EFMLA, the~~ supervisor will work with the employee to determine if there are any alternate solutions (telecommuting, adjusting work schedules, etc.) to meet the needs of both the employee and the City.

If no alternate solution is available, the employee is to request leave through the Human Resources Department by completing the ~~EFMLA~~/ESick Leave Self-Certification Form to Human Resources. Human Resources will be tasked with ensuring no alternate solution is available. Note that this leave can be applied intermittently, as determined on a case-by-case basis.

Once approved for ~~EFMLA~~/ESick leave, the employee is responsible for notifying their supervisor of their status on a weekly basis. Notification requirements will be determined by the supervisor.

Violation of any part of this policy, failure to follow the requirements of this policy, and/or falsification of any information or documentation related to this policy, will be subject to disciplinary action up to and including termination.

Appendix: ESick and EFMLA Flyer

ESICK: Emergency Paid Sick Leave Act

WHAT CRITERIA DO I HAVE TO MEET?



1. QUARANTINE/ISOLATION ORDER

Employee is subject to a Federal, State or local quarantine or isolation order related to COVID-19;



2. MEDICALLY ADVISED SELF-QUARANTINE ORDER

Employee has been advised by a health care provider to self-quarantine due to concerns related to COVID-19;



3. EXPERIENCING COVID-19 SYMPTOMS

Employee is experiencing symptoms of COVID-19 and is seeking a medical diagnosis



4. CARING FOR INDIVIDUAL MEETING CRITERIA

Employee is caring for an individual who is subject to (1) or (2)



5. SIMILAR CONDITION

Employee is experiencing any other substantially similar condition specified by the Secretary of Health and Human Services in consultation with the Secretary of the Treasury and the Secretary of Labor



6. CARING FOR CHILD AFTER SCHOOL/CHILD CARE CLOSED

Employee is caring for a child of such employee if the school or place of care of the son or daughter has been closed, or the childcare provider of such son or daughter is unavailable, due to COVID-19



7. CARING FOR FAMILY WITH COVID-19

Caring for Child, Parent, or Spouse who is ill due to COVID-19 or who is awaiting a medical diagnosis due to COVID-19

WHAT DOES THIS COVER?

FULL-TIME:

Up to 80 hours of COVID-19 sick time

PART-TIME/TEMPORARY:

Pro-rated amount based on regular or historical schedule

CITY OF GEORGETOWN



CITY OF GEORGETOWN

Families First Coronavirus Response Act (FFCRA)

Policy and Procedures for Families First Coronavirus Response Act

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Policy and Procedures for Families First Coronavirus Response Act

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Appendix: ESick Flyer

ESICK: Emergency Paid Sick Leave Act

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3. EXPERIENCING COVID-19 SYMPTOMS

Employee is experiencing symptoms of COVID-19 and is seeking a medical diagnosis



4. CARING FOR INDIVIDUAL MEETING CRITERIA

Employee is caring for an individual who is subject to (1) or (2)



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Employee is experiencing any other substantially similar condition specified by the Secretary of Health and Human Services in consultation with the Secretary of the Treasury and the Secretary of Labor



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WHAT DOES THIS COVER?

FULL-TIME:

Up to 80 hours of COVID-19 sick time

PART-TIME/TEMPORARY:

Pro-rated amount based on regular or historical schedule

CITY OF GEORGETOWN

City of Georgetown, Texas
City Council Regular Meeting
January 12, 2021

SUBJECT:

Second Reading of and Ordinance for a **Zoning Map Amendment** to **rezone** approximately **0.36-acres** out of the Nicholas Porter Survey, Abstract No. 497, **from** the **Residential Single-Family (RS)** zoning district **to** the **Office (OF)** zoning district, for the property generally located at **2405 Oak Lane** -- Sofia Nelson, CNU-A, Planning Director

ITEM SUMMARY:

Overview of Applicant's Request:

The applicant is proposing to rezone a 0.36-acre property from Residential Single-Family (RS) to Office (OF) to provide additional parking for the adjacent worship center (Crestview Baptist Church).

Staff's Analysis:

Staff has reviewed the request in accordance with the Unified Development Code (UDC) and other applicable codes. Staff has determined that the proposed request meets 5 of the 5 the criteria established in UDC Section 3.06.030 a Zoning Map Amendment, as outlined in the attached Staff Report.

Public Comments:

As required by the Unified Development Code, all property owners and registered neighborhood associations within a 300-foot radius of the subject property were notified of the Zoning Map Amendment request (20 notices), a legal notice advertising the public hearing was placed in the Sun Newspaper (November 1, 2020) and signs were posted on-site. To date, staff has received 0 written comments in favor, and 0 in opposition to the request.

Planning and Zoning Commission Approval:

At their November 17, 2020 meeting, the Planning & Zoning Commission recommended approval of the request (5-0).

City Council First Reading:

At their December 8, 2020 meeting, the City Council voted to approve first reading of the ordinance (6-0).

FINANCIAL IMPACT:

None. The applicant has paid the required application fees.

SUBMITTED BY:

Michael Patroski, Planner

ATTACHMENTS:

2020-20-REZ - P&Z Staff Report

Exhibit 1- Location Map

Exhibit 2- Future Land Use Map

Exhibit 3-Zoning Map

Exhibit 4- Design and development standards of the OF

Exhibit 5- Letter of Intent

Ordinance w/exhibits



Planning and Zoning Commission Planning Department Staff Report

Report Date: November 13, 2020
Case No: 2020-20-REZ
Project Planner: Michael Patroski, Planner

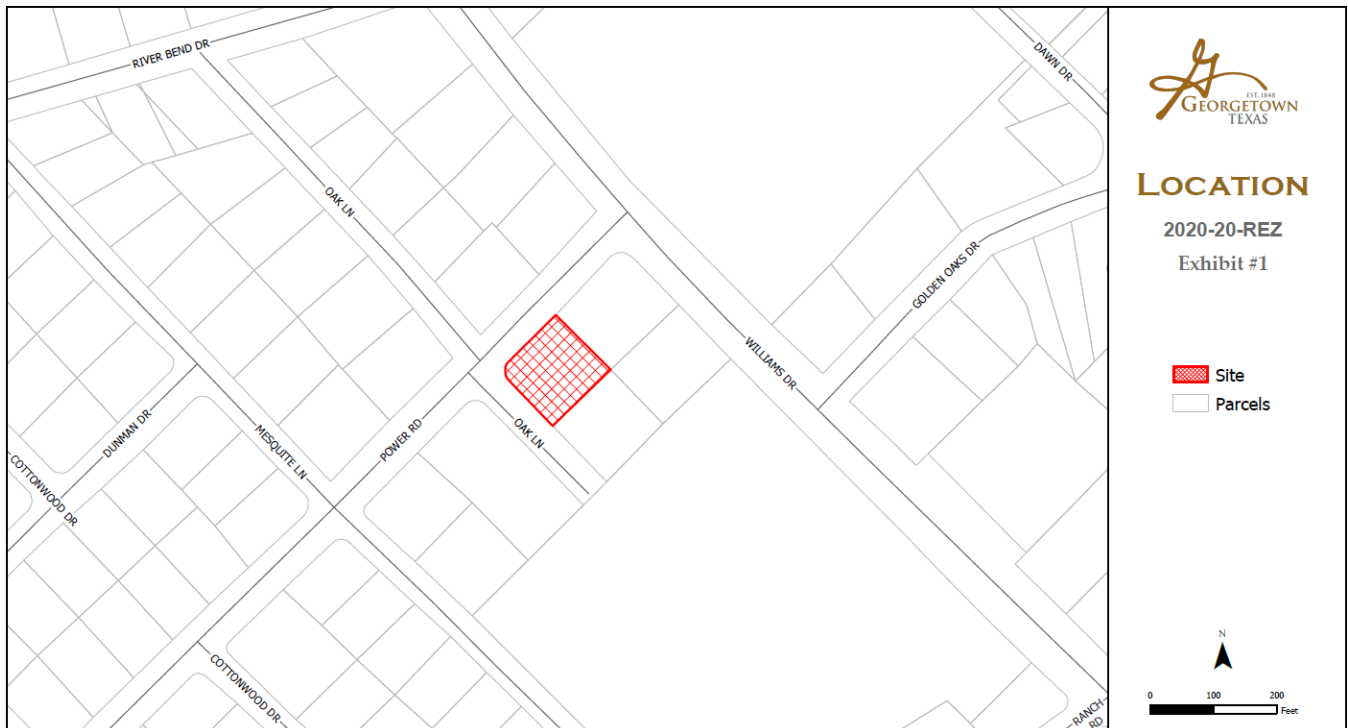
Item Details

Project Name: Crestview Baptist Church
Project Location: 2405 Oak Lane, within City Council district No. 2.
Total Acreage: 0.36
Legal Description: 0.36 acres of land situated in Williamson County Texas, out of the Nicholas Porter Survey, Abstract No. 497

Applicant: M&S Engineering, c/o Jen Henderson
Property Owner: Crestview Baptist Church, c/o Deborah Bowman

Request: Zoning Map Amendment to rezone the subject property from **Residential Single-Family (RS)** to **Office (OF)**.

Case History: This is the first public hearing of this request.



Planning Department Staff Report

Overview of Applicant's Request

The applicant has request to rezone the 0.36-acre subject property from Residential Single-Family (RS) to Office (OF). The purpose of this request is for the property to provide additional parking for the adjacent worship center (Crestview Baptist Church).

Site Information

Location:

The subject property is located at 2405 Oak Lane, approximately 330 feet south from Williams Drive. It is currently vacant. It is also one of many properties that comprise of the Crestview Baptist Church campus located at 2300 Williams Drive.

Physical and Natural Features:

The property is predominately flat with minimal tree cover.

Future Land Use and Zoning Designations:

The subject property has a Special Area Future Land Use designation and is currently zoned Residential Single-Family (RS). The subject property is part of the 2030 Williams Drive Gateway Plan, with a designation of Medium Density Mixed Housing.

Surrounding Properties:

The subject property is located within an established neighborhood that contains a mix of residential and non-residential uses. Adjacent to the north and east are office, personal services, and civic uses, particularly on the properties fronting Williams Drive. To the south and west is a mix of attached and detached single-family residential, as well as duplex uses. The subject property is also located along Oak Lane which provides access to the Crestview Baptist Church.

The current zoning, Future Land Use designation, and existing uses of the adjacent properties to the north, south, east and west are outlined in the table below:

| DIRECTION | ZONING DISTRICT | FUTURE LAND USE | EXISTING USE |
|-----------|--------------------------------|---|---------------------------------------|
| North | Office (OF) | Williams Drive Gateway Plan, Suburban Mixed Use | Office |
| East | Office (OF) | Williams Drive Gateway Plan, Civic | Church Office |
| South | Residential Single-Family (RS) | Mixed Density Neighborhood | Vacant |
| West | Residential Single-Family (RS) | Williams Drive Gateway Plan, Medium Density Mixed Housing | Residential, Quail Meadow Subdivision |



Property History:

The subject property was annexed into the city limits in 1969 (69-A3), at which time it obtained its current residential zoning district. This property was developed with a single-family structure, which was later demolished in 2019.

Comprehensive Plan Guidance

Future Land Use Map:

Special Areas are planned areas that integrate a variety of complementary uses, with an emphasis on retail, offices, and entertainment activities. These centers are unique destinations with emphasis on building design, landscaping and the inclusion of public plazas, green spaces and areas for the public to gather. Special Areas are designed in a pattern of pedestrian-oriented, storefront-style shopping streets, with shared parking and strong pedestrian linkages to the surrounding areas.

Special Area (SA)

DUA: 14 or more

Target Ratio: Development specific

Primary Use: Mixed-use (high-density residential and retail)

Secondary Uses: Medium-density residential, office, commercial, recreational, and civic uses

Other Master Plans: Williams Drive Gateway Plan

This property is also located within the Williams Drive Gateway Plan. The vision of the plan is a vibrant mixed-use center and gateway and establishes policies for future development of the area. This plan designates future land uses, desired street networks, and public and private improvements. This plan provides City-adopted policy direction to guide decision-making and prioritization of development opportunities, transportation improvements, and partnerships.

Within this Plan, the subject property is designated as Medium Density Mixed-Housing. The Medium Density Mixed Housing designation encourages middle housing compatible with traditional single-family dwellings. The designation provides for no more than 8 dwelling units per acres. Acceptable uses include small-lot single-family units, duplexes, cottage courts, townhomes and multiplex units.

Medium Density Mixed Housing

DUA: Up to 8

Target Ratio: 90% residential, 10% nonresidential

Primary Use: Medium density residential

Secondary Uses: Limited neighborhood-serving retail, office, institutional, and civic uses.

Utilities

The subject property is located within the City's service area for water, wastewater, and electric. It is anticipated that there is adequate capacity to serve the subject property at this time. A Utility Evaluation may be required at time of Site Development Plan to determine capacity and any necessary utility improvements.

Transportation

The subject property is located along Oak Lane, a Local Street.

Local streets are intended to provide access to adjoining properties by collecting the traffic from surrounding areas and distributing it to adjoining collectors or arterial streets. Local streets can access both collector level streets and arterial level streets.

The subject property may also have access from Power Road, a residential collector.

These streets are intended to balance traffic between arterial streets and local streets. These streets tend to carry a high volume of traffic over shorter distances, providing access and movement between neighborhoods, parks, schools, retail areas and the arterial street system.

A Traffic Impact Analysis (TIA) will be required at time of Site Development Plan for any development that generates more than two thousand (2,000) average daily trips based upon the latest edition of the Institute of Transportation Engineers (ITE) Trip Generation Manual.

Proposed Zoning district

The Office (OF) district is intended to provide a location for offices and related uses. The uses allowed

Planning Department Staff Report

have relatively low traffic generation. Small areas of the Office (OF) district may be appropriate adjacent to most residential uses and as a transition between residential areas and commercial areas.

Uses permitted in this zoning district include medical, dental, professional and general office, personal services, dry cleaning service, social service facility and other similar uses. Restaurant, data center, business/trade school, and day care uses may be permitted subject to additional design and site requirements. Other uses such as a hotel or medical complex may be permitted subject to approval of a Special Use Permit (SUP) by the City Council. A comprehensive list of uses permitted in this zoning district are include as Attachment #4.

Intergovernmental and Interdepartmental Review

The proposed rezoning request was reviewed by all applicable City Departments to determine the appropriateness of the requested zoning on the subject property. No comments were issued regarding the zoning request.

Approval Criteria

Staff has reviewed the proposed rezoning request and has found that it complies with the criteria established in UDC Section 3.06.030 for a Zoning Map Amendment, as outlined below:

| ZONING MAP AMENDMENT (REZONING) APPROVAL CRITERIA | |
|---|-----------------|
| 1. The application is complete and the information contained within the application is sufficient and correct enough to allow adequate review and final action. | Complies |
| An application must provide the necessary information to review and make a knowledgeable decision in order for staff to schedule an application for consideration by the Planning and Zoning Commission and City Council. This application was reviewed by staff and deemed to be complete. | |
| 2. The zoning change is consistent with the Comprehensive Plan. | Complies |
| The 0.36-acre subject property is located within the 2030 Williams Drive Gateway Plan with the Future Land Use designation of Medium Density Mixed Housing. While the Medium Density Mixed Housing designation encourages middle housing compatible with traditional single-family dwellings, the secondary uses intended for this FLU are office and civic uses. The proposed zoning district and intended use of the subject property therefore displays compatibility with the specific Future Land Use designation. | |
| 3. The zoning change promotes the health, safety or general welfare of the City and the safe orderly, and healthful development of the City. | Complies |
| The proposed zoning change would promote the safe orderly development of the area by providing continuous Office (OF) development near Power Road and Williams Drive. The proposed zoning district and the intended use will not negatively affect the health, safety or general welfare of the area. | |
| 4. The zoning change is compatible with the present zoning and conforming uses of nearby property and with the character of the neighborhood. | Complies |

Planning Department Staff Report

ZONING MAP AMENDMENT (REZONING) APPROVAL CRITERIA

The subject property is located directly adjacent to three properties zoned Office (OF). The proposed zoning change would therefore bring the subject property into conformance with the immediate vicinity. Furthermore, the subject property is directly adjacent to property owned by Crestview Baptist Church and is intended to serve as an additional overflow parking for the church, displaying its' compatibility with nearby property and character of the neighborhood.

5. The property to be rezoned is suitable for uses permitted by the District that would be applied by the proposed amendment.

Complies

The 0.36-acre property is suitable and obtainable for the uses permitted in the Office (OF) zoning district based on the development standards of the UDC, such as setback, building height and parking.

Based on the findings listed above, staff finds that the requested Office (OF) zoning district complies with the approval criteria for a Zoning Map Amendment. The proposed zoning district is appropriate for both the Future Land Use designation of Special Area and its specific designation within the Williams Drive Study. In addition, the requested zoning district, should it be approved, will result in this portion of the block to be zoned with similar and compatible zoning districts (OF and PUD) as the subject property is the only one zoned Residential Single-Family (RS). The other existing residential zoned properties are across the street.

Meetings Schedule

November 17, 2020 – Planning and Zoning Commission

December 8, 2020 – City Council First Reading of the Ordinance

January 12, 2021 – City Council Second Reading of the Ordinance

Public Notification

As required by the Unified Development Code, all property owners and registered neighborhood associations within a 300-foot radius of the subject property were notified of the Zoning Map Amendment request (20 notices), a legal notice advertising the public hearing was placed in the Sun Newspaper (November 1, 2020) and signs were posted on-site. To date, staff has received 0 written comments in favor, and 0 in opposition to the request.

Attachments

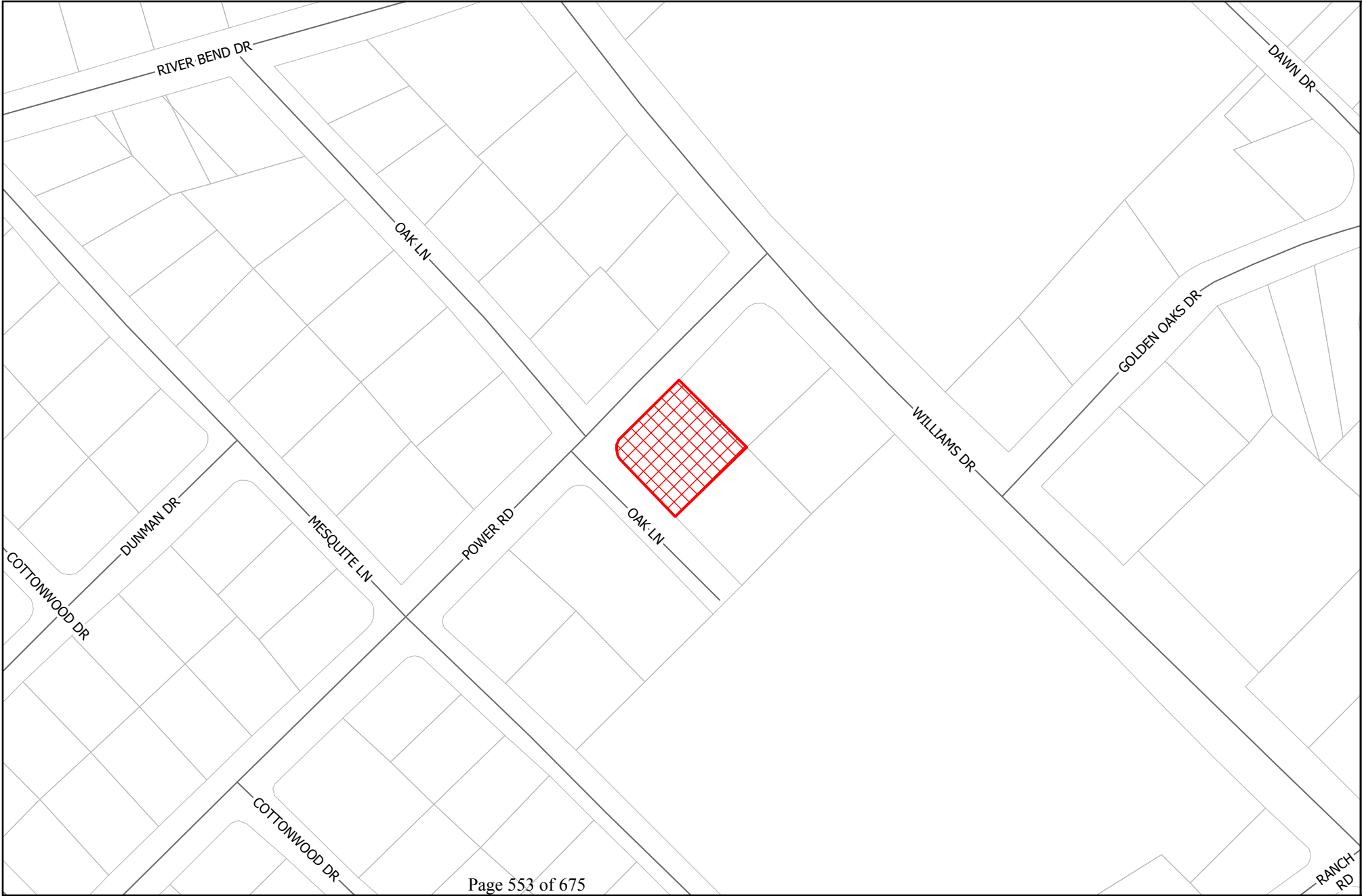
Exhibit 1 – Location Map

Exhibit 2 – Future Land Use Map

Exhibit 3 – Zoning Map

Exhibit 4 – Design and development standards of Office (OF)

Exhibit 5 – Letter of Intent



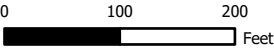
LOCATION

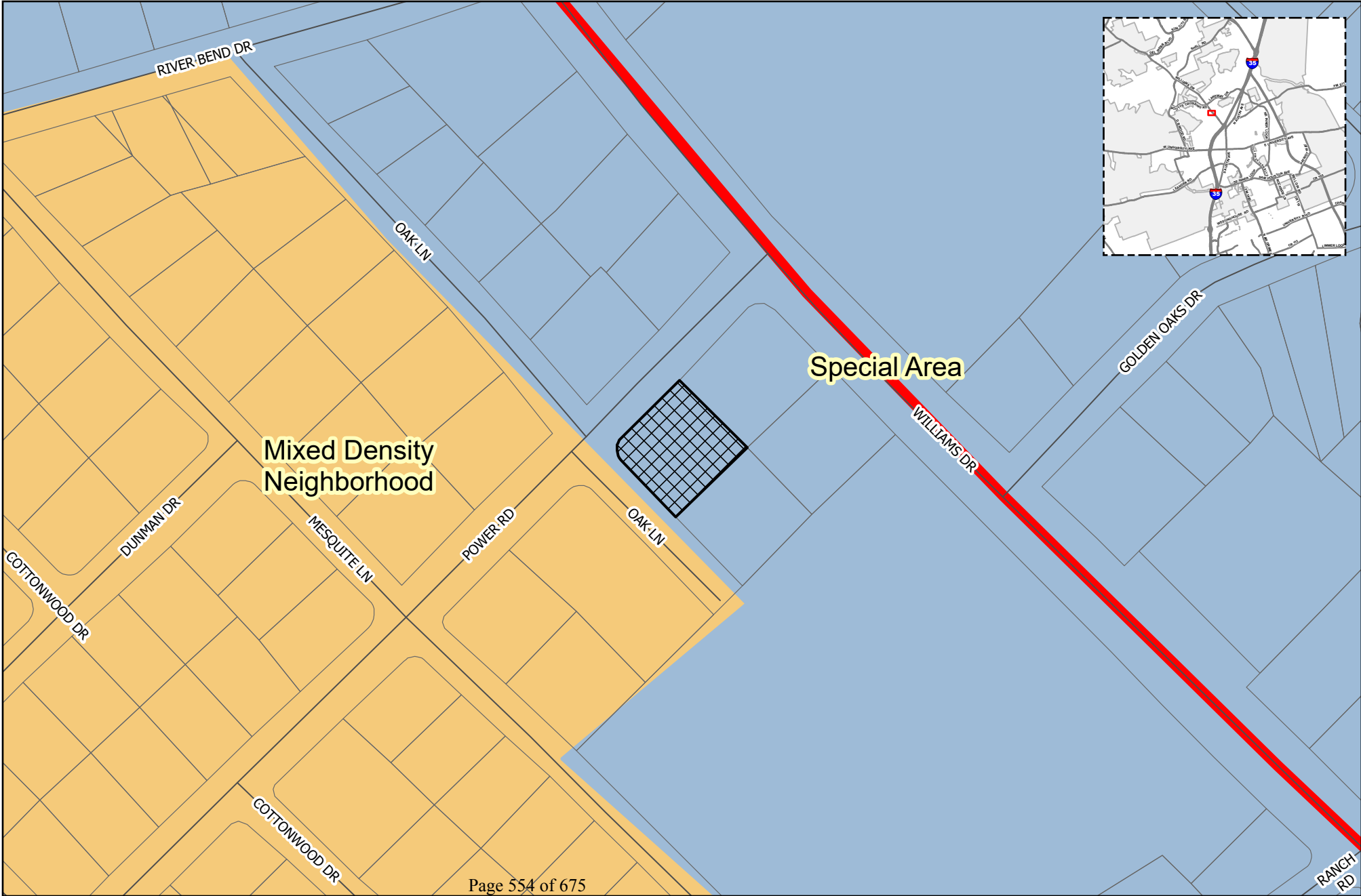
2020-20-REZ

Exhibit #1

 Site
 Parcels

N





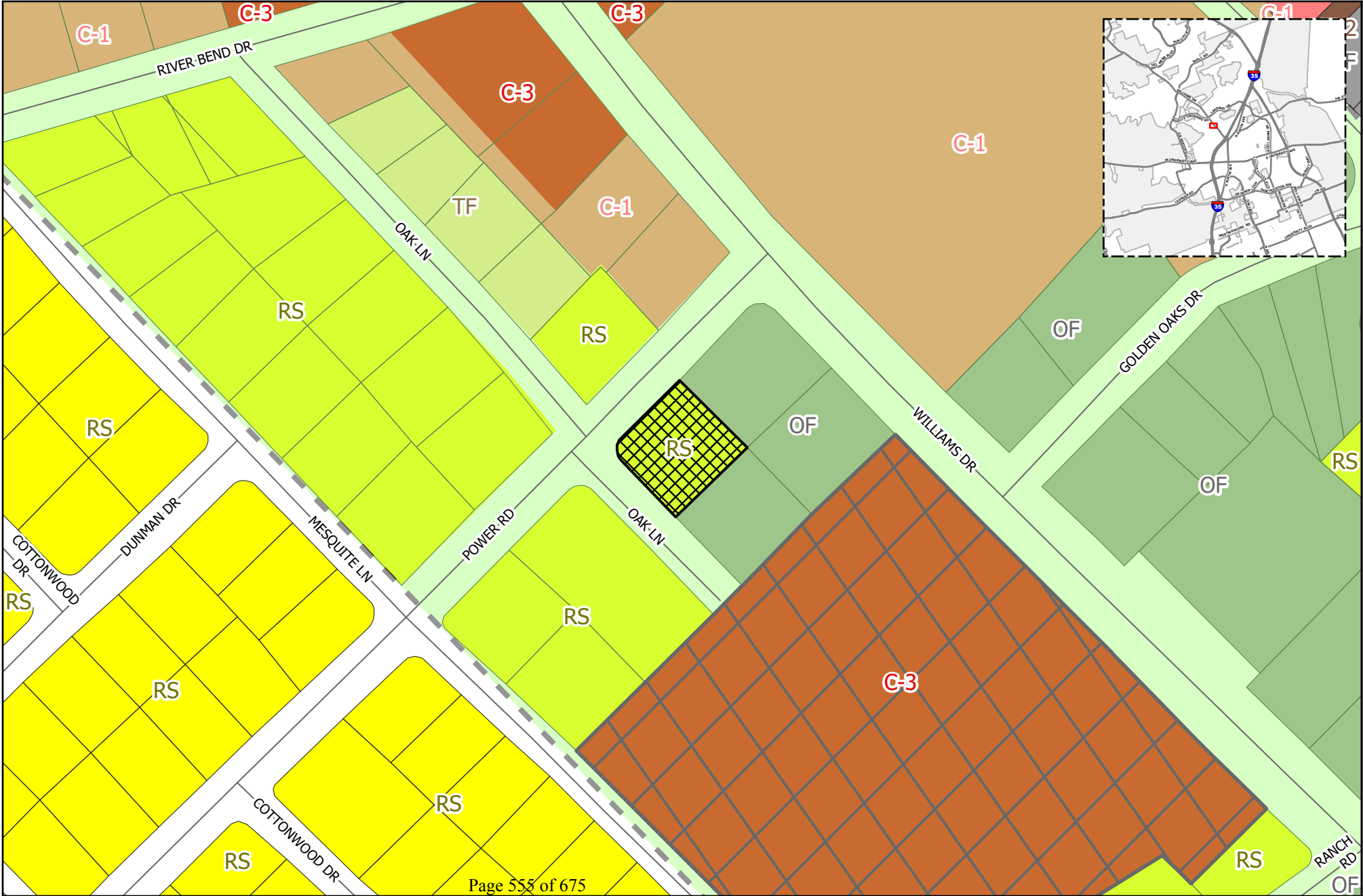
**FUTURE LAND USE/
OVERALL TRANSPORTATION
PLAN**

**2020-20-REZ
Exhibit #2**

- Site
- Parcels
- City Limits
- Georgetown ETJ
- Future Land Use
 - Community Center
 - Employment Center
 - Institutional
 - Mining
 - Mixed Density Neighborhood
 - Neighborhood
 - Open Space
 - Parks and Recreation
 - Regional Center
 - Rural Residential
 - Special Area
- Thoroughfare
 - Existing Freeway
 - Existing Major Arterial
 - Existing Minor Arterial
 - Existing Collector
 - Proposed Freeway
 - Proposed Major Arterial
 - Proposed Minor Arterial
 - Proposed Collector
 - Proposed Rail

0 100 200 Feet

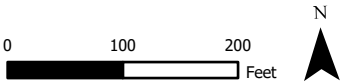




ZONING
2020-20-REZ

Exhibit #3

- Site
- PUD
- City Limits
- Courthouse View Overlay
- Old Town Overlay
- Historic Overlay
- Downtown Overlay
- SPO Overlay
- Gateway Overlay
- Parcels
- Georgetown ETJ
- Zoning**
- AG - Agriculture
- BP - Business Park
- C-1 - Local Commercial
- C-3 - General Commercial
- CN - Neighborhood Commercial
- IN - Industrial
- MF-1 - Low-Density Multi-family
- MF-2 - High-Density Multi-family
- MH - Manufactured Housing
- MU-DT - Mixed-Use Downtown
- OF - Office
- PF - Public Facility
- RE - Residential Estate
- RL - Residential Low-Density
- RS - Residential Single-Family
- TF - Two-Family
- TH - Townhouse



OFFICE (OF) DISTRICT

| District Development Standards | | |
|---|---|---|
| Maximum Building Height = 45 feet | Front Setback = 25 feet (0 feet for build-to/downtown) Side Setback = 10 feet Side Setback to Residential = 15 feet Rear Setback = 10 feet Rear Setback to Residential = 25 feet | Bufferyard = 15 feet with plantings adjacent to AG, RE, RL, RS, TF, MH, TH, MF-1, or MF-2 districts |
| Specific Uses Allowed within the District | | |
| Allowed by Right | Subject to Limitations | Special Use Permit (SUP) Required |
| Diagnostic Center | Restaurant, General | Hotel, Boutique |
| Home Health Care Services | Data Center | Medical Complex |
| Medical Office/Clinic | Upper-story Residential | Surgery Center |
| Dental Office/Clinic | Home-Based Business | Integrated Office Center |
| General Office | Business/Trade School | |
| Personal Services | Day Care (Group/Commercial) | |
| Dry Cleaning Service, Drop-off Only | Church | |
| Printing/Mailing/Copy Services | Church w/ Columbarium | |
| Banking/Financial Services | Public Park, Neighborhood | |
| Commercial Document Storage | Heliport | |
| Emergency Services Station | Wireless Transmission Facility (<41') | |
| Government/Postal Office | Seasonal Product Sales | |
| Library/Museum | Farmer's Market, Temporary | |
| Social Service Facility | Business Offices, Temporary | |
| Nature Preserve/Community Garden | Concrete Products, Temporary | |
| Parking Lot, Off-Site | Construction Field Office | |
| Parking Lot, Commercial | Construction Staging, Off-site | |
| Park-n-Ride Facility | Parking Lot, Temporary | |
| Utilities (Minor, Intermediate, Major) | | |



October 5, 2020

City of Georgetown
Planning Department
c/o Andreina Davila-Quintero, Planning Manager
406 W. 8th Street
Georgetown, TX 78627

Dear Ms. Davila,

Please accept this letter as a notification of intent to re-zone 2405 Oak Lane from RS - Residential Single-Family to OF - Office. This 0.36-acre parcel of land will be used to provide additional parking for the adjacent worship center (Crestview Baptist Church).

The requested rezoning is made pursuant to UDC Section 3.06.030 and additionally meets the following criteria:

- **The zoning change is consistent with the Comprehensive Plan.** This development is in line with the City of Georgetown's 2030 comprehensive goals. Future land use for this region is set for mixed density neighborhood and this development will provide the surrounding neighborhoods with additional parking.
- **The zoning change promotes the health, safety or general welfare of the City and the safe orderly, and healthful development of the City.** The additional parking planned in this development will keep the streets clear of parked vehicles which will enhance the safety of the neighboring residents.
- **The zoning change is compatible with the present zoning and conforming uses of nearby property and with the character of the neighborhood.** Future land use for this region is set for mixed density neighborhood and this development will provide the surrounding neighborhoods with additional parking.
- **The property to be rezoned is suitable for uses permitted by the district that would be applied by the proposed amendment.** UDC Section 5.05.010 lists a parking lot as a permitted use in the OF zoning classification.

This site will not be accessible from Power Road. Access can be gained onto this site via Oak lane and the 2403 Oak Lane parcel. No additional roads or utilities will be required for the planned development of this property.

If there is anything that you would like to discuss about this application, please do not hesitate to contact me at jhenderson@msengr.com or by phone at 830.228.5446.

Respectfully,

Jeh Henderson, P.E.
M&S Engineering, LLC

JH/ar

ORDINANCE NO. _____

An Ordinance of the City Council of the City of Georgetown, Texas, amending part of the Official Zoning Map to rezone 0.36-acres out of the Nicholas Porter Survey, Abstract No. 497, generally located at 2405 Oak Lane, from Residential Single-Family (RS) to Office (OF) zoning district; repealing conflicting ordinances and resolutions; including a severability clause; and establishing an effective date.

Whereas, an application has been made to the City for the purpose of amending the Official Zoning Map, adopted on the 12th day of June, 2012, for the specific Zoning District classification of the following described real property ("The Property"):

0.36 acres of land situated in Williamson County Texas, out of the Nicholas Porter Survey, Abstract No. 497, generally located at 2405 Load Lane, as recorded in Document Number 2016070541 of the Official Public Records of Williamson County, Texas, hereinafter referred to as "The Property"; and

Whereas, public notice of such hearing was accomplished in accordance with State Law and the City's Unified Development Code through newspaper publication, signs posted on the Property, and mailed notice to nearby property owners; and

Whereas, the Planning and Zoning Commission, at a meeting on November 17, 2020, held the required public hearing and submitted a recommendation of approval to the City Council for the requested rezoning of the Property; and

Whereas, the City Council, at a meeting on December 8, 2020, held an additional public hearing prior to taking action on the requested rezoning of the Property.

Now, therefore, be it ordained by the City Council of the City of Georgetown, Texas, that:

Section 1. The facts and recitations contained in the preamble of this Ordinance are hereby found and declared to be true and correct, and are incorporated by reference herein and expressly made a part hereof, as if copied verbatim. The City Council hereby finds that this Ordinance implements the vision, goals, and policies of the Georgetown 2030 Comprehensive Plan and further finds that the enactment of this Ordinance is not inconsistent or in conflict with any other policies or provisions of the 2030 Comprehensive Plan and the City's Unified Development Code.

Section 2. The Official Zoning Map, as well as the Zoning District classification(s) for the Property is hereby amended from the Residential Single-Family (RS) to the Office (OF), in accordance with the attached *Exhibit A* (Location Map) and *Exhibit B* (Legal Description) and incorporated herein by reference.

Ordinance Number: _____

Page 1 of 2

Description: Crestview Baptist Church

Case File Number: 2020-20-REZ

Date Approved: January 12, 2021

Exhibits A-B Attached

Section 3. All ordinances and resolutions, or parts of ordinances and resolutions, in conflict with this Ordinance are hereby repealed, and are no longer of any force and effect.

Section 4. If any provision of this Ordinance or application thereof to any person or circumstance shall be held invalid, such invalidity shall not affect the other provisions, or application thereof, of this Ordinance which can be given effect without the invalid provision or application, and to this end the provisions of this Ordinance are hereby declared to be severable.

Section 5. The Mayor is hereby authorized to sign this ordinance and the City Secretary to attest. This ordinance shall become effective in accordance with the provisions of state law and the City Charter of the City of Georgetown.

APPROVED on First Reading on the 8th day of December, 2020.

APPROVED AND ADOPTED on Second Reading on the 12th day of January, 2021.

THE CITY OF GEORGETOWN:

ATTEST:

Josh Schroeder
Mayor

Robyn Densmore,
City Secretary

APPROVED AS TO FORM:

Skye Masson
City Attorney

Ordinance Number: _____

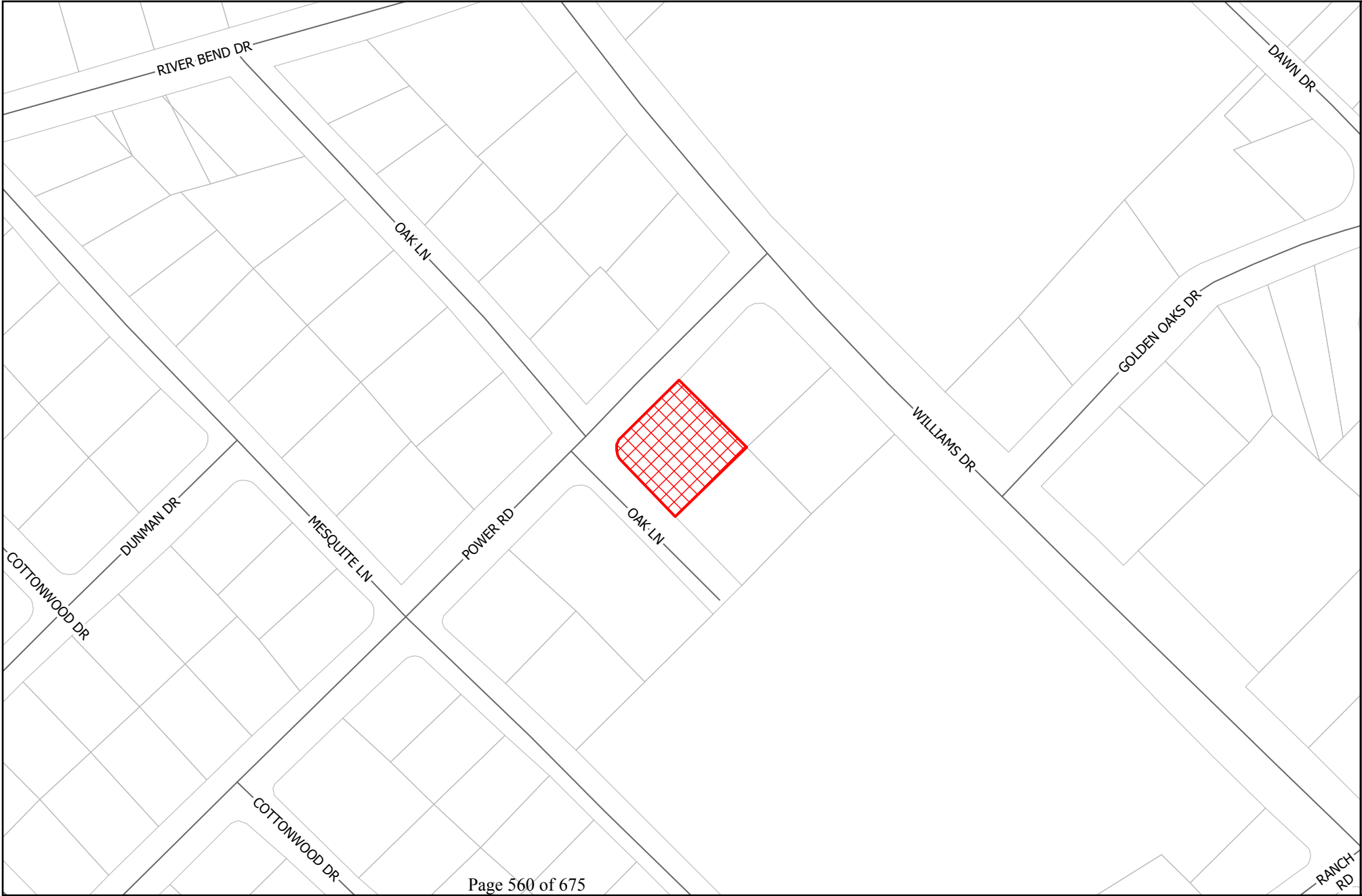
Description: Crestview Baptist Church

Date Approved: January 12, 2021

Page 2 of 2

Case File Number: 2020-20-REZ

Exhibits A-B Attached



LOCATION

2020-20-REZ

Exhibit #1

-  Site
-  Parcels

N



0 100 200 Feet

FIELD NOTES

JOB NO. 191495-00

DATE: 1-15-2020

PAGE 1 OF 2

0.36 ACRES – exhibit to accompany field notes

Being 0.36 acres of land situated in Williamson County, Texas, out of the Nicholas Porter Survey, Abstract No. 497, and being that same property conveyed to Crestview Baptist Church, in that instrument recorded under Document No. 2016070541 of the Official Public Records, Williamson County, Texas, as surveyed on the ground on this, the 13th day of January, 2020, by Texas Land Surveying, Inc., and further described by metes and bounds as follows:

BEGINNING: at a ½" iron rod, found at the intersection of the south line of Power Road and the east line of Oak Lane, for the northwest corner of said Crestview Baptist Church 0.36 acre tract, and this parcel.

THENCE: N 44°30'40" E, 129.96 feet along the south line of Power Road, the north line of said Crestview Baptist Church 0.36 acre tract, and this parcel, to a ½" iron rod found, for the northwest corner of a called 0.44 acre tract, conveyed to Thomas Kenny Ewan, Jr. and Lavora Ewan, in that instrument recorded in Volume 855, Page 130 of the Deed Records, Williamson County, Texas, the northeast corner of said Crestview Baptist Church 0.36 acre tract, and this parcel.

THENCE: S 45°32'58" E, 120.04 feet along the west line of said Ewan tract, the east line of said Crestview Baptist Church 0.36 acre tract, and this parcel, to a ½" iron rod found, for the southwest corner of said Ewan tract, the northeast corner of a called 0.358 acres, conveyed to Crestview Baptist Church, in that instrument recorded under Document No. 2007050429 of said Official Public Records, the southeast corner of said Crestview Baptist Church 0.36 acre tract, and this parcel, from which a ½" iron rod found, for the southeast corner of said Crestview Baptist Church 0.358 acre tract, bears S 45°01'08" E, 117.83 feet.

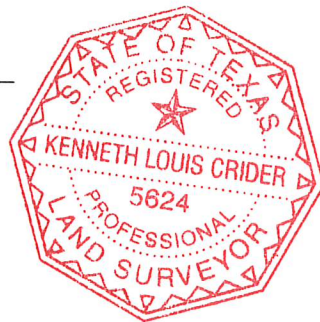
THENCE: S 44°31'59" W, 130.08 feet along the north line of said Crestview Baptist Church 0.358 acre tract, the south line of said Crestview Baptist Church 0.36 acre tract, and this parcel, to a ½" iron rod found in the east line of Oak Lane, for the northwest corner of said Crestview Baptist Church 0.358 acre tract, the southwest corner of said Crestview Baptist Church 0.36 acre tract, and this parcel.

THENCE: N 45°29'41" W, 119.99 feet along the east line of Oak Lane, the west line of said Crestview Baptist Church 0.36 acre tract, and this parcel, to the Point of Beginning, and containing a computed area of 0.36 acres, more or less.

Bearings cited hereon based on Grid North Texas State Plane Coordinate System Central Zone (NAD83).

 1-16-20

Kenneth Louis Crider, R.P.L.S. No. 5624
Texas Land Surveying, Inc.
3613 Williams Drive, Suite 903
Georgetown, Texas 78628
TBPLS FIRM No. 10056200



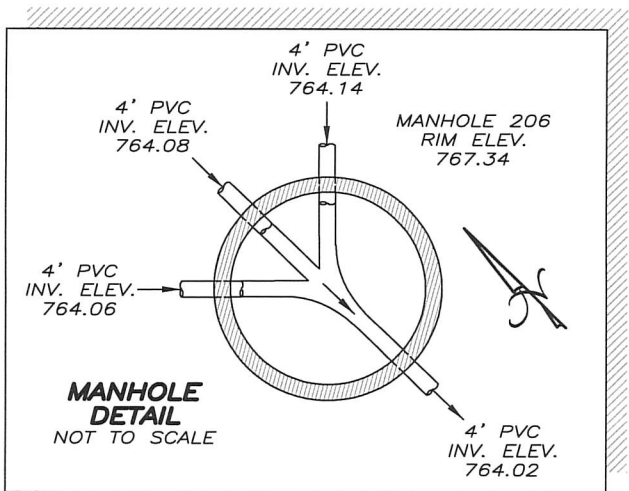
BOUNDARY, IMPROVEMENTS, TREE AND TOPOGRAPHY SURVEY FOR 0.36 ACRES OF LAND SITUATED IN WILLIAMSON COUNTY, TEXAS, OUT OF THE NICHOLAS PORTER SURVEY, ABSTRACT NO. 497, AND BEING THAT SAME PROPERTY CONVEYED TO CRESTVIEW BAPTIST CHURCH, IN THAT INSTRUMENT RECORDED UNDER DOCUMENT NO. 2016070541 OF THE OFFICIAL PUBLIC RECORDS, WILLIAMSON COUNTY, TEXAS, AND FURTHER DESCRIBED BY ACCOMPANYING METES AND BOUNDS (SEE PAGE 1 OF 2 ATTACHED).

JOB NO: 191495

DRAWN: RJT

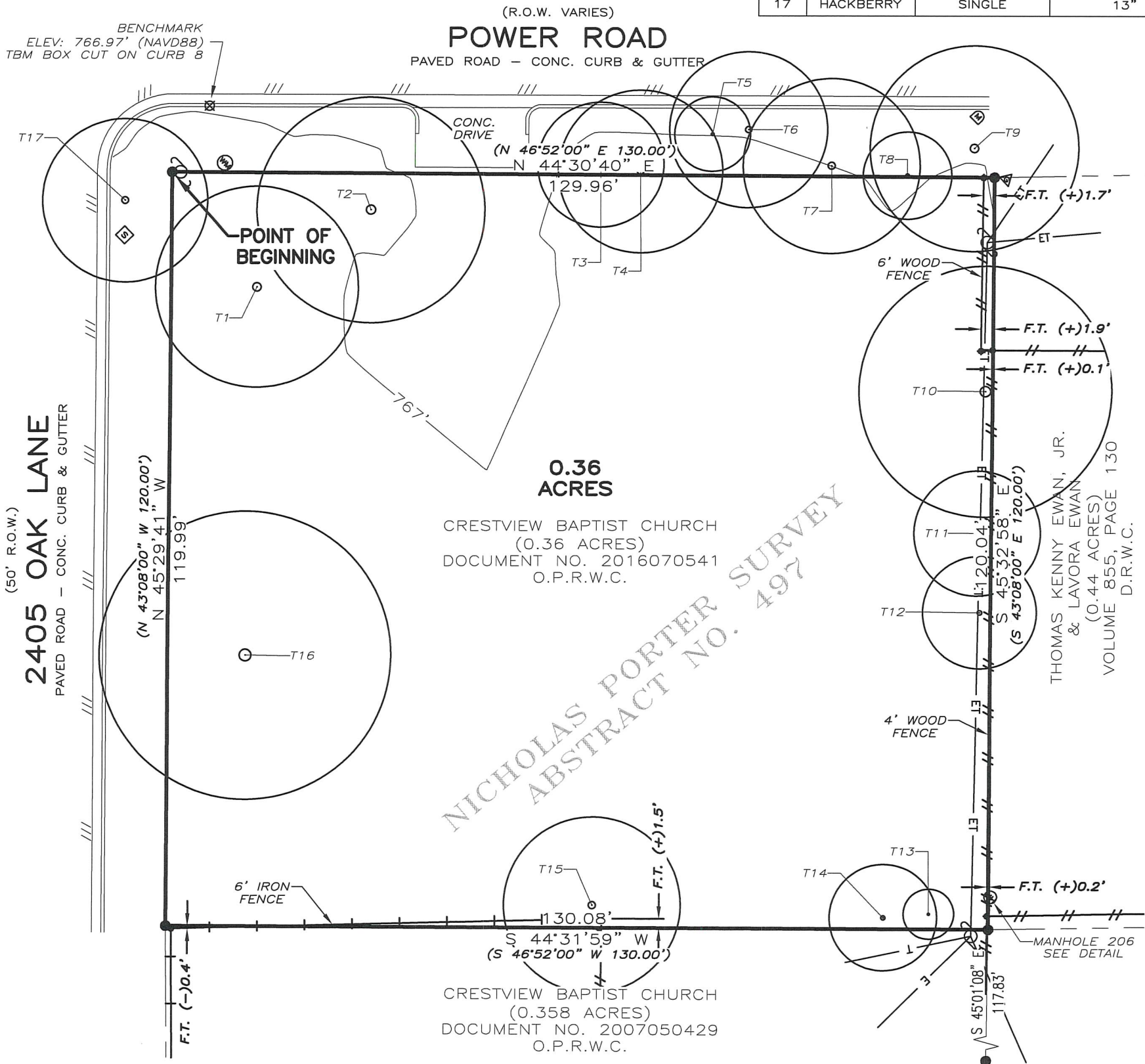
F.C.: CC

PAGE 2 OF 2



Scale: 1" = 20'
BEARINGS CITED HEREON BASED ON
STATE PLANE COORDINATES, GRID NORTH,
CENTRAL ZONE, TEXAS NAD 83 (93).

| TREE LIST | | | |
|-----------|-------------|-----------------|-------------------|
| TAG# | TYPE | CHARACTERISTICS | DIAMETER (INCHES) |
| 1 | SPANISH OAK | SINGLE | 16" |
| 2 | ELM | SINGLE | 18" |
| 3 | HACKBERRY | SINGLE | 10" |
| 4 | HACKBERRY | SINGLE | 13" |
| 5 | HACKBERRY | SINGLE | 6" |
| 6 | HACKBERRY | TWIN | 10", 5" |
| 7 | HACKBERRY | SINGLE | 14" |
| 8 | HACKBERRY | SINGLE | 7" |
| 9 | HACKBERRY | TWIN | 13", 7" |
| 10 | HACKBERRY | SINGLE | 20" |
| 11 | HACKBERRY | SINGLE | 10" |
| 12 | ASH | SINGLE | 9" |
| 13 | HACKBERRY | SINGLE | 4" |
| 14 | PECAN | TWIN | 6", 5" |
| 15 | HACKBERRY | TWIN | 10", 8" |
| 16 | PECAN | SINGLE | 23" |
| 17 | HACKBERRY | SINGLE | 13" |



CRESTVIEW BAPTIST CHURCH
(0.36 ACRES)
DOCUMENT NO. 2016070541
O.P.R.W.C.

THOMAS KENNY EWAN, JR.
& LAVORA EWAN
(0.44 ACRES)
VOLUME 855, PAGE 130
D.R.W.C.

CRESTVIEW BAPTIST CHURCH
(0.358 ACRES)
DOCUMENT NO. 2007050429
O.P.R.W.C.

FENCE TIES (FT) WITH A PLUS (+) SIGN INDICATE FENCE INSIDE THE PROPERTY LINE.
FENCE TIES (FT) WITH A MINUS (-) SIGN INDICATE FENCE OUTSIDE THE PROPERTY LINE.

| LEGEND | |
|------------|---|
| ● | 1/2" IRON ROD FOUND (UNLESS OTHERWISE NOTED) |
| ⚙ | GAS METER |
| ■ | FENCE POST |
| ⚡ | UTILITY POLE |
| —E— | ELECTRIC LINES |
| —T— | TELEPHONE LINES |
| —ET— | ELECTRIC/TELEPHONE LINES |
| /// | PAVEMENT |
| D.R.W.C. | DEED RECORDS OF WILLIAMSON COUNTY, TEXAS |
| O.P.R.W.C. | OFFICIAL PUBLIC RECORDS OF WILLIAMSON COUNTY, TEXAS |
| () | RECORD INFORMATION |
| Ⓜ | MAILBOX |
| Ⓢ | SIGN |
| Ⓜ | WATER METER |
| CONC. | CONCRETE |
| R.O.W. | RIGHT-OF-WAY |

SURVEY PERFORMED WITHOUT THE BENEFIT OF A TITLE COMMITMENT. OTHER EASEMENTS AND/OR RESTRICTIONS NOT SHOWN HEREON MAY AFFECT.

STATE OF TEXAS §
§ KNOW ALL MEN BY THESE PRESENTS

COUNTY OF WILLIAMSON §

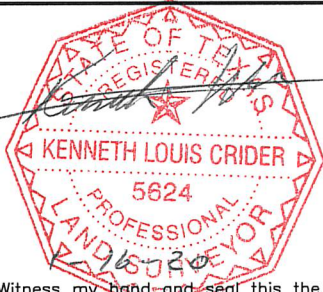
THAT SURVEYOR FOR TEXAS LAND SURVEYING, INC., HAVE THIS DATE CAUSED TO BE PERFORMED AN ON-THE-GROUND SURVEY UNDER MY SUPERVISION OF THE FOREGOING TRACT OF LAND AND TO THE BEST OF MY KNOWLEDGE AND BELIEF THERE ARE NO DISCREPANCIES, CONFLICTS, SHORTAGES IN AREA, ENCROACHMENTS, VISIBLE UTILITY LINES OR ROADS IN PLACE, AND THAT SAID PROPERTY HAS ACCESS TO AND FROM A DEDICATED ROADWAY, EXCEPT AS SHOWN HEREON.

Texas Land Surveying, Inc.

—A Land Surveying and Geoscience Firm—
3613 Williams Drive, Suite 903 — Georgetown, Texas 78628
(512) 930-1600/(512) 930-9389 fax www.texas-ls.com
TBPLS FIRM NO.10056200 GEOSCIENCE FIRM NO.50538

IF THIS DOCUMENT DOES NOT CONTAIN THE RED STAMPED SEAL OF THE UNDERSIGNED SURVEYOR, IT IS AN UNAUTHORIZED/ILLEGAL COPY.
TEXAS LAND SURVEYING, INC. ASSUMES NO LIABILITY FROM THE USE OF ANY UNAUTHORIZED/ILLEGAL DOCUMENT.

THIS AREA DOES NOT APPEAR TO BE IN A SPECIAL FLOOD HAZARD AREA PER FEMA'S FLOOD INSURANCE RATE MAP #48491C0290E, DATED SEPT. 26, 2008, THIS STATEMENT IS NOT MADE IN LIEU OF AN ELEVATION CERTIFICATE.



Witness my hand and seal this the 13th Day of January, 2020 A.D.

City of Georgetown, Texas
City Council Regular Meeting
January 12, 2021

SUBJECT:

Second Reading of an Ordinance for a **Zoning Map Amendment** to **rezone** approximately **2.50 acres** of land, out of the James Wright Survey, Abstract Number 13, **from** the **Industrial (IN)** zoning district **to** the **General Commercial (C-3)** zoning district, for the property generally located at **2501 N. IH-35** -- Sofia Nelson, CNU-A, Planning Director

ITEM SUMMARY:

Overview of Applicant's Request:

The applicant is proposing to rezone 2.50 acres of land located at 2501 N IH-35 from the Industrial (IN) zoning district to General Commercial (C-3). This proposed 2.50-acre area is the eastern portion of a 6.57 acre lot. The remaining 4.07-acres of the property is zoned General Commercial (C-3).

Staff's Analysis:

Staff has reviewed the request in accordance with the Unified Development Code (UDC) and other applicable codes. Staff has determined that the proposed request meets 5 of the 5 criteria established in UDC Section 3.06.030 for a Zoning Map Amendment as outlined in the attached Staff Report.

Public Comments:

As required by the Unified Development Code, all property owners and registered neighborhood associations within a 300-foot radius of the subject property were notified of the Zoning Map Amendment request (9 notices), a legal notice advertising the public hearing was placed in the Sun Newspaper (November 1, 2020) and signs were posted on-site. To date, staff has received 0 written comments in favor, and 0 in opposition to the request.

Planning and Zoning Commission Action:

At their November 17, 2020 meeting, the Planning & Zoning Commission recommended approval of the request (5-0).

City Council First Reading:

At their December 8, 2020 meeting, the City Council voted to approve first reading of the ordinance (6-0).

FINANCIAL IMPACT:

None. The applicant has paid the required application fees.

SUBMITTED BY:

Michael Patroski, Planner

ATTACHMENTS:

2020-16-REZ - P&Z Staff Report

Exhibit 1- Location Map

Exhibit 2- Future Land Use Map

Exhibit 3-Zoning Map

Exhibit 4- Design and development standards of the C-3

Exhibit 5- Letter of Intent

Ordinance w/exhibits

Presentation



Planning and Zoning Commission

Planning Department Staff Report

Report Date: November 13, 2020
Case No: 2020-16-REZ
Project Planner: Michael Patroski, Planner

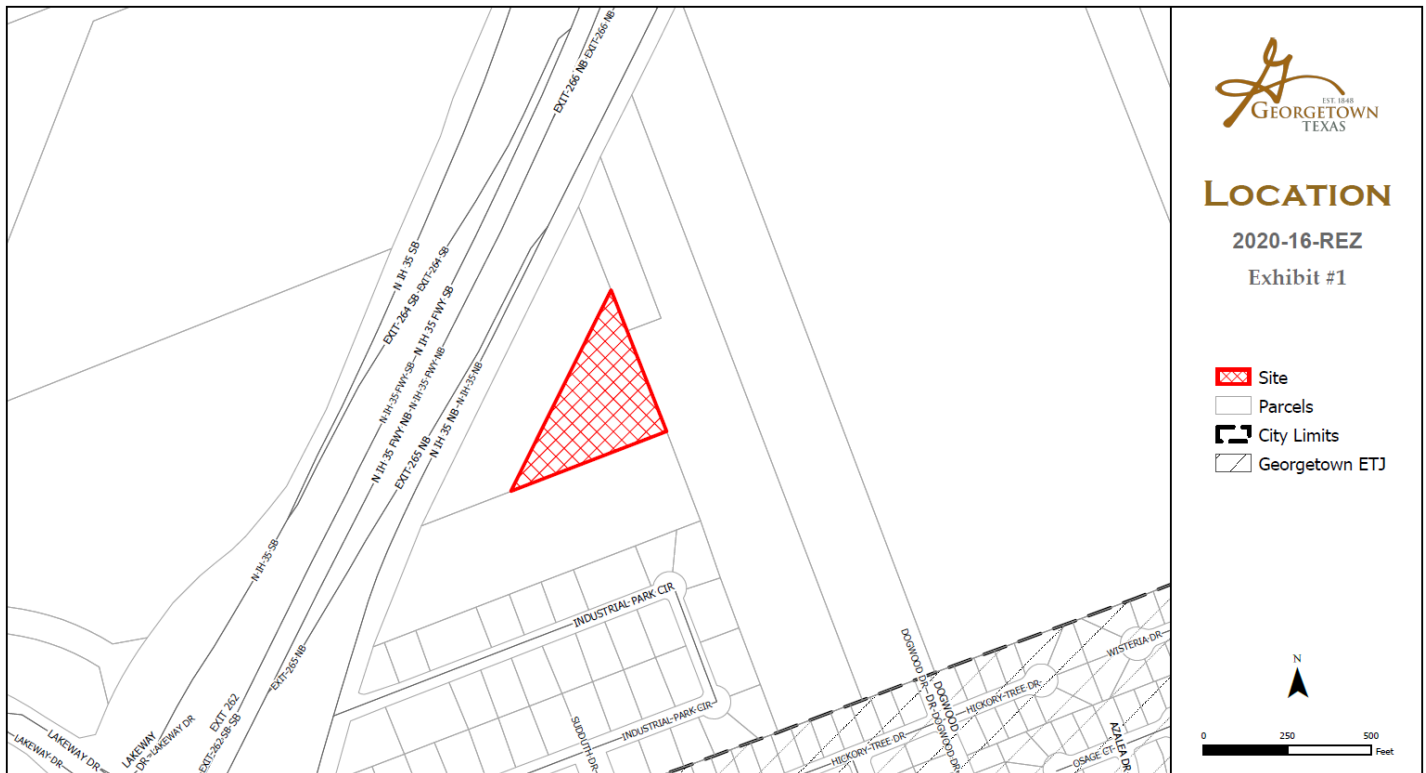
Item Details

Project Name: Unity Travel Center
Project Location: 2501 S IH 35 within City Council district No.7.
Total Acreage: 2.50
Legal Description: 2.50 acres of land, out of the James Wright Survey, Abstract Number 13.

Applicant: 2P Consultants LLC, c/o Don Pool
Property Owner: 2P Consultants LLC, c/o Don Pool

Request: Zoning Map Amendment to rezone the subject property from **Industrial (IN)** to **General Commercial (C-3)**.

Case History: This is the first public hearing of this request. The 2.50-acres subject property is part of an overall 6.57-acre tract of land. The front 4.07-acres was zoned General Commercial (C-3) in 2015.



Planning Department Staff Report

Overview of Applicant's Request

The applicant has submitted a request to rezone the 2.50-acre property from Industrial (IN) to General Commercial (C-3). The subject property is part of a 6.57-acre tract, the remaining portion of which (approximately 4 acres) is currently zoned General Commercial (C-3). The Applicant wishes to rezone this portion to have one consistent district on the property.

Site Information

Location:

The subject property is located at 2501 N. IH-35, and it is currently vacant.

Physical and Natural Features:

The subject property is predominantly flat with little to no tree coverage.

Future Land Use and Zoning Designations:

The subject property has an existing Future Land Use designation of Regional Center (RC) and is currently zoned Industrial (IN). The overall 6.57-acre tract of land is located within the Gateway Highway Overlay district.

Surrounding Properties:

The subject property is currently adjacent to vacant Agriculture (AG) land to the north and to the east. The property is also directly adjacent to the Vanguard Truck Center to the south. Along the IH-35 corridor, there is a mix of intense commercial and industrial uses, and vacant undeveloped property. As previously stated, the remaining 4.07-acres of the subjects' properties entire lot is zoned General Commercial (C-3) and is also currently vacant.

The current zoning, Future Land Use designation, and existing uses of the adjacent properties to the north, south, east and west are outlined in the table below:

| DIRECTION | ZONING DISTRICT | FUTURE LAND USE | EXISTING USE |
|-----------|--------------------------|-----------------|--|
| North | Agriculture (AG) | Regional Center | Vacant |
| East | Agriculture (AG) | Regional Center | Vacant |
| South | Industrial (IN) | Regional Center | Commercial vehicale sales and services (Vanguard Truck Center) |
| West | General Commercial (C-3) | Regional Center | Vacant |



Property History:

The subject property was annexed into the city limits in 2006 (Ord 2006-120) and given the base zoning district of Agriculture (AG). In 2015 the front 4.07-acre portion of the subject tract along N IH-35 was rezoned to General Commercial (C-3) and the remaining subject property was rezoned to Industrial (IN).

Comprehensive Plan Guidance

Future Land Use Map:

The Regional Center category is described in the 2030 Comprehensive Plan as developments may be configured as major shopping centers, standalone big-box retailers, or large-scale mixed-use developments, as well as supporting flex office space and office/warehouse development. These developments are typically automobile oriented with convenient access from major transportation routes and highway interchanges, however internal pedestrian connectivity is maximized and includes opportunities for pedestrian activity. Well-integrated residential developments, which encourage the interaction of residents and businesses, are appropriate and vertical mixed-use is encouraged.

Regional Center (RC)

DUA: 18 or more

Target Ratio: 75% nonresidential, 25% residential.

Primary Use: Large retailers

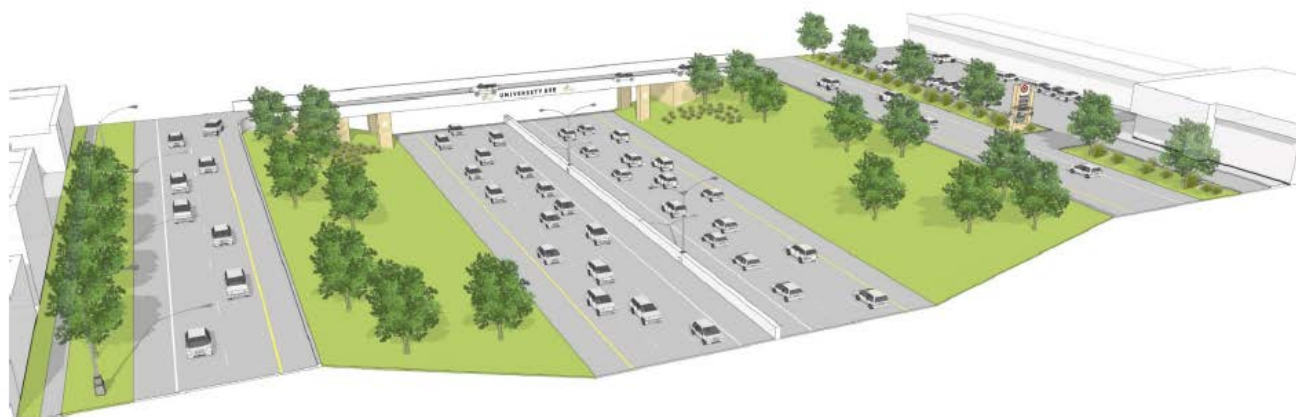
Secondary Uses: Mixed-use, high density residential, chain restaurants, specialty retailers, professional office, and civic uses

Other Master Plans: Image Corridors-Highway Corridor

Due to its location along IH-35, the subject property is also located within the Highway Corridor, one of the Image Corridors as part of the 2030 Plan Update. Highway corridors are located along the City's

Planning Department Staff Report

major roadways with the highest traffic volumes and traffic speeds. Highway corridors include primarily auto-oriented, nonresidential development such as commercial, retail, office, and mixed-use to capitalize on highway visibility and access; however, industrial development is not appropriate within these corridors without significant screening and performance standards. Highway corridors are the most visible to residents and visitors and project a positive image of Georgetown.



Land Use and Building Design

Commercial, retail, and mixed uses to capitalize on highway visibility (limited industrial uses)

Auto-oriented layouts with ample parking behind buildings

Streetscape

Lighting oriented for automobiles

Natural and native plantings

Focused and enhanced landscaping at intersections (see Figure 80)

Sidewalks between frontage road and buildings

Larger scale monument signs

Utilities

The subject property is located within the City's service area for water and wastewater. Additionally, it is located within a dual service area for electric, City of Georgetown and Pedernales Electric Cooperative (PEC). It is anticipated that there is adequate capacity to serve the subject property at this time. A Utility Evaluation may be required at time of Site Development Plan to determine capacity and any necessary utility improvements.

Transportation

The subject property will have access to the N IH 35 frontage road, an existing Major Arterial.

Arterial streets provide traffic movement through and between different areas within the city and access to adjacent land uses. Access is more controllable because driveway spacing requirements are much greater and, if safety dictates, overall access can be limited to specific turning movements. Major Arterials connect major traffic generators and land use concentrations and serve much larger traffic volumes over greater distances.

A Traffic Impact Analysis (TIA) will be required at time of Site Development Plan for any development that generates more than two thousand (2,000) average daily trips based upon the latest edition of the Institute of Transportation Engineers (ITE) Trip Generation Manual.

Planning Department Staff Report

Proposed Zoning district

The General Commercial District (C-3) is intended to provide a location for general commercial and retail activities that serve the entire community and its visitors. Uses may be large in scale and generate substantial traffic, making the C-3 District only appropriate along freeways and major arterials.

Permitted uses in this district include, but are not limited to, general retail, hotels, restaurants, and general office. Other uses such as activity center, bar/tavern/pub, college/university, fuel sales, and event facility among others are permitted subject to specific design limitations. Certain land uses, including automotive sales, rental or leasing facilities, require a Special Use Permit (SUP). Exhibit 4 contains a comprehensive list of C-3 district permitted uses and development standards.

Intergovernmental and Interdepartmental Review

The proposed rezoning request was reviewed by all applicable City Departments to determine the appropriateness of the requested zoning on the subject property. No comments were issued regarding the zoning request.

Approval Criteria

Staff has reviewed the proposed rezoning request and has found that it complies with the criteria established in UDC Section 3.06.030 for a Zoning Map Amendment, as outlined below:

| ZONING MAP AMENDMENT (REZONING) APPROVAL CRITERIA | |
|---|-----------------|
| 1. The application is complete and the information contained within the application is sufficient and correct enough to allow adequate review and final action. | Complies |
| An application must provide the necessary information to review and make a knowledgeable decision in order for staff to schedule an application for consideration by the Planning and Zoning Commission and City Council. This application was reviewed by staff and deemed to be complete. | |
| 2. The zoning change is consistent with the Comprehensive Plan. | Complies |
| The subject property and all adjacent parcels of land are located within the Regional Center (RC) Future Land Use designation. The Regional Center Future Land Use designation is intended to be configured as major shopping centers, stand- alone big-box retailers, or large-scale mixed-use developments, as well as supporting flex office space and office/warehouse development. | |
| The proposed General Commercial (C-3) zoning district, outlines commercial and retail businesses that facilitate the buying and selling of manufactured goods or provide consumer and professional sales and services, thus displaying its appropriateness within the Regional Center Future Land Use designation. While the Regional Center Future Land Use designation has an intended ratio of 75% non-residential and 25% residential, the vast majority of the current FLU area is vacant land, providing for additional opportunity for supporting residential uses. In addition, the subject property's close proximity to N. IH 35 and its location within the Highway Overlay depicts that General Commercial (C-3) would be an appropriate designation for the subject property given its location and easy access to major roadways. | |

Planning Department Staff Report

| ZONING MAP AMENDMENT (REZONING) APPROVAL CRITERIA | |
|--|-----------------|
| 3. The zoning change promotes the health, safety or general welfare of the City and the safe orderly, and healthful development of the City. | Complies |
| The zoning change would promote safe orderly development of the City as this would bring zoning uniformity to the entire 6.57-acre lot, thereby reducing the chance for land use conflicts. In addition, the standards of the General Commercial (C-3) district includes minimum side and rear setbacks to mitigate for the impact that uses within this zoning district may have on the abutting properties. | |
| 4. The zoning change is compatible with the present zoning and conforming uses of nearby property and with the character of the neighborhood. | Complies |
| The 2.50-acre subject property is part of an overall 6.57-acre lot, with the remaining 4.07-acres zoned General Commercial (C-3). The 6.57-acre lot fronts N. IH 35 and is included within the Highway Overlay district. The proposed zoning change would allow the 6.57-acre lot to have a unified zoning district appropriate adjacent to N. IH 35 and would provide similar character to the commercially zoned Vanguard Truck Center directly adjacent to the south. | |
| 5. The property to be rezoned is suitable for uses permitted by the District that would be applied by the proposed amendment. | Complies |
| The size and shape of the property allows for a typical commercial floor plan with enough land remaining to meet parking needs, as well as other site improvement requirements such as bufferyards, landscaping, and impervious cover. | |

Based on the findings listed above, staff finds that the requested General Commercial (C-3) zoning district complies with the approval criteria for a Zoning Map Amendment. The proposed zoning districts is consistent with the vision, character and uses encouraged in the Regional Center Future Land Use designation. In addition, the requested zoning district, should it be approved, will establish a single zoning district on the entire 6-acre property that may be developed with consistent and uniform development standards.

Meetings Schedule

November 17, 2020 – Planning and Zoning Commission

December 8, 2020 – City Council First Reading of the Ordinance

January 12, 2021 – City Council Second Reading of the Ordinance

Public Notification

As required by the Unified Development Code, all property owners and registered neighborhood associations within a 300-foot radius of the subject property were notified of the Zoning Map Amendment request (9 notices), a legal notice advertising the public hearing was placed in the Sun Newspaper (November 1, 2020) and signs were posted on-site. To date, staff has received 0 written comments in favor, and 0 in opposition to the request.

Attachments

Exhibit 1 – Location Map

Exhibit 2 – Future Land Use Map

Exhibit 3 – Zoning Map

Exhibit 4 – Design and development standards of General Commercial (C-3)


Exhibit 5 – Letter of Intent

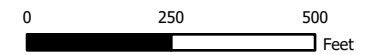


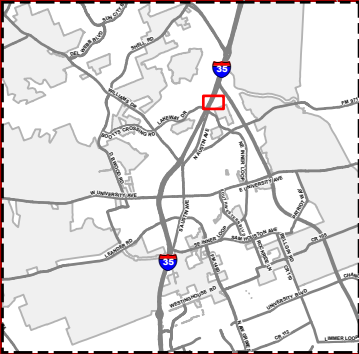
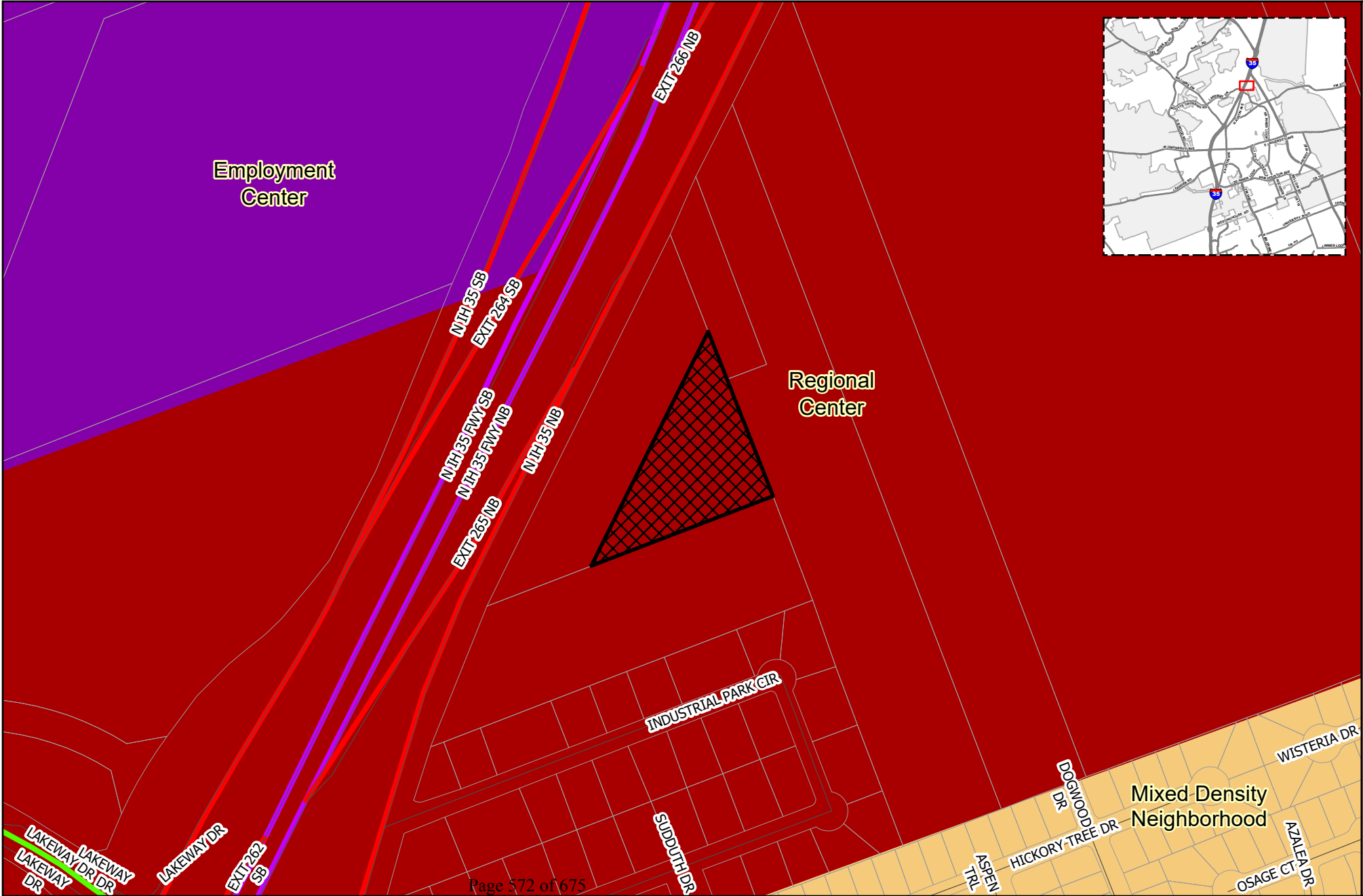
LOCATION

2020-16-REZ

Exhibit #1

-  Site
-  Parcels
-  City Limits
-  Georgetown ETJ



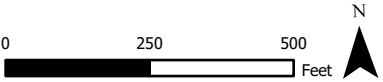


**FUTURE LAND USE/
OVERALL TRANSPORTATION
PLAN**

2020-16-REZ

Exhibit #2

- Site
- Parcels
- ▬ City Limits
- ▬ Georgetown ETJ
- Future Land Use**
 - Community Center
 - Employment Center
 - Institutional
 - Mining
 - Mixed Density Neighborhood
 - Neighborhood
 - Open Space
 - Parks and Recreation
 - Regional Center
 - Rural Residential
 - Special Area
- Thoroughfare**
 - Existing Freeway
 - Existing Major Arterial
 - Existing Minor Arterial
 - Existing Collector
 - Proposed Freeway
 - Proposed Major Arterial
 - Proposed Minor Arterial
 - Proposed Collector
 - Proposed Rail



AG

IN

C-3

C-3

IN

INDUSTRIAL PARK CIR

IN

SUDDUTH DR

C-3

AG



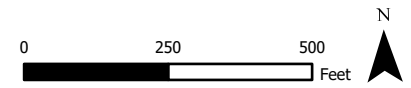
ZONING

2020-16-REZ

Exhibit #3

- Site
- PUD
- Courthouse View Overlay
- Old Town Overlay
- Historic Overlay
- Downtown Overlay
- SPO Overlay
- Gateway Overlay
- Parcels

- ### Zoning
- AG - Agriculture
 - BP - Business Park
 - C-1 - Local Commercial
 - C-3 - General Commercial
 - CN - Neighborhood Commercial
 - IN - Industrial
 - MF-1 - Low-Density Multi-family
 - MF-2 - High-Density Multi-family
 - MH - Manufactured Housing
 - MU-DT - Mixed-Use Downtown
 - OF - Office
 - PF - Public Facility
 - RE - Residential Estate
 - RL - Residential Low-Density
 - RS - Residential Single-Family
 - TF - Two-Family
 - TH - Townhouse



General Commercial (C-3) District

| District Development Standards | | |
|---|---------------------------------------|--|
| Maximum Building Height = 60 feet | Side Setback = 10 feet | Bufferyard = 15 feet with plantings |
| Front Setback = 25 feet | Side Setback to Residential = 15 feet | adjacent to AG, RE, RL, RS, TF, MH, |
| (0 feet for build-to/downtown) | Rear Setback = 10 feet | MF-1, or MF-2 districts |
| | Rear Setback to Residential = 25 feet | |
| Specific Uses Allowed within the District | | |
| Allowed by Right | Subject to Limitations | Special Use Permit (SUP) Required |
| Agricultural Sales | Activity Center (youth/senior) | Auto. Parts Sales (outdoor) |
| Artisan Studio/Gallery | Athletic Facility, Indoor or Outdoor | Auto. Repair & Service, General |
| Assisted Living | Bar/Tavern/Pub | Auto. Sales, Rental, Leasing |
| Automotive Parts Sales (indoor) | Business/Trade School | Bus Barn |
| Auto. Repair and Service, Limited | Church (with columbarium) | Cemetary, Columbaria, Mausoleum, or Memorial Park |
| Banking/Financial Services | College/University | Correctional Facility |
| Blood/Plasma Center | Commercial Recreation | Firing Range, Indoor |
| Car Wash | Community Center | Flea Market |
| Consumer Repair | Contractor Services, Limited | Fuel Sales with more than 10 multi-fuel dispensers |
| Dry Cleaning Service | Dance Hall/Night Club | Hospital, Psychiatric |
| Emergency Services Station | Data Center | Lumber Yard |
| Event Catering/Equipment Rental | Day Care (group/commercial) | Major Event Entertainment |
| Farmer's Market | Driving Range | Manufactured Housing Sales |
| Fitness Center | Event Facility | Meat Market |
| Food Catering Services | Fuel Sales | Multifamily Attached |
| Funeral Home | Heliport | Recreational Vehicle Sales, Rental, |
| General Retail | Kennel | Self-Storage (indoor or outdoor) |
| General Office | Live Music/Entertainment | Substance Abuse Treatment Facility |
| Government/Postal Office | Micro Brewery/Winery | Transient Service Facility |
| Home Health Care Services | Neighborhood Amenity Center | Wireless Transmission Facility (41'+) |
| Hospital | Office/Showroom | |
| Hotel/Inn/Motel (incl. extended stay) | Office/Warehouse | |
| Integrated Office Center | Park (neighborhood/regional) | |
| Landscape/Garden Sales | Pest Control/Janitorial Services | |
| Laundromat | School (Elementary, Middle, High) | |
| Library/Museum | Upper-story Residential | |
| Medical Diagnostic Center | Wireless Transmission Facility (<41') | |
| Medical Office/Clinic/Complex | | |
| Membership Club/Lodge | | |
| Nature Preserve/Community Garden | | |
| Nursing/Convalescent/Hospice | | |
| Parking Lot (commercial/park-n-ride) | | |
| Personal Services (inc. Restricted) | | |
| Printing/Mailing/Copying Services | | |
| Private Transport Dispatch Facility | | |
| Restaurant (general/drive-through) | | |
| Small Engine Repair | | |
| Social Service Facility | | |
| Surgery/Post Surgery Recovery | | |
| Theater (movie/live) | | |
| Transit Passenger Terminal | | |
| | Allowed by Right (continued) | |
| | Urgent Care Facility | |
| | Utilities (Minor/Intermediate/Major) | |
| | Veterinary Clinic (indoor only) | |



Planning Staff
Georgetown Planning Department
406 W. 8th Street
Re: Rezoning

September 11, 2020

Dear Planning Staff,

Please accept this Letter of Intent as our request to rezone a portion of the property located at 2501 N. IH-35. We are requesting to rezone the Industrial (IN) Zoned portion located within the site to General Commercial (C-3).

Currently, this property is inside the City of Georgetown city limits and consists of a total of 6.57 acres. The property currently consists of two zoning categories. The front 4.07-acres is zoned General Commercial (C-3) and the rear 2.50-acres is zoned Industrial (IN). Please see Exhibit "A".

Please see below for direct clarifications to Section 3.06.030 of the City of Georgetown Development Code.

- A. The application is complete and the information contained within the application is sufficient and correct enough to allow adequate review and final action;
Response: The application is complete and the provided information should be sufficient to allow adequate review.
- B. The zoning change is consistent with the Comprehensive Plan;
Response: The requested zoning change is consistent with the Comprehensive plan as it has identified this area as Regional Center and the proposed C-Store/QSR and fueling pumps will provide that Regional Center.
- C. The zoning change promotes the health, safety or general welfare of the City and the safe orderly, and healthful development of the City;
Response: The proposed zoning change accomplishes this by developing a center that will safely benefit the City by providing a place to stop on the outskirts of town for convenience items. This development will also adhere to all regulatory design standards including the additional requirements for water quality.
- D. The zoning change is compatible with the present zoning and conforming uses of nearby property and with the character of the neighborhood;
Response: The requested zoning change is compatible with the surrounding areas. The rezoning of this portion of the property will enhance the intensity of the design components as C-3 is stricter than IN.
- E. The property to be rezoned is suitable for uses permitted by the district that would be applied by the proposed amendment.
Response: The portion being rezoned is actually going to only be used for truck parking, landscaping and water quality/detention features. Therefore, it seems suitable for the rezoning purposes.

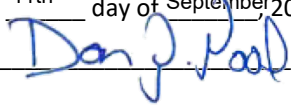
The zoning is being requested for this portion of the property is intended to be used for associated parking, landscaping and water quality detention features to serve the C-Store that is proposed in the C-3 zoning area on the front portion of the property.

The rezoning of this property will promote health, safety and general welfare of the City and the safe, orderly, and healthful development of the City. The rezoning of this property is consistent with the City's adopted long-range plan as it is identified as Regional Center and the proposed use will fit in to that category. The current use is vacant, although there previously, several years back was a small house on the property that has been removed for several years.

The applicant reserves the right to pull this rezoning application from consideration at any time during the proceedings. With this signed petition for Rezoning, the landowner understands that construction of any capital improvements necessary for development on the property will not be the responsibility of the City of Georgetown.

Signed this 11th day of September 2020

Signature: _____



STATE OF TEXAS

KNOW ALL MEN BY THESE PRESENTS

COUNTY OF WILLIAMSON

Sworn and Subscribed before me by _____ on this ____ day of _____

In the year of _____, to certify which witness my hand and seal of office.

Notary Public in and for the State of Texas

My commission expires on: _____

ORDINANCE NO. _____

An Ordinance of the City Council of the City of Georgetown, Texas, amending part of the Official Zoning Map to rezone 2.50 acres out of the James Wright Survey, Abstract Number 13, generally located at 2501 N IH-35, from Industrial (IN) to General Commercial (C-3) zoning district; repealing conflicting ordinances and resolutions; including a severability clause; and establishing an effective date.

Whereas, an application has been made to the City for the purpose of amending the Official Zoning Map, adopted on the 12th day of June, 2012, for the specific Zoning District classification of the following described real property ("The Property"):

2.50 acres out of the James Wright Survey, Abstract Number 13, generally located at 2501 N. IH-35, as recorded in Document Number 2013057374 of the Official Public Records of Williamson County, Texas, hereinafter referred to as "The Property"; and

Whereas, public notice of such hearing was accomplished in accordance with State Law and the City's Unified Development Code through newspaper publication, signs posted on the Property, and mailed notice to nearby property owners; and

Whereas, the Planning and Zoning Commission, at a meeting on November 17, 2020, held the required public hearing and submitted a recommendation of approval to the City Council for the requested rezoning of the Property; and

Whereas, the City Council, at a meeting on December 8, 2020, held an additional public hearing prior to taking action on the requested rezoning of the Property.

Now, therefore, be it ordained by the City Council of the City of Georgetown, Texas, that:

Section 1. The facts and recitations contained in the preamble of this Ordinance are hereby found and declared to be true and correct, and are incorporated by reference herein and expressly made a part hereof, as if copied verbatim. The City Council hereby finds that this Ordinance implements the vision, goals, and policies of the Georgetown 2030 Comprehensive Plan and further finds that the enactment of this Ordinance is not inconsistent or in conflict with any other policies or provisions of the 2030 Comprehensive Plan and the City's Unified Development Code.

Section 2. The Official Zoning Map, as well as the Zoning District classification(s) for the Property is hereby amended from the Industrial (IN) to the General Commercial (C-3) zoning district, in accordance with the attached *Exhibit A* (Location Map) and *Exhibit B* (Legal Description) and incorporated herein by reference.

Section 3. All ordinances and resolutions, or parts of ordinances and resolutions, in

Ordinance Number: _____

Page 1 of 2

Description: Unity Travel Center

Case File Number: 2020-16-REZ

Date Approved: 1/12/2021

Exhibits A-B Attached

conflict with this Ordinance are hereby repealed, and are no longer of any force and effect.

Section 4. If any provision of this Ordinance or application thereof to any person or circumstance shall be held invalid, such invalidity shall not affect the other provisions, or application thereof, of this Ordinance which can be given effect without the invalid provision or application, and to this end the provisions of this Ordinance are hereby declared to be severable.

Section 5. The Mayor is hereby authorized to sign this ordinance and the City Secretary to attest. This ordinance shall become effective in accordance with the provisions of state law and the City Charter of the City of Georgetown.

APPROVED on First Reading on the 8th day of December 2020.

APPROVED AND ADOPTED on Second Reading on the 12th day of January, 2021

THE CITY OF GEORGETOWN:

ATTEST:

Josh Schroeder
Mayor

Robyn Densmore,
City Secretary

APPROVED AS TO FORM:

Skye Masson
City Attorney

Ordinance Number: _____

Description: Unity Travel Center

Date Approved: 1/12/2021

Page 2 of 2

Case File Number: 2020-16-REZ


Exhibits A-B Attached



LOCATION

2020-16-REZ

Exhibit #1

-  Site
-  Parcels
-  City Limits
-  Georgetown ETJ

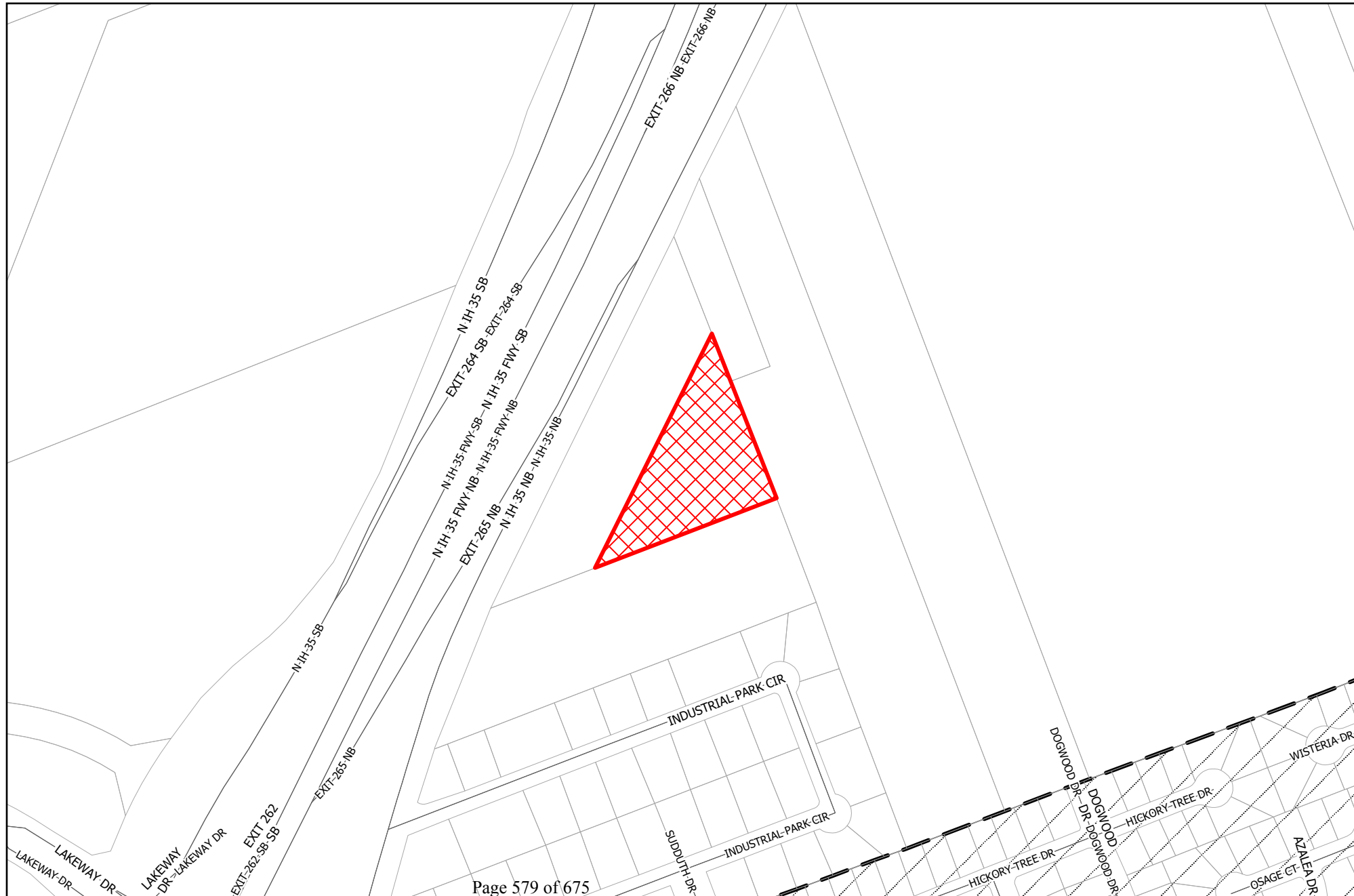
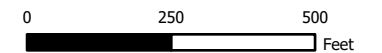


EXHIBIT "B"

BEING A 2.50 ACRES OF LAND, OUT OF THE JAMES WRIGHT SURVEY, ABSTRACT NUMBER 13, WILLIAMSON COUNTY, TEXAS, SAME BEING A PORTION OF THAT CERTAIN OFFSPRING CAPITAL INVESTMENT, LLC. 6.57 ACRE TRACT, CALLED TRACT 2 RECORDED IN DOCUMENT NUMBER 2013057374, OFFICIAL PUBLIC RECORDS, WILLIAMSON COUNTY, TEXAS, SAID 2.50 ACRES OF LAND TO BE MORE PARTICULARLY DESCRIBED AS FOLLOWS;

COMMENCING at an iron rod found in the easterly right-of-way line of N. IH 35, at the northwest corner of Lot 1, Block A, Vanguard Subdivision, recorded in Document Number 2019058143, Official Public Records, said county, same being the southwest corner of said 6.57 acre tract;

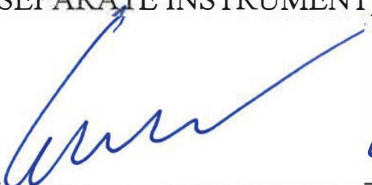
THENCE North 68 degrees 50 minutes 23 seconds East, along the northerly line of said Lot 1 and the southerly line of said 6.57 acre tract, 300.675 feet to the POINT OF BEGINNING and the southwest corner hereof;

THENCE North 25 degrees 57 minutes 13 seconds East, through said 6.57 acre tract, 662.77 feet to the southerly line of that certain Ruth Ann Maxey 1.13 acre tract recorded in Volume 689, Page 807, Deed Records, said county, same being in the northerly line of said 6.57 acre tract, for the most northerly corner hereof;

THENCE South 20 degrees 45 minutes 52 seconds East, along the westerly line of said 1.13 acre tract and that certain Ruth Ann Sudduth 9.87 acre tract recorded in Document Number 2011069151, Official Public Records, said county, along the easterly line of said 6.57 acre tract, 451.05 feet to an iron rod found in said line, at the northeast corner of said Lot 1, same being the southeast corner of said 6.57 acre tract, for the southeast corner hereof;

THENCE South 68 degrees 50 minutes 23 seconds West, along the northerly line of said Lot 1 and the southerly line of said 6.57 acre tract, 482.50 feet to the POINT OF BEGINNING.

THIS LEGAL DESCRIPTION IS TO BE USED WITH THE ACCOMPANYING SURVEY PLAT (BY SEPARATE INSTRUMENT), ONLY.


Edward Rumsey
TX. R.P.L.S. #5729
Job # A0602620-2

9-8-2020
Date



Unity Travel Center 2020-16-REZ

Second City Council
January 12, 2021

Item Under Consideration

2020-16-REZ

- Second Reading of an Ordinance on a request for a Zoning Map Amendment to rezone approximately 2.50 acres out of the James Wright Survey, Abstract Number 13, from the Industrial (IN) zoning district to the General Commercial (C-3) zoning district for the property generally located at 2501 N IH-35 (2020-16-REZ).



LOCATION

2020-16-REZ

Exhibit #1

-  Site
-  Parcels
-  City Limits
-  Georgetown ETJ



0 250 500
Feet

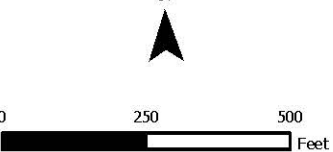


AERIAL

2020-16-REZ

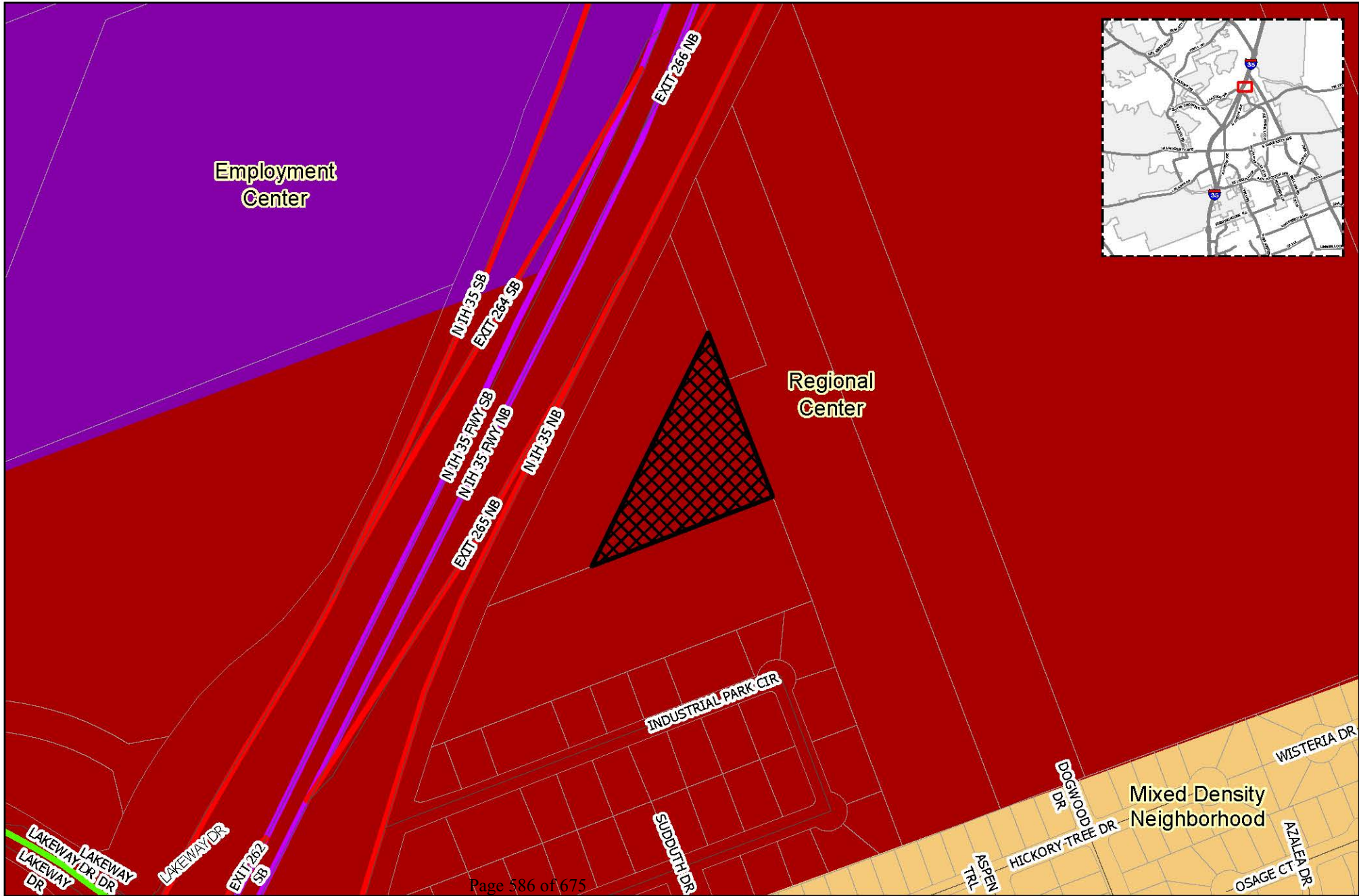
-  Site
-  City Limits
-  Georgetown ETJ

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Vanguard Truck Center

Crystal Knoll Terrace

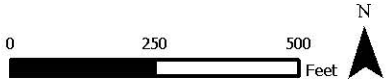


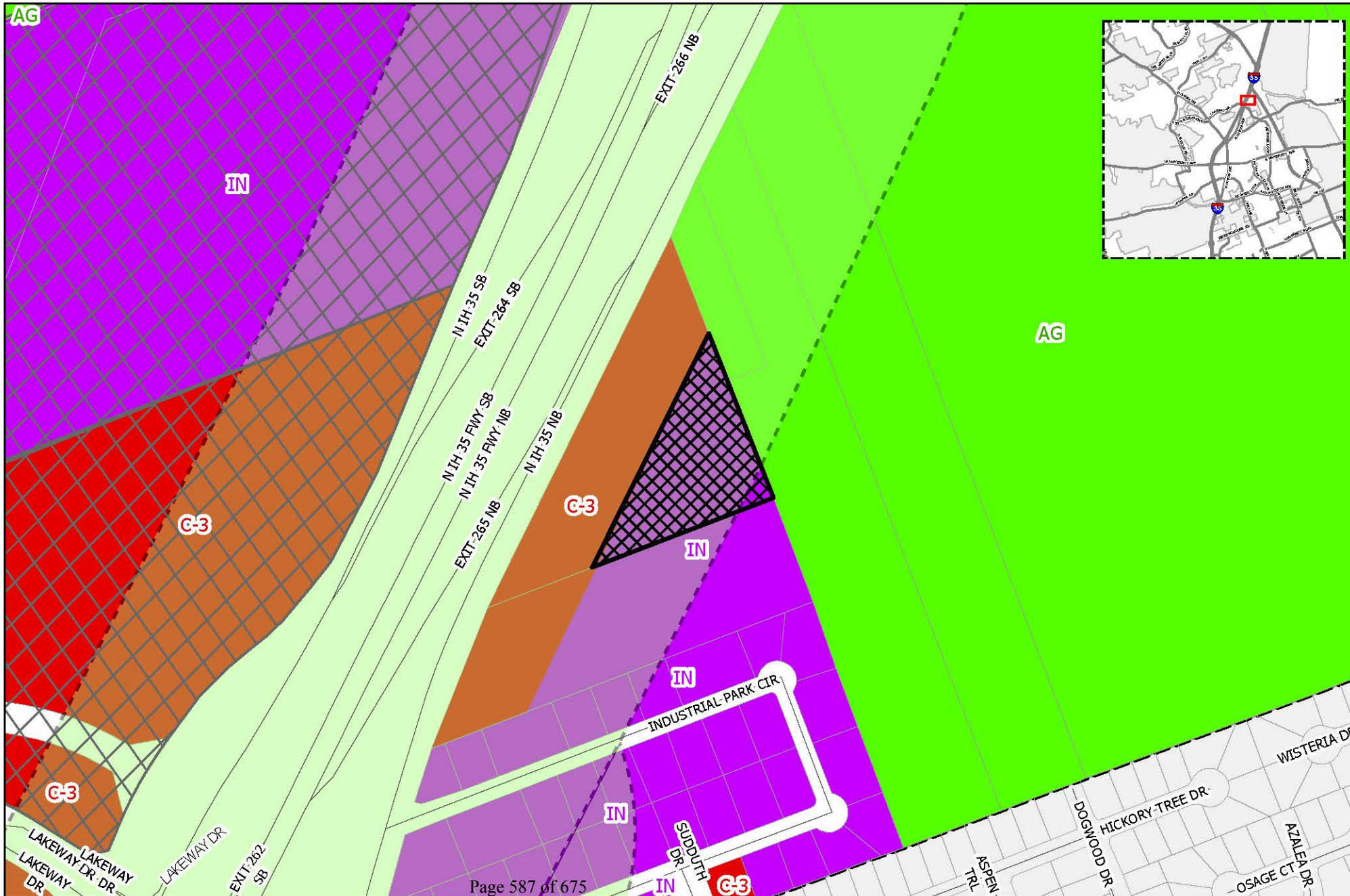
**FUTURE LAND USE/
OVERALL TRANSPORTATION
PLAN**

2020-16-REZ

Exhibit #2

- Site
- Parcels
- ▬ City Limits
- ▬ Georgetown ETJ
- Future Land Use**
- Community Center
- Employment Center
- Institutional
- Mining
- Mixed Density Neighborhood
- Neighborhood
- Open Space
- Parks and Recreation
- Regional Center
- Rural Residential
- Special Area
- Thoroughfare**
- Existing Freeway
- Existing Major Arterial
- Existing Minor Arterial
- Existing Collector
- Proposed Freeway
- Proposed Major Arterial
- Proposed Minor Arterial
- Proposed Collector
- Proposed Rail



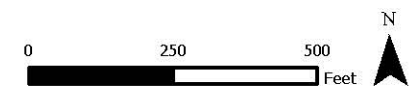


ZONING

2020-16-REZ

Exhibit #3

- Site
 - PUD
 - Courthouse View Overlay
 - Old Town Overlay
 - Historic Overlay
 - Downtown Overlay
 - SPO Overlay
 - Gateway Overlay
 - Parcels
- Zoning**
- AG - Agriculture
 - BP - Business Park
 - C-1 - Local Commercial
 - C-3 - General Commercial
 - CN - Neighborhood Commercial
 - IN - Industrial
 - MF-1 - Low-Density Multi-family
 - MF-2 - High-Density Multi-family
 - MH - Manufactured Housing
 - MU-DT - Mixed-Use Downtown
 - OF - Office
 - PF - Public Facility
 - RE - Residential Estate
 - RL - Residential Low-Density
 - RS - Residential Single-Family
 - TF - Two-Family
 - TH - Townhouse



Regional Center (RC)

- Located around arterial roads and highways
- Space for large scale commercial development
- Serves a larger geographic area
- Higher density residential uses can be appropriate when context sensitive land use planning and site design ensure an appropriate transition of land uses

DUA: 18 or more

Target Ratio: 75%
nonresidential, 25% residential

Primary Use: Large retailers

Secondary Uses: Mixed use, high density residential, chain restaurants, specialty retailers, professional office, and civic uses

General Commercial (C-3)

General Commercial (C-3)

| Permitted by Right | | Permitted with Limitations | Permitted with a SUP |
|---------------------------------------|--|---------------------------------------|---|
| Agricultural Sales | Integrated Office Center | Activity Center (youth/senior) | Auto. Parts Sales (outdoor) |
| Artisan Studio/Gallery | Landscape/Garden Sales | Athletic Facility, Indoor or Outdoor | Auto. Repair & Service, General |
| Assisted Living | Laundromat | Bar/Tavern/Pub | Auto. Sales, Rental, Leasing |
| Automotive Parts Sales (indoor) | Library/Museum | Business/Trade School | Bus Barn |
| Auto. Repair and Service, Limited | Medical Diagnostic Center | Church (with columbarium) | Cemetery/Columbaria/Mausoleum/Memorial Park |
| Banking/Financial Services | Medical Office/Clinic/Complex | College/University | Correctional Facility |
| Blood/Plasma Center | Membership Club/Lodge | Commercial Recreation | Firing Range, Indoor |
| Car Wash | Nature Preserve/Community Garden | Community Center | Flea Market |
| Consumer Repair | Nursing/Convalescent/Hospice | Dance Hall/Night Club | Hospital, Psychiatric |
| Dry Cleaning Service | Parking Lot (commercial/park-n-ride) | Data Center | Lumber Yard |
| Emergency Services Station | Personal Services (including restricted) | Day Care (group/commercial) | Major Event Entertainment |
| Event Catering/Equipment Rental | Printing/Mailing/Copying Services | Driving Range | Manufactured Housing Sales |
| Farmer's Market | Private Transport Dispatch Facility | Event Facility | Meat Market |
| Fitness Center | Restaurant (general/drive-through) | Fuel Sales | Multifamily Attached |
| Food Catering Services | Small Engine Repair | Heliport | Recreational Vehicle Sales, Rental, Service |
| Funeral Home | Social Service Facility | Kennel | Self-Storage (indoor or outdoor) |
| General Retail | Surgery/Post Surgery Recovery | Live Music/Entertainment | Substance Abuse Treatment Facility |
| General Office | Theater (movie/live) | Micro Brewery/Winery | Transient Service Facility |
| Government/Postal Office | Transit Passenger Terminal | Neighborhood Amenity Center | Wireless Transmission Facility (41'+) |
| Home Health Care Services | Urgent Care Facility | Park (neighborhood/regional) | |
| Hospital | Utilities (minor/intermediate/major) | Pest Control/Janitorial Services | |
| Hotel/Inn/Motel (incl. extended stay) | Veterinary Clinic (indoor only) | School (elementary, middle, high) | |
| | | Upper-story Residential | |
| | | Wireless Transmission Facility (<41') | |

Approval Criteria – UDC Section 3.06.030

| Criteria for Rezoning | Complies | Partially Complies | Does Not Comply |
|--|----------|--------------------|-----------------|
| The application is complete and the information contained within the application is sufficient and correct enough to allow adequate review and final action; | X | | |
| The zoning change is consistent with the Comprehensive Plan; | X | | |
| The zoning change promotes the health, safety or general welfare of the City and the safe orderly, and healthful development of the City; | X | | |

Approval Criteria – UDC Section 3.06.030

| Criteria for Rezoning | Complies | Partially Complies | Does Not Comply |
|--|----------|--------------------|-----------------|
| The zoning change is compatible with the present zoning and conforming uses of nearby property and with the character of the neighborhood; and | X | | |
| The property to be rezoned is suitable for uses permitted by the district that would be applied by the proposed amendment. | X | | |

Planning & Zoning Commission Action

- At their November 17, 2020 meeting, the Planning & Zoning Commission recommended approval of the request (5-0).

City Council Action on First Reading

- At their December 8, 2020 meeting, the City Council voted to approve first reading of the ordinance (6-0).

Second Reading of an Ordinance

- An Ordinance of the City Council of the City of Georgetown, Texas, amending part of the Official Zoning Map to rezone 2.50 out of James Wright Survey, Abstract Number 13, generally located at 2501 N IH-35 from Industrial (IN) to General Commercial (C-3) zoning district; repealing conflicting ordinances and resolutions; including a severability clause; and establishing an effective date.

City of Georgetown, Texas
City Council Regular Meeting
January 12, 2021

SUBJECT:

Second Reading of an Ordinance for the **voluntary annexation** of an approximate **36.20-acre** tract of land out of the F. Hudson Survey, Abstract No. 295, and a portion of Rabbit Hill Road, a right-of-way of varying width of record described to Williamson County, with an **initial zoning designation of Business Park (BP)** for approximately **16.56 acres** and **Low Density Multi-Family (MF-1)** for approximately **19.65 acres**, for the property generally located at **1051 Rabbit Hill Rd** -- Sofia Nelson, CNU-A, Planning Director

ITEM SUMMARY:

Overview of Applicant's Request:

The applicant is seeking initial zoning designation of Business (BP) district for the 16.56 acres of the southern portion of the property. According to the applicant's letter of intent (Exhibit 5), the Business Park zoning district is consistent with existing surrounding non-residential uses to the south and west and the non-residential zoning to the east. The applicant is also seeking initial zoning designation of Low Density Multifamily (MF-1) district for approximately 19.65 acres of the northern portion of the subject property. The applicant's letter of intent suggests that the use is consistent with the single-family residential subdivision immediately north of the property in the extraterritorial jurisdiction (ETJ).

Staff's Analysis:

Staff has reviewed the request in accordance with the Unified Development Code (UDC) and other applicable codes. Staff has determined that the proposed request complies with 4, and partially complies with 1 of the 5 criteria established in UDC Section 3.06.030 for a Rezoning as outlined in the attached Staff Report.

Public Comments:

As required by the Unified Development Code, all property owners and registered neighborhood associations within a 300-foot radius of the subject property were notified of the Zoning Map Amendment request (43 notices), a legal notice advertising the public hearing was placed in the Sun Newspaper November 1, 2020 and signs were posted on-site. To date, staff has received 0 written comments in favor, and 16 in opposition to the request (Exhibit 6).

Planning and Zoning Commission:

At their November 17, 2020 meeting, the Planning & Zoning Commission recommended approval of the Zoning Map Amendment request (4-1).

City Council First Reading:

At their December 8, 2020 meeting, the City Council approved the first reading of the ordinance (4-2).

Annexation and Zoning Meeting Schedule:

- 10/13/2020 – City Council Approves Municipal Services Agreement - COMPLETED
- 11/17/2020 - P&Z Public Hearing & Recommendation on Initial Zoning - COMPLETED
- COMPLETED – City Council Public Hearing and First Reading of Ordinance
- 1/12/2021 – City Council Second Reading of Ordinance - TONIGHT

FINANCIAL IMPACT:

City services, including police and fire protection, emergency medical services, solid waste collection and disposal are immediately subject to the property upon approval of the annexation ordinance. Extension of capital improvements such as water and wastewater systems will be subject to the City's utility extension and improvement policy or the terms of any potential agreement with the property owner.

SUBMITTED BY:

Nat Waggoner, PMP, AICP

ATTACHMENTS:

2020-10-ANX - P&Z Staff Report

Exhibit 1 – Location Map

Exhibit 2 – Future Land Use Map

Exhibit 3 – Zoning Map

Exhibit 4a – Design and development standards of the MF-1 zoning district

Exhibit 4b – Design and development standards of the BP zoning district

Exhibit 5 - Letter of Intent

Exhibit 6 - Public Comment

Ordinance

Presentation

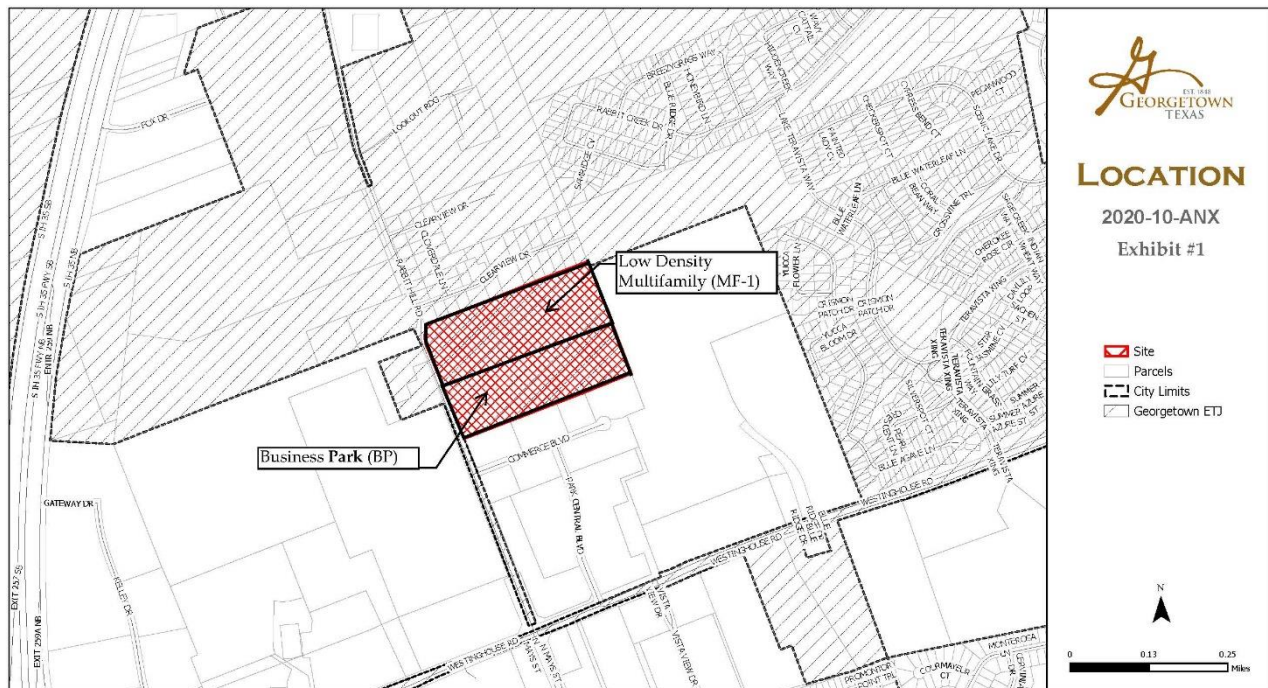


Planning and Zoning Commission Planning Department Staff Report

Report Date: November 13, 2020
Case No: 2020-10-ANX
Project Planner: Nat Waggoner, PMP, AICP, Long Range Planning Manager

Item Details

Project Name: Aaker Acres
Project Location: 1051 Rabbit Hill Rd, upon annexation, within City Council district No. 1.
Total Acreage: 35.298 acres
Legal Description: An approximately 35.298-acre tract of land out of the F. Hudson Survey, Abstract No. 295
Applicant: SEC Planning, c/o Peter Verdichio
Representative: SEC Planning, c/o Peter Verdichio
Property Owner: Aaker Acres LLC, c/o William Armstrong
Request: Zoning Map Amendment to zone, upon annexation, approximately 16.56 acres to the Business Park (BP) district and approximately 19.65 acres to the Low Density Multifamily (MF-1) district.
Case History: This is the first public hearing of this request.



Planning Department Staff Report

Overview of Applicant's Request

The applicant is seeking initial zoning designation of Business Park (BP) district for the 16.56 acres of the southern portion of the subject property. According to the applicant's letter of intent (Exhibit 5), the Business Park zoning district is consistent with existing surrounding non-residential uses to the south and west and the non-residential zoning to the east. The applicant is also seeking initial zoning designation of Low Density Multifamily (MF-1) district for approximately 19.65 acres of the northern portion of the subject property. The applicant's letter of intent suggests that the use is consistent with the single-family residential subdivision immediately north of the property in the extraterritorial jurisdiction (ETJ).

Site Information

Location:

The subject property is located in the southern most quadrant of the City of Georgetown on Rabbit Hill Rd, approximately 0.68 miles east of Interstate 35, 0.33 miles north of Westinghouse Rd. It is currently vacant.

Physical and Natural Features:

The subject property is generally undeveloped except for an east-west oriented electric easement owned by Oncor Electric on the northern portion of the property. The topography is generally flat, wholly in the Edwards Aquifer Transition Zone and does not appear to include any significant physical or natural features.

Future Land Use and Zoning Designations:

The subject property has a Mixed Density Future Land Use designation and is not currently zoned as it is located within the extraterritorial jurisdiction (ETJ).

Surrounding Properties:

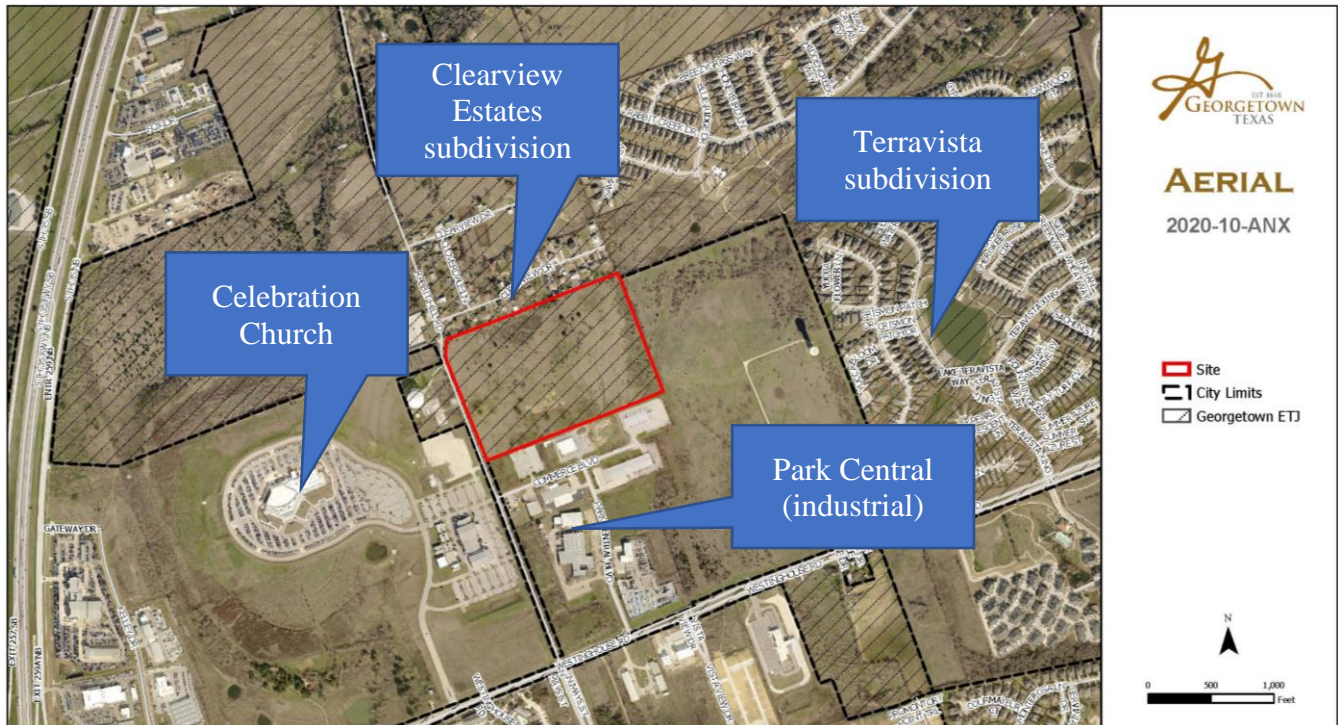
The subject property is located along Rabbit Hill Rd. To the north of the subject property is a single family ETJ subdivision. East of the subject property is a tract known as Windmill Hill, a horizontal mixed-use development that is envisioned for industrial and supporting uses immediately to the east of the subject property, and intense commercial uses and high density multi-family to the south and east. Properties immediately to the south are used for light industrial manufacturing and are developed with single story metal buildings. Immediately west of the subject property is a City of Round Rock water tower and further west and south of the property is the Celebration Church campus, which is developed with single story and two-story masonry buildings with surface parking.

The subject property abuts two other Future Land Use areas; a Regional Center Future Land Use area, which includes properties zoned as Industrial (IN), General Commercial (C-3), High Density Residential (MF-2), Public Facility (PF) and Residential Single-Family (RS) and an Employment Center which includes properties zoned as Agriculture (AG) and General Commercial (C-3).

The current zoning, Future Land Use designation, and existing uses of the adjacent properties to the north, south, east and west are outlined in the table below:

Planning Department Staff Report

| DIRECTION | ZONING DISTRICT | FUTURE LAND USE | EXISTING USE |
|-----------|----------------------|----------------------------------|-------------------------|
| North | ETJ | Mixed Density Neighborhood (MDN) | Low density residential |
| East | Industrial (IN) | Regional Center (RC) | Undeveloped |
| South | Industrial (IN) | Regional Center (RC) | Light manufacturing |
| West | Public Facility (PF) | Regional Center (RC) | Religious institution |



Property History:

This voluntary annexation and initial zoning designation is the first development application for this property. There are no development agreements or special districts established with the City of Georgetown for this property.

Comprehensive Plan Guidance

Future Land Use Map:

Mixed-Density Neighborhood (MDN)

The Mixed Density Neighborhood category includes a blend of single-family and medium-density housing types. Medium density housing options are consistent with and complementary to the traditional single-family neighborhood with emphasis on connectivity and access to neighborhood amenities including schools and parks. Development standards for medium density housing and any nonresidential uses are in place to ensure compatibility through increased setbacks for taller buildings, architectural designs that are consistent with the neighborhood, location of more intense uses and development nearer to the edge of developments, and enhanced landscaping.

DUA: 5.1-14.0

Target Ratio: 80% residential, 20% nonresidential

Primary Use: Variety of single-family home types (detached, duplex, townhome)

Secondary Uses: Limited neighborhood-serving retail, office, institutional, and civic uses

Planning Department Staff Report

Additionally, any non-residential uses are located primarily at arterials and other major roadway intersections and include appropriate buffering and pedestrian orientation to support the surrounding residents.

Regional Centers (RC)

The Regional Center designation is meant to facilitate large scale commercial development that serves a larger geographic area. These developments are should be located at key locations along major highways and arterial roads as they tend to be more automobile oriented. High density residential development can complement the commercial uses in these areas, but should be a secondary use in the area. Care should be taken to ensure that there is an appropriate transition of land uses from these high intensity development areas to lower intensity uses such single-family residential.

DUA: 18 or more

Target Ratio: 75%
nonresidential, 25% residential

Primary Use: Large retailers

Secondary Uses: Mixed use, high density residential, chain restaurants, specialty retailers, professional office, and civic

Employment Center (EC)

Centers with employment-generating uses support heightened economic activity through quality architectural design and well-integrated supporting uses such as retail, restaurants. The inclusion of moderate to high density residential is appropriate as a supporting use to these areas of commerce and employment. Because these areas often act as a transition between more intensely developed industrial uses and residential neighborhoods, standards should be developed to ensure that development of these activities is compatible with the character of the surrounding area. Care should be taken to protect adjacent uses from adverse impacts potentially associated with existing industrial uses (commercial traffic, outside storage, etc.), using buffering and/or performance-based development standards.

DUA: 14 or more

Target Ratio: 80%
nonresidential, 20% residential

Primary Use: Advanced manufacturing, life sciences, and professional services

Secondary Uses: Flex workspace, environmentally friendly manufacturing, retail, commercial, high-density residential mixed-use

Utilities

The subject property is located within the City's service area for water, wastewater, and shares an electric service area with Oncor. It is anticipated that there is adequate capacity to serve the subject property at this time. A Utility Evaluation may be required at time of Site Development Plan to determine capacity and any necessary utility improvements.

Transportation

The subject property is served by Rabbit Hill Rd, an existing major collector in the City's Thoroughfare Plan. These streets are intended to balance traffic between arterial streets and local streets. These streets tend to carry a high volume of traffic over shorter distances, providing access and movement between neighborhoods, parks, schools, retail areas and the arterial street system.

Planning Department Staff Report

Rabbit Hill Rd intersects with Westinghouse Rd to the south. Westinghouse is a major arterial intended to provide traffic movement through and between different areas within the city and access to adjacent land uses. Access is more controllable because driveway spacing requirements are much greater and, if safety dictates, overall access can be limited to specific turning movements. Major Arterials connect major traffic generators and land use concentrations and serve much larger traffic volumes over greater distances.

A Traffic Impact Analysis (TIA) will be required at time of Site Development Plan for any development that generates more than two thousand (2,000) average daily trips based upon the latest edition of the Institute of Transportation Engineers (ITE) Trip Generation Manual.

Proposed Zoning district

Low Density Multi-Family (MF-1)

The Low Density Multi-family (MF-1) District is intended for attached and detached multi-family residential development, such as apartments, condominiums, triplexes, and fourplexes, at a density not to exceed 14 dwelling units per acre. The MF-1 District is appropriate in the Moderate Density Residential area based on location, surrounding uses, and infrastructure impacts. Properties zoned MF-1 should have convenient access to major thoroughfares and arterial streets and should not route traffic through lower density residential areas. The MF-1 District is appropriate adjacent to both residential and non-residential districts and may serve as a transition between single-family districts and more intense multi-family or commercial districts.

Permitted uses in this district include, but are not limited to, attached and detached multi-family, group homes (7-15 residents), and rooming/boarding houses. Other uses such as day care facilities, churches, neighborhood amenity center and schools, among others are permitted subject to specific design limitations. Certain land uses, including assisted living, group homes (16+ residents) and halfway houses, require a Special Use Permit (SUP). Exhibit 4 contains a comprehensive list of MF-1 district permitted uses and development standards.

Business Park

The Business Park District (BP) is intended to provide a location for office, research, and light industrial uses typically located as part of a large development. The BP District may be appropriate adjacent to residential areas, provided that there is adequate buffering and pedestrian and vehicular access to the residential area for workers in the business park. The BP District typically has more traffic than in an office area, but fewer heavy vehicles than in an industrial area. The Business Park District is a special purpose district because it has a minimum size acreage for limited complementary uses that may expand with the size of the park. Larger parks often include commercial activities such as restaurants, banks, day care and similar uses that are intended to serve the on-site community and may include some limited high-density residential.

Permitted uses in this district include, but are not limited to, hotels, data centers, general office, health care services, showrooms, printing/publishing, office and warehouse, research, and testing. Other uses may be approved subject to additional site design standards such as hotels, fitness centers, general retail and restaurants. Uses such as fuel sales and car wash require approval of a Special Use Permit (SUP) by the City Council. Exhibit 4 contains a comprehensive list of BP district permitted uses and

Planning Department Staff Report

development standards.

Intergovernmental and Interdepartmental Review

The proposed rezoning request was reviewed by all applicable City Departments to determine the appropriateness of the requested zoning on the subject property. No comments were issued regarding the zoning request.

Approval Criteria

Staff has reviewed the proposed rezoning request and has found that it [complies, partially complies, does not comply] with the criteria established in UDC Section 3.06.030 for a Zoning Map Amendment, as outlined below:

| ZONING MAP AMENDMENT (REZONING) APPROVAL CRITERIA | |
|--|---------------------------|
| 1. The application is complete and the information contained within the application is sufficient and correct enough to allow adequate review and final action. | Complies |
| An application must provide the necessary information to review and make a knowledgeable decision in order for staff to schedule an application for consideration by the Planning and Zoning Commission and City Council. This application was reviewed by staff and deemed to be complete. | |
| 2. The zoning change is consistent with the Comprehensive Plan. | Partially Complies |
| When viewed broadly, this property is located in an area that transitions between residential uses to the east and north and commercial future land uses to the west and south; abutting two commercial future land uses, Employment Center and Regional Center. The Future Land Use map is not meant to be applied to specific parcels. Development patterns of the Future Land Use Map are generally applied, and the boundaries are meant to be interpreted based on major roadways, geographic features, geopolitical boundaries and established developments. | |
| The Future Land Use Plan of the 2030 Comprehensive Plan identifies this property as Mixed Density Neighborhood (MDN). The MDN land use allows for a variety of housing types and forms (attached, detached) including the MF-1 district requested. Moderate density multi-family use is appropriate within this land use category if the use is consistent and compatible to the traditional single-family neighborhood. One measure of compatibility between housing types is density. The Clearview Estates subdivision to the north has an approximate density of 1.56 housing units per gross acre. The request for Multi-Family 1 (MF-1) zoning district for the northern portion of the tract is consistent with the development densities of the Moderate Density Neighborhood (MDN) land use designation of 5 and 14 units per gross acre, and allows a mix of attached and detached multi-family units. | |
| Use of these housing types as transitional uses with adjacent commercial is encouraged by policies of the 2030 Land Use Plan. For the subject property, the MF-1 zoning district request provides a transition of greater residential density from the Clearview Estates subdivision to the north to the more intense commercial and industrial uses south along Rabbit Hill Rd. | |

ZONING MAP AMENDMENT (REZONING) APPROVAL CRITERIA

The Housing Element of the 2030 Plan includes an inventory and classification of housing types for distinct geographic areas of the city and extraterritorial jurisdiction (ETJ), known as Subareas. The housing inventory identifies this area as Subarea 4, an area consisting of approximately 4,000 acres. Subarea 4, lacks a diversity of housing types, consisting predominately of single family detached homes (75%) and high density residential (24%). The two dominant residential zoning districts in Subarea 4 are Single Family Residential (RS) and High Density Multi-Family (MF-2). Of the more than 4,00 acres within Subarea 4, there are only 11-acres property zoned for MF-1. There are no Manufactured Housing (MH), Residential Estate (RE), Residential Low-Density (RL), Two Family (TF) or Townhouse (TH) zoning districts in the Subarea.

Policy #1 of The Land Use Plan encourages a balanced mix of residential, commercial, and employment uses at varying densities and intensities to reflect a gradual transition from urban to suburban to rural development. The policy emphasizes the ratios of non-residential uses within residential future land use categories, such as the MDN land use, to help distribute commercial development throughout the community. Improving the interface between residential and non-residential is a priority of this policy. Balance is achieved by following the target ratios outlined in each Future Land Use category. Gradual transitions in intensities may be achieved through the placement of more intense uses near the center of the area where services and transportation networks are more established; less intense/ uses are located towards the periphery. More intense uses may be those that generate more traffic and allow for a higher density of residential or commercial space.

The request to zone the southern portion of the tract to Business Park (BP) supports the percent share of residential to non-residential uses as defined by the target ratios of 80% residential, to 20% non-residential for the Mixed Density Neighborhood. The approximate 16 acres the applicant seeks nonresidential uses will not exceed the target ratio as the area in which the MDN designation encompasses includes the Teravista subdivision. The addition of approximately 19 acres of residential remains less than the target ratio of 80% (see below).

| Mixed Density Neighborhood | | | |
|-----------------------------------|--------------------------------------|--------------------------------|---------------------------------|
| | 2030 Plan Recommendations | Existing Conditions | With Proposed Zoning |
| Non-residential | 20% | 0% | 3% |
| Residential | 80% | 40% | 43% |
| Ag/Unentitled | - | 60% | 54% |
| | | | 0% |
| | 100% | 100% | 100% |

The BP request partially complies with the Land Use designation of MDN as the zoning district supports office type uses, which are supporting, secondary uses of the MDN designation. The BP district allows for light industrial type uses, such as limited manufacturing, which are more intense

ZONING MAP AMENDMENT (REZONING) APPROVAL CRITERIA

than the office uses sought by the MDN future land use. The BP zoning will provide a transition of less intense non-residential uses from the Industrial (IN) zoned properties south of the subject property to the residential uses to the north along Rabbit Hill Rd.

The subject property immediately abuts an area identified as a Regional Center. Given the flexibility in determining extents of Future Land Use designations, the inclusion of this property in the Regional Center would support the request of BP as a commercial use. The request of MF-1 is inconsistent; the Regional Center seeks high density residential uses.

| Regional Center | | | |
|-----------------|--------------------------|---------------------|----------------------|
| | 2030 Plan Recommendation | Existing Conditions | With Proposed Zoning |
| Non-residential | 75% | 69% | 71% |
| Residential | 25% | 20% | 24% |
| Ag/Unentitled | - | 11% | 5% |

Given the request for two zoning districts for the subject property and the flexible boundary determination of the Future Land Use Map, it appropriate that the “boundary” between RC and MDN split this property, supporting moderate density residential uses of the Mixed Density Neighborhood and commercial uses within the Regional Center.

| | |
|---|-----------------|
| 3. The zoning change promotes the health, safety or general welfare of the City and the safe orderly, and healthful development of the City. | Complies |
|---|-----------------|

The annexation and initial zoning of the property will not adversely affect the health, safety and general welfare of the adjacent properties, particularly the residential subdivision within the ETJ to the north. According to the City of Georgetown’s UDC, the Low-Density Multi-Family (MF-1) should be developed with convenient access to major thoroughfares and is appropriate being adjacent to both residential and non-residential development. The MF-1 allows for the attached product that can resemble a duplex, townhome and multi-family. It also allows for a range of densities and offer the transition. Further the BP zoning district will provide a transition of intensity from the commercial and industrial properties to the south to the residential properties to the north.

The development of the subject property to the residential densities of MF-1 and the commercial intensities of BP will support the orderly and healthful development of the City through the extension of support utilities including water, wastewater services.

| | |
|--|-----------------|
| 4. The zoning change is compatible with the present zoning and conforming uses of nearby property and with the character of the neighborhood. | Complies |
|--|-----------------|

Although in the ETJ and therefore not zoned, the density of the ETJ subdivision, approximately 1.6 dwelling units/gross acre, is similar to the density allowed within the City limits. The MF-1 zoning district is appropriate as adjacent zoning district to the residential zoning districts within the city limits. The request for the MF-1 District for the northern portion of the subject tract is compatible with the residential subdivision north as housing products within the MF-1 district can resemble a duplex, townhome and multi-family. It also allows for a range of densities and offer the transition.

Planning Department Staff Report

ZONING MAP AMENDMENT (REZONING) APPROVAL CRITERIA

The request for the BP District of the southern portion is appropriate adjacent to the requested MF-1 tract to the north, provided that there is adequate buffering and pedestrian and vehicular access to the residential area for workers in the business park. The requested BP District is appropriate as a transition of commercial intensities from the Industrial zoned tracts to the south.'

5. The property to be rezoned is suitable for uses permitted by the District that would be applied by the proposed amendment.

Complies

The 19.65-acre property proposed for Low-Density Multi-Family (MF-1) includes an approximate 100' wide electric easement owned by Oncor electric and will have an impact on the size of the development. Notwithstanding the electric easement, the 19.65-acre possess the size and shape to adequately develop within its respected classifications. The current maximum of dwelling units per acre in the MF-1 zoning district is 14 units. The subject property would therefore be limited to a maximum of 275 dwelling units.

The 16.56 acres southern portion of the property is suitable for the uses of the BP District. The size of the tract, lack of change in topography and water features provides sufficient developable acreage.

The request of initial zoning designation of Business (BP) district for the 16.56-acre southern portion of the property and Low Density Multifamily (MF-1) district for approximately 19.65 acres for the northern portion of the subject property provides a transition of land uses and a diversity of housing consistent with the policies of the 2030 Plan. The Business Park (BP) zoning district provides a transition of commercial intensities with existing surrounding non-residential uses to the south and west, and the non-residential zoning to the east. The Low Density Multifamily (MF-1) request is consistent with the single-family residential subdivision immediately north of the property in the extraterritorial jurisdiction (ETJ) and creates a transition of residential densities and provides a variety of housing types sought by the Mixed Density Future Land Use category.

Meetings Schedule

11/17/2020 – Planning and Zoning Commission
12/10/2020 – City Council First Reading of the Ordinance
1/12/2021 – City Council Second Reading of the Ordinance

Public Notification

As required by the Unified Development Code, all property owners and registered neighborhood associations within a 300-foot radius of the subject property were notified of the Zoning Map Amendment request (43 notices), a legal notice advertising the public hearing was placed in the Sun Newspaper November 1, 2020 and signs were posted on-site. To date, staff has received 0 written comments in favor, and 16 in opposition to the request (Exhibit 6).

Attachments

Exhibit 1 – Location Map

Planning Department Staff Report

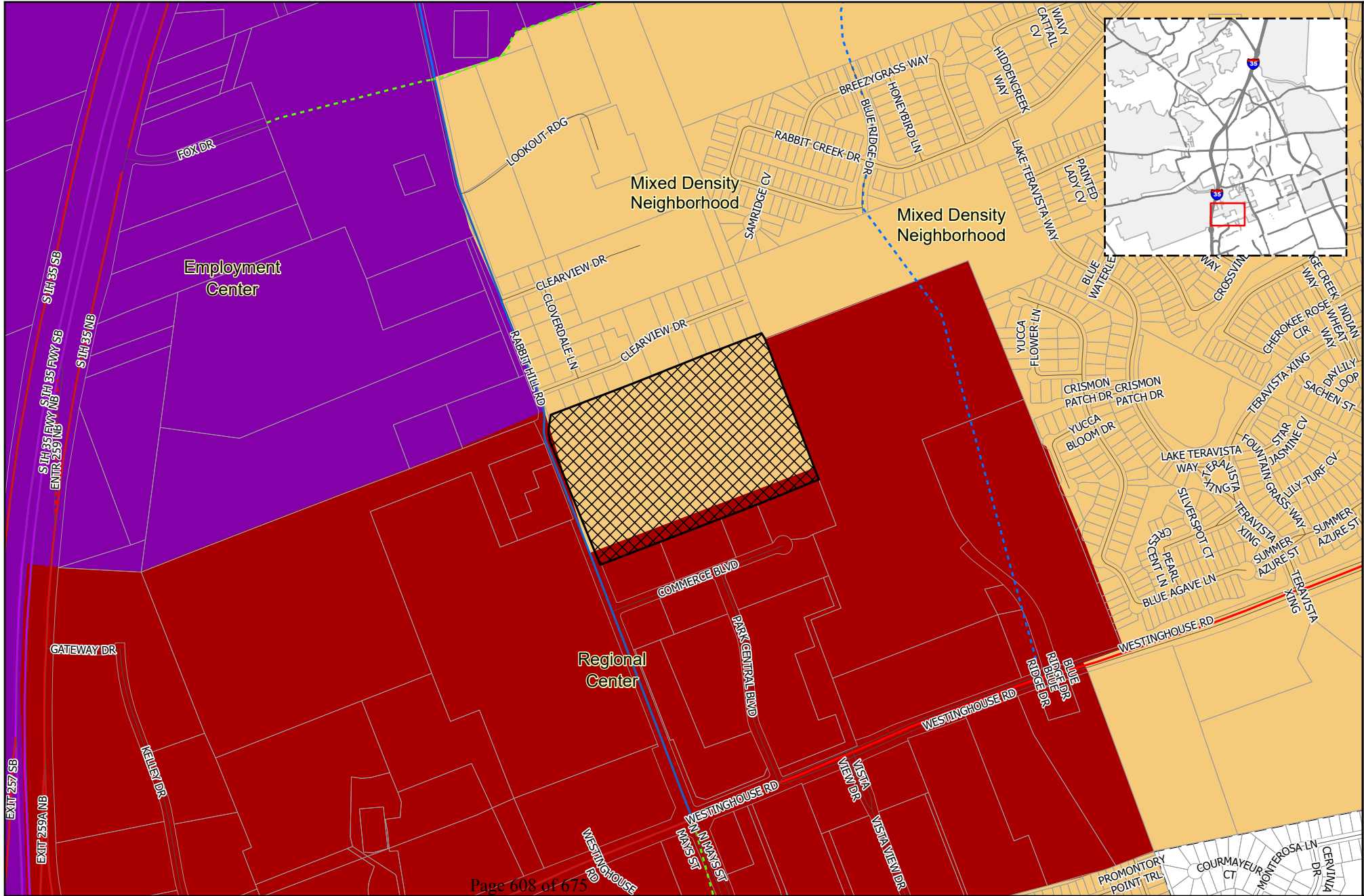
Exhibit 2 – Future Land Use Map

Exhibit 3 – Zoning Map

Exhibit 4 – Design and development standards of the MF-1 and BP zoning districts

Exhibit 5 – Letter of Intent

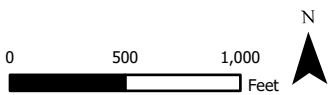
Exhibit 6 – Public Comments

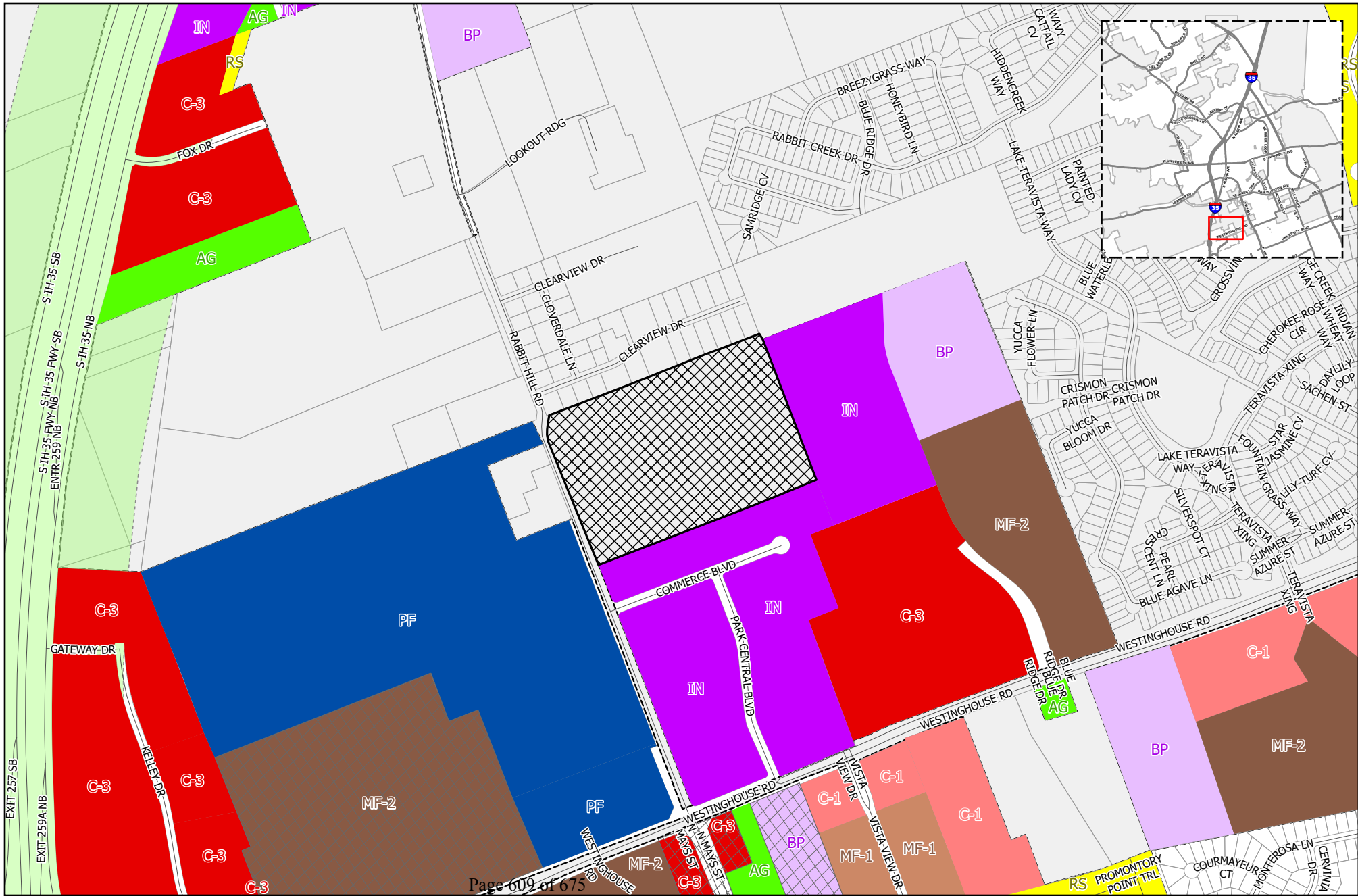


**FUTURE LAND USE/
OVERALL TRANSPORTATION
PLAN**

Exhibit #2

- Site
- Parcels
- City Limits
- Georgetown ETJ
- Future Land Use**
 - Community Center
 - Employment Center
 - Institutional
 - Mining
 - Mixed Density Neighborhood
 - Neighborhood
 - Open Space
 - Parks and Recreation
 - Regional Center
 - Rural Residential
 - Special Area
- Thoroughfare**
 - Existing Freeway
 - Existing Major Arterial
 - Existing Minor Arterial
 - Existing Collector
 - Proposed Freeway
 - Proposed Major Arterial
 - Proposed Minor Arterial
 - Proposed Collector
 - Proposed Rail





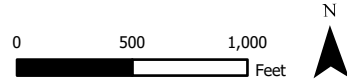
ZONING

2020-10-ANX

Exhibit #3

- Site
- PUD
- City Limits
- Courthouse View Overlay
- Old Town Overlay
- Historic Overlay
- Downtown Overlay
- SPO Overlay
- Gateway Overlay
- Parcels
- Georgetown ETJ

- Zoning**
- AG - Agriculture
 - BP - Business Park
 - C-1 - Local Commercial
 - C-3 - General Commercial
 - CN - Neighborhood Commercial
 - IN - Industrial
 - MF-1 - Low-Density Multi-family
 - MF-2 - High-Density Multi-family
 - MH - Manufactured Housing
 - MU-DT - Mixed-Use Downtown
 - OF - Office
 - PF - Public Facility
 - RE - Residential Estate
 - RL - Residential Low-Density
 - RS - Residential Single-Family
 - TF - Two-Family
 - TH - Townhouse



Low Density Multifamily (MF-1) District

| District Development Standards | | |
|-----------------------------------|---------------------------------------|---|
| Maximum Density = 14 units/acre | Front Setback = 20 feet | Bufferyard = 15 feet with plantings adjacent to RE, RL, RS,TF, or MH districts; 10 feet with plantings adjacent to residences in AG |
| Maximum Building Height = 35 feet | Side Setback = 10 feet | |
| Maximum Units per Building = 14* | Side Setback to Residential = 20 feet | |
| | Rear Setback = 10 feet | |
| Lot size = 12,000 sq.ft. | Rear Setback to Residential = 20 feet | |
| Lot width minimum = 50 feet | Side/Rear Street Setback = 15 feet | *Can be waived if the building design meets the criteria of Sec. 6.02.080.C. |
| | Unloaded Street Setback = 20 feet | |

| Specific Uses Allowed within the District | | |
|---|---------------------------------------|-----------------------------------|
| Allowed by Right | Subject to Limitations | Special Use Permit (SUP) Required |
| Group Home (7-15 residents) | Church (with columbarium) | Activity Center (youth/senior) |
| Multifamily Attached | Day Care (family/group/commercial) | Assisted Living |
| Multifamily Detached | Golf Course | Bed and Breakfast (with events) |
| Rooming/Boarding House | Nature Preserve/Community Garden | Emergency Services Station |
| Utilities (Minor) | Neighborhood Amenity Center | Group Home (16+ residents) |
| | Park (Neighborhood) | Halfway House |
| | School (Elementary) | Nursing/Convalescent Home |
| | Utilities (Intermediate) | Orphanage |
| | Wireless Transmission Facility (<41') | School (Middle) |
| | | Student Housing |

| |
|------------------------------------|
| BUSINESS PARK (BP) DISTRICT |
|------------------------------------|

District Development Standards

| | | |
|-----------------------------------|-------------------------------------|-------------------------------------|
| District Size Min Acreage = 5 ac | Front Setback = 25 feet | Bufferyard = 15 feet with plantings |
| Maximum Building Height = 60 feet | Side Setback = 10 feet | adjacent to AG, RE, RL, RS, TF, MH, |
| | Side Setback to Residential = 20 ft | TH, MF-1, or MF-2 districts |
| | Rear Setback = 10 feet | |
| | Rear Setback to Residential = 25 ft | |
| | | |

| Specific Uses Allowed within the District | |
|---|---------------------------|
| 1. Single-Family Detached | 2. Single-Family Attached |
| 3. Multi-Family Detached | 4. Multi-Family Attached |
| 5. Commercial | 6. Industrial |
| 7. Public Use | 8. Other |

[illegible]



November 9, 2020

City of Georgetown Planning Department
406 W. 8th Street
Georgetown, TX 78626

Re: Rabbit Hill Tract Zoning Amendment Letter of Intent

Please find attached, an application for a rezoning of the 35.298 acre tract along Rabbit Hill Road known as Rabbit Hill Road Tract. The Subject Tract is currently outside the City of Georgetown City Limits, located in the ETJ. The Subject Tract is designated Mixed Density Neighborhood on the revised Future Land Use Plan.

Due to the existing surrounding non-residential uses to the south and west, the non-residential zoning to the east and the existing ETJ residential to the north, the Applicant seeks to rezone the Project to provide a transition between these uses. The Applicant seeks to rezone the Property with the approximately northern 19.4 acres as Low Density Multi-Family (MF-1) and the southern 15.9 acres as Business Park (BP).

The requested zoning districts are compatible and complementary to the surrounding existing zoning, offering a transition between existing land uses north and south of the Subject Tract.

The Applicant appreciates the City of Georgetown's consideration to rezone the Property as requested so future development may complement and support the surrounding uses and further the City's business growth objectives.

Thank you for your consideration.

Sincerely,

Peter Verdicchio

Peter Verdicchio, PLA, ASLA
Principal

November 5, 2020

Mr. Nat Waggoner
Long Range Planning Manager
City of Georgetown Planning Department
P.O. Box 1458
Georgetown, TX 78627

Dear Mr Waggoner:

The following residents of the Clearview Estates II OBJECT to Project/Name Address 1051 Rabbit Hill Rd to be considered at the Planning and Zoning Commission hearing on Tuesday November 17, 2020:

Please don't facilitate the deterioration of our wonderful homes by allowing this property directly south of us to be developed with large multistory buildings, etc., guaranteed to block the almost constant southern breeze we experience as inhabitants of Rabbit Hill, the highest point between Austin and Dallas; destroy our privacy by allowing buildings too be built too close to our back yards and obstruct the view some of us have enjoyed for the past 30 years+; or destroy our peace and quiet by taking away our cul de sac.

Please find our signed Comments Forms enclosed. Thank you for your consideration.

Sincerely,

The Residents of Clearview Estates II

Ronnie Ford
Cheryl A. Ross
James R. Ashley
Steven B. Scott
John B. Scott
Peter W. L. L. L.
Macario Sanchez & Emmeralee E.
Diana Y. Shear

JIM PETERSON
Cathy Conal
David De la Cruz
Patricia Cosmen
Mahmud C.



CITY OF GEORGETOWN
NOTICE OF PUBLIC HEARING

Comments from Neighboring Property Owners

You are being notified as a requirement of the City of Georgetown Code of Ordinances. You are invited to express your views or concerns regarding the – described petition by returning this comment form and/or by attending one or both of the scheduled public hearings on the matter.

Project Name/Address: 1051 Rabbit Hill Rd

Project Case Number: 2020-10-ANX P&Z Date: November 17, 2020 Case Manager: Nat Waggoner

Name of Respondent: Dyanay Shearer
(Please print name)

Signature of Respondent: Dyanay Shear
(Signature required for protest)

Address of Respondent: 506 Clearview Drive
(Address required for protest)

I am in FAVOR: _____ I OBJECT: X

Additional Comments:

Moved into the neighborhood wanting a quiet
neighborhood. Not interested in a big apartment
Complex & multiple more convenience stores going in.
Like the cows in the field behind my home!

Written comments may be sent to City of Georgetown Planning Department, P. O. Box 1458 Georgetown, Texas 78627. Emailed comments may be sent to planning@georgetown.org. Any such comments may be presented to the Commission.



CITY OF GEORGETOWN
NOTICE OF PUBLIC HEARING

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Project Name/Address: 1051 Rabbit Hill Rd

Project Case Number: 2020-10-ANX P&Z Date: November 17, 2020 Case Manager: Nat Waggoner

Name of Respondent: Michael Compton
(Please print name)

Signature of Respondent: [Signature]
(Signature required for protest)

Address of Respondent: 100 Cloudale Lane, Georgetown TX 78626
(Address required for protest)

I am in FAVOR: _____ I OBJECT: X

Additional Comments:

Written comments may be sent to City of Georgetown Planning Department, P. O. Box 1458 Georgetown, Texas 78627. Emailed comments may be sent to planning@georgetown.org. Any such comments may be presented to the Commission.



CITY OF GEORGETOWN
NOTICE OF PUBLIC HEARING

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Project Name/Address: 1051 Rabbit Hill Rd

Project Case Number: 2020-10-ANX P&Z Date: November 17, 2020 Case Manager: Nat Waggoner

Name of Respondent: Patricia Cosman
(Please print name)

Signature of Respondent: Patricia Cosman
(Signature required for protest)

Address of Respondent: 100 Cloverdale Lane, Georgetown, Tx. 78626
(Address required for protest)

I am in FAVOR: _____

I OBJECT: ✓

Additional Comments:

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CITY OF GEORGETOWN
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Project Name/Address: 1051 Rabbit Hill Rd

Project Case Number: 2020-10-ANX P&Z Date: November 17, 2020 Case Manager: Nat Waggoner

Name of Respondent: Susan Heil
(Please print name)

Signature of Respondent: Susan Heil
(Signature required for protest)

Address of Respondent: 504 Clearview Rd
(Address required for protest)

I am in FAVOR: _____ I OBJECT: X

Additional Comments:

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CITY OF GEORGETOWN
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Project Name/Address: 1051 Rabbit Hill Rd

Project Case Number: 2020-10-ANX P&Z Date: November 17, 2020 Case Manager: Nat Waggoner

Name of Respondent: STEPHEN BRAS T
(Please print name)

Signature of Respondent: [Signature]
(Signature required for protest)

Address of Respondent: 510 CLEARVIEW
(Address required for protest)

I am in FAVOR: _____ I OBJECT: ✓

Additional Comments:

Written comments may be sent to City of Georgetown Planning Department, P. O. Box 1458 Georgetown, Texas 78627. Emailed comments may be sent to planning@georgetown.org. Any such comments may be presented to the Commission.



CITY OF GEORGETOWN
NOTICE OF PUBLIC HEARING

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Project Name/Address: 1051 Rabbit Hill Rd

Project Case Number: 2020-10-ANX P&Z Date: November 17, 2020 Case Manager: Nat Waggoner

Name of Respondent: James R. Ashley Jr
(Please print name)

Signature of Respondent: James R. Ashley Jr
(Signature required for protest)

Address of Respondent: 516 Clearview Rd.
(Address required for protest)

I am in FAVOR: _____ I OBJECT: X

Additional Comments:

Written comments may be sent to City of Georgetown Planning Department, P. O. Box 1458 Georgetown, Texas 78627. Emailed comments may be sent to planning@georgetown.org. Any such comments may be presented to the Commission.



CITY OF GEORGETOWN
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Project Name/Address: 1051 Rabbit Hill Rd

Project Case Number: 2020-10-ANX P&Z Date: November 17, 2020 Case Manager: Nat Waggoner

Name of Respondent: Macario Sanchez + Esmeralda
(Please print name)

Signature of Respondent: Macario Sanchez + Esmeralda
(Signature required for protest)

Address of Respondent: 526 Clearview Dr
(Address required for protest)

I am in FAVOR: _____

I OBJECT: ☒ _____

Additional Comments:

By Any Multi-family structures being build this
will make our street traffic will level our community unsafe
crime might rise high-

Written comments may be sent to City of Georgetown Planning Department, P. O. Box 1458 Georgetown, Texas 78627. Emailed comments may be sent to planning@georgetown.org. Any such comments may be presented to the Commission.



CITY OF GEORGETOWN
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Project Name/Address: 1051 Rabbit Hill Rd

Project Case Number: 2020-10-ANX P&Z Date: November 17, 2020 Case Manager: Nat Waggoner

Name of Respondent: PETROS W. LIBANOS
(Please print name)

Signature of Respondent: Petros W. Libanos
(Signature required for protest)

Address of Respondent: 525 Clearview Dr
(Address required for protest)

I am in FAVOR: _____ I OBJECT: ✓

Additional Comments:

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CITY OF GEORGETOWN
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Project Name/Address: 1051 Rabbit Hill Rd

Project Case Number: 2020-10-ANX P&Z Date: November 17, 2020 Case Manager: Nat Waggoner

Name of Respondent: CHERYL ROSS DONNIE ROSS
(Please print name)

Signature of Respondent: Cheryl A. Ross Donnie Ross
(Signature required for protest)

Address of Respondent: 513 CLEARVIEW RD, GEORGETOWN TX
(Address required for protest)

I am in FAVOR: _____

I OBJECT: ✓

Additional Comments:

Any multi-family structures will add to the already increased traffic on Rabbit Hill Road. Maintenance on this road is already in need of repairs. More people around our quiet, no crime, neighborhood jeopardizes our safety + property values.

Written comments may be sent to City of Georgetown Planning Department, P. O. Box 1458 Georgetown, Texas 78627. Emailed comments may be sent to planning@georgetown.org. Any such comments may be presented to the Commission.



CITY OF GEORGETOWN
NOTICE OF PUBLIC HEARING

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Project Name/Address: 1051 Rabbit Hill Rd

Project Case Number: 2020-10-ANX P&Z Date: November 17, 2020 Case Manager: Nat Waggoner

Name of Respondent: Gwendolyn B Scott
(Please print name)

Signature of Respondent: Gwendolyn B Scott
(Signature required for protest)

Address of Respondent: 512/514 Clearview
(Address required for protest)

I am in FAVOR: _____ I OBJECT: X

Additional Comments:

RABBIT HILL ROAD HAS BEEN AN
UNEVEN, POTHOLED MESS FOR MANY
YEARS. HOW WILL ADDITIONAL TRAFFIC
FROM 'MULTI-FAMILY' HOUSING BE PROPERLY MITIGATED?

Written comments may be sent to City of Georgetown Planning Department, P. O. Box 1458 Georgetown, Texas 78627. Emailed comments may be sent to planning@georgetown.org. Any such comments may be presented to the Commission.



CITY OF GEORGETOWN
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Project Name/Address: 1051 Rabbit Hill Rd

Project Case Number: 2020-10-ANX P&Z Date: November 17, 2020 Case Manager: Nat Waggoner

Name of Respondent: JIM PETERSON
(Please print name)

Signature of Respondent: [Signature]
(Signature required for protest)

Address of Respondent: 501 CLEARVIEW RD
(Address required for protest)

I am in FAVOR: _____ I OBJECT: ✓

Additional Comments:

END THE ROAD

Written comments may be sent to City of Georgetown Planning Department, P. O. Box 1458 Georgetown, Texas 78627. Emailed comments may be sent to planning@georgetown.org. Any such comments may be presented to the Commission.



CITY OF GEORGETOWN
NOTICE OF PUBLIC HEARING

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Project Name/Address: 1051 Rabbit Hill Rd

Project Case Number: 2020-10-ANX P&Z Date: November 17, 2020 Case Manager: Nat Waggoner

Name of Respondent: Carlos Ortega
(Please print name)

Signature of Respondent: Carlos Ortega
(Signature required for protest)

Address of Respondent: 520 Clearview dr.
(Address required for protest)

I am in FAVOR: _____

I OBJECT: ✓

Additional Comments:

Fix The Road.

Written comments may be sent to City of Georgetown Planning Department, P. O. Box 1458 Georgetown, Texas 78627. Emailed comments may be sent to planning@georgetown.org. Any such comments may be presented to the Commission.



CITY OF GEORGETOWN
NOTICE OF PUBLIC HEARING

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Project Name/Address: 1051 Rabbit Hill Rd

Project Case Number: 2020-10-ANX P&Z Date: November 17, 2020 Case Manager: Nat Waggoner

Name of Respondent: Cathy Corral
(Please print name)

Signature of Respondent: Cathy Corral
(Signature required for protest)

Address of Respondent: 524 Clearview Dr.
(Address required for protest)

I am in FAVOR: _____ I OBJECT: ✓

Additional Comments:

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CITY OF GEORGETOWN
NOTICE OF PUBLIC HEARING

165

Comments from Neighboring Property Owners

You are being notified as a requirement of the City of Georgetown Code of Ordinances. You are invited to express your views or concerns regarding the – described petition by returning this comment form and/or by attending one or both of the scheduled public hearings on the matter.

Project Name/Address: 1051 Rabbit Hill Rd

Project Case Number: 2020-10-ANX P&Z Date: November 17, 2020 Case Manager: Nat Waggoner

Name of Respondent: Nonie C Fiumara
(Please print name)

Signature of Respondent: [Signature]
(Signature required for protest)

Address of Respondent: 508 Clearview
(Address required for protest)

I am in FAVOR: _____

I OBJECT: X

Additional Comments:

Traffic in this area is already a huge problem. Rabbit Hill Rd is @ capacity and then some. To add multi family housing would surely gridlock this area. To get to I-35 westbound from the proposed

Written comments may be sent to City of Georgetown Planning Department, P. O. Box 1458 Georgetown, Texas 78627. Emailed comments may be sent to planning@georgetown.org. Any such comments may be presented to the Commission.

area you have to cross a 2 lane overpass that is backed up with trucks entering and exiting TX Crushed Stone. This is an everyday all day issue. There is ample multi family options new and existing in our area. Please consider using the proposed area as business or industrial or 29 only.



CITY OF GEORGETOWN
NOTICE OF PUBLIC HEARING

2 of 5

Comments from Neighboring Property Owners

You are being notified as a requirement of the City of Georgetown Code of Ordinances. You are invited to express your views or concerns regarding the – described petition by returning this comment form and/or by attending one or both of the scheduled public hearings on the matter.

Project Name/Address: 1051 Rabbit Hill Rd

Project Case Number: 2020-10-ANX P&Z Date: November 17, 2020 Case Manager: Nat Waggoner

Name of Respondent: ANTHONY T. FUMARA JR.
(Please print name)

Signature of Respondent: [Signature]
(Signature required for protest)

Address of Respondent: 508 CLEARVIEW
(Address required for protest)

I am in FAVOR: _____

I OBJECT: X

Additional Comments:

RABBIT HILL RD. CANNOT ACCOMMODATE THE
TRAFFIC OF LOW DENSITY HOUSING SINGLE HOME
DWELLING ONLY! LARGE PARKING LOT RUN-OFF
WILL BE A PROBLEM. I-35 AND WESTINGHOUSE RD
BRIDGE CANNOT HANDLE MUCH MORE TRAFFIC.

Written comments may be sent to City of Georgetown Planning Department, P. O. Box 1458 Georgetown, Texas 78627. Emailed comments may be sent to planning@georgetown.org. Any such comments may be presented to the Commission.

LOW DENSITY HOUSING DOES NOT BELONG ON RESIDENTIAL
STREETS

2:35



3 of 5



Overpass @ I 35 & Westinghouse Rd
West Bound

11.6.20



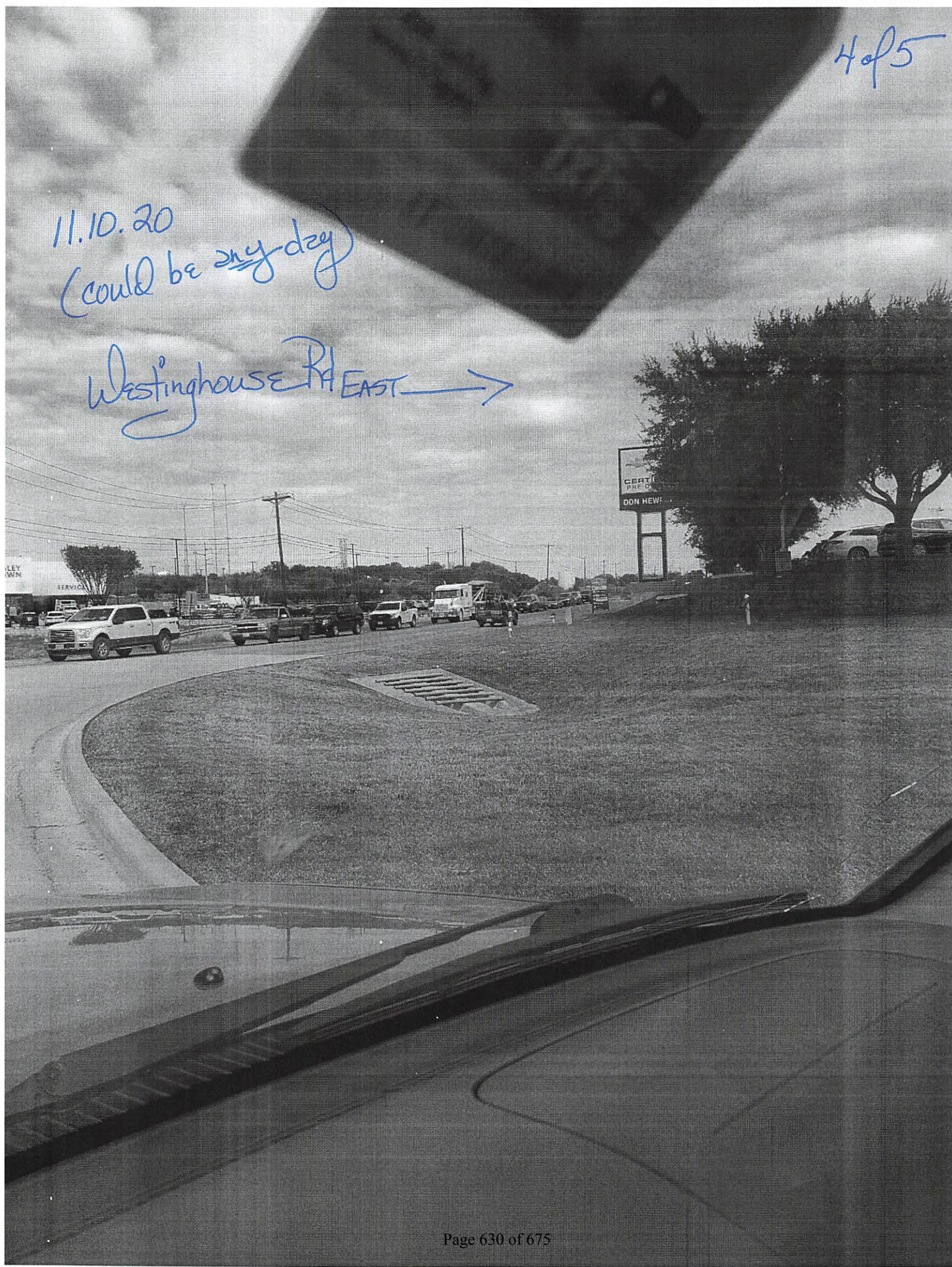
View motion photo



4 of 5

11.10.20
(could be any day)

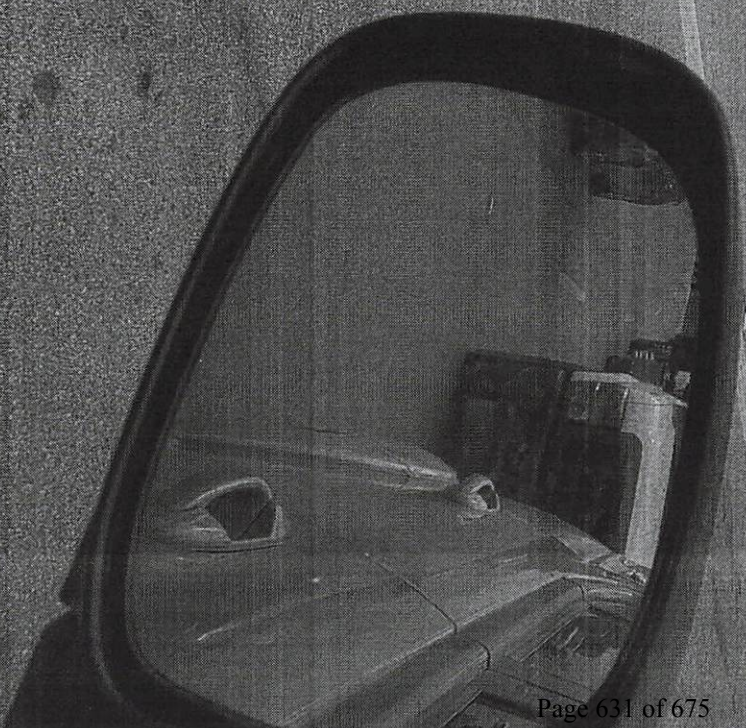
Westinghouse R² EAST →



11.10.20

5095

Overpass @ I 35 & Westinghouse Rd
my vehicle & ones lined up behind
are Northbound on frontage Rd.





CITY OF GEORGETOWN
NOTICE OF PUBLIC HEARING

Comments from Neighboring Property Owners

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Project Name/Address: 1051 Rabbit Hill Rd

Project Case Number: 2020-10-ANX P&Z Date: November 17, 2020 Case Manager: Nat Waggoner

Name of Respondent: Daniel De La Cruz
(Please print name)

Signature of Respondent: Daniel De La Cruz
(Signature required for protest)

Address of Respondent: 522 Clearview Rd Georgetown TX 78626
(Address required for protest)

I am in FAVOR: _____

I OBJECT: ☒ _____

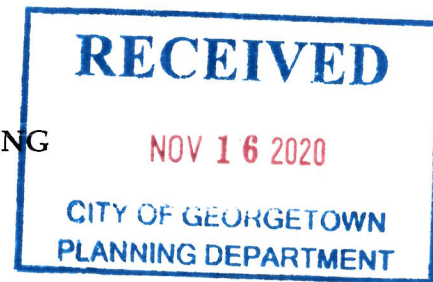
Additional Comments:

I think it might affect the neighborhood and the
traffic on the neighboring roads.

Written comments may be sent to City of Georgetown Planning Department, P. O. Box 1458 Georgetown, Texas 78627. Emailed comments may be sent to planning@georgetown.org. Any such comments may be presented to the Commission.



CITY OF GEORGETOWN
NOTICE OF PUBLIC HEARING



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Project Name/Address: 1051 Rabbit Hill Rd

Project Case Number: 2020-10-ANX P&Z Date: November 17, 2020 Case Manager: Nat Waggoner

Name of Respondent: C. W. HONKA
(Please print name)

Signature of Respondent: C. W. Honka
(Signature required for protest)

Address of Respondent: 101 Cloverdale Lane
(Address required for protest)

I am in FAVOR: _____

I OBJECT: C. W. Honka

Additional Comments:

Rabbit Hill Road has had almost no
repair or improvement in 47 years I
have lived here. The road needs improvement
before added traffic from growth.

Written comments may be sent to City of Georgetown Planning Department, P. O. Box 1458 Georgetown, Texas 78627. Emailed comments may be sent to planning@georgetown.org. Any such comments may be presented to the Commission.

Very unsafe when you have to meet a large
truck. You have to pull over as far as
you can for them to pass, almost in the
ditch.

An Ordinance of the City Council of the City of Georgetown, Texas, providing for the extension of certain boundary limits of the City of Georgetown, Texas, and the annexation of certain territory consisting of 36.20 acres, more or less, in the F. Hudson Survey, Abstract No.295, and portions of right-of-way on Rabbit Hill Road, as described herein; repealing conflicting ordinances and resolutions; including a severability clause; and establishing an effective date.

Whereas, the owners of the area proposed for annexation requested annexation of the area by the City of Georgetown ("City"), pursuant to Local Government Code Section 43.0671; and

Whereas, all of the herein-described property lies within the extraterritorial jurisdiction of the City of Georgetown, Texas; and

Whereas, the Georgetown City Council approved a Municipal Services Agreement for the subject property on October 13, 2020; and

Whereas, the Section 4.03.010 of the City's Unified Development Code ("UDC") creates procedures for initial zoning of newly annexed territory; and

Whereas, all prerequisites of state law and the City Charter have been complied with;

Now, therefore, be it ordained by the City Council of the City of Georgetown, Texas that:

Section 1. The facts and recitations contained in the preamble of this ordinance are hereby found and declared to be true and correct, and are incorporated by reference herein and expressly made a part hereof, as if copied verbatim.

Section 2. The City Council of the City of Georgetown hereby annexes into the city limits 36.20 acres in the F. Hudson Survey, Abstract No. 295, as shown in "Exhibit A" and as described in "Exhibit B" of this ordinance (the "Property"). The Property is hereby included in City Council District 1, as it is adjacent to Council District 1 and no other City Council Districts. The City's official boundary map and City Council Districts map shall be amended accordingly.

Section 3. In accordance with the procedures for initial zoning of newly annexed territory described in Section 4.03.010 of the UDC, and for the reasons set forth by City Staff, the City Council hereby finds that a zoning classification of Business (BP) and the Low Density Multifamily (MF-1) is appropriate for the Property and consistent with the City's Comprehensive Plan, and upon annexation the Property shall have a zoning of Business (BP) and the Low Density Multifamily (MF-1). The City's Official Zoning Map shall be amended accordingly.

Section 4. Upon annexation of the Property, the City shall provide to the Property the municipal services set forth in the Municipal Services Agreement attached to this ordinance as Exhibit "C" and by this reference incorporated within it (the "Agreement"), pursuant to the schedule set forth therein. The City shall have no obligation to provide services to the Property not listed in the Agreement.

Section 5. All ordinances and resolutions, or parts of ordinances and resolutions, in conflict with this Ordinance are hereby repealed, and are no longer of any force and effect.

Section 6. The Mayor is hereby authorized to sign this ordinance and the City Secretary to attest. This ordinance shall become effective and be in full force and effect in accordance with the City Charter.

Passed and Approved on First Reading on the 8th day of December, 2020.

Passed and Approved on Second Reading on the 12th day of January, 2021.

The City of Georgetown:

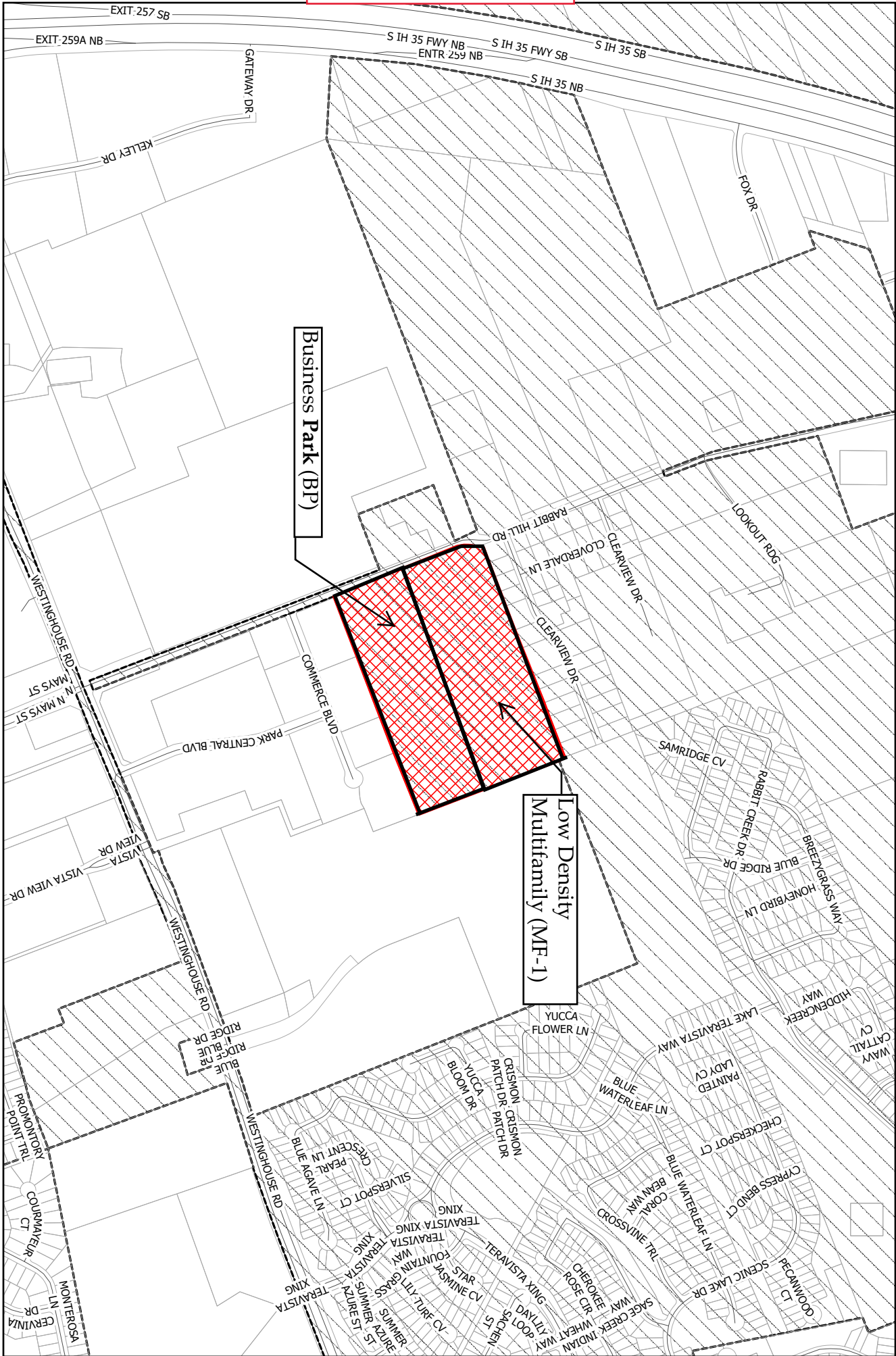
Attest:

Josh Schroeder
Mayor

Robyn Densmore, TRMC
City Secretary

Approved as to form:




Skye Masson
City Attorney



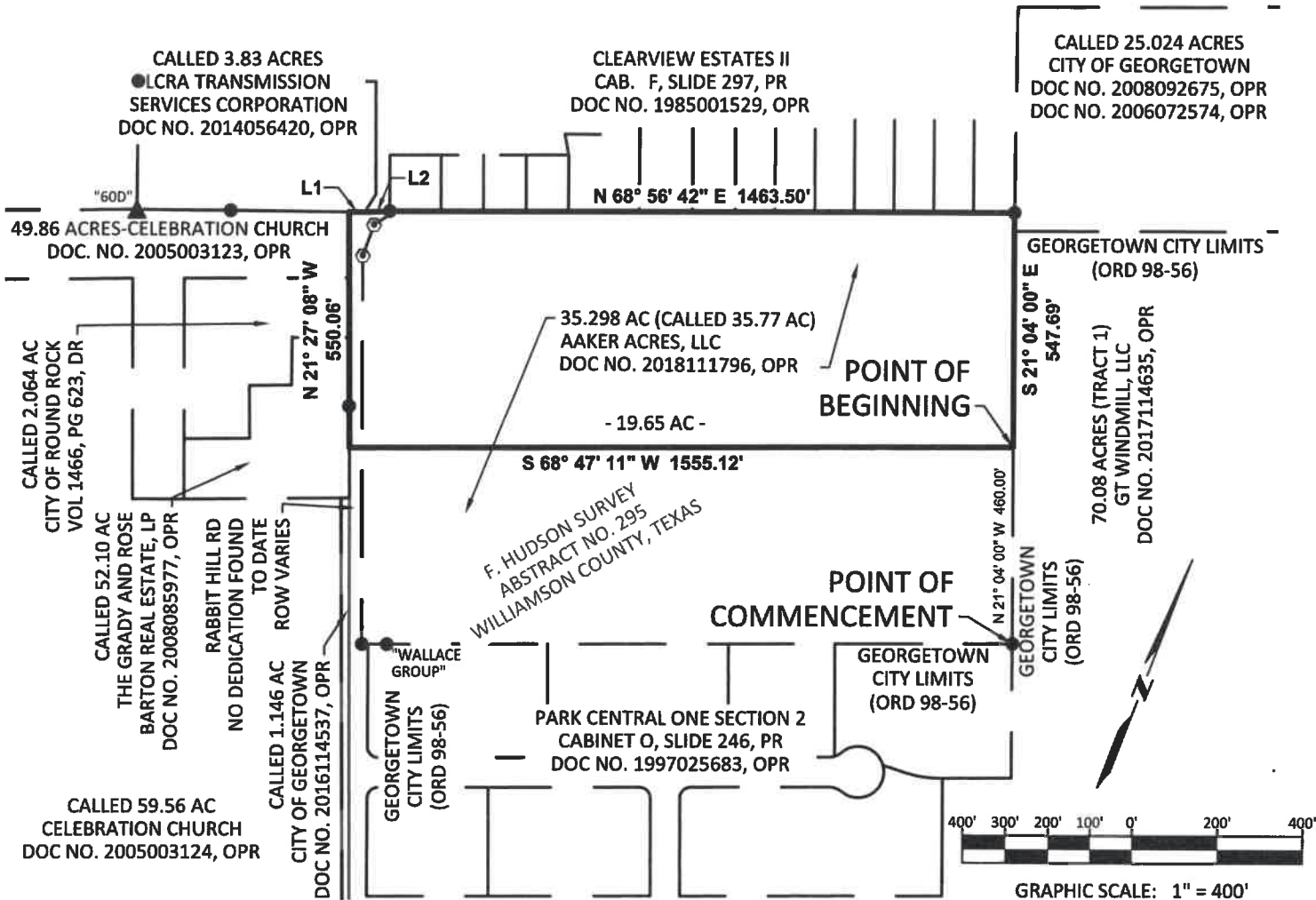
LOCATION

2020-10-ANX

Exhibit #1

-  Site
-  Parcels
-  City Limits
-  Georgetown ETJ





NOTES:

1. BEARINGS ARE BASED ON THE TEXAS COORDINATE SYSTEM OF 1983, CENTRAL ZONE (NAD_83 (2011)). ALL DISTANCES SHOWN HEREON ARE SURFACE VALUES REPRESENTED IN U.S. SURVEY FEET BASED ON A GRID-TO-SURFACE COMBINED ADJUSTMENT FACTOR OF 1.00013.
2. REFERENCE IS HEREON MADE TO THE METES AND BOUNDS DESCRIPTION OF THIS TRACT ACCOMPANYING THIS SKETCH.

THIS DOCUMENT WAS PREPARED UNDER 22 TAC §663.21, DOES NOT REFLECT THE RESULTS OF AN ON THE GROUND SURVEY, AND IS NOT TO BE USED TO CONVEY OR ESTABLISH INTERESTS IN REAL PROPERTY EXCEPT THOSE RIGHTS AND INTERESTS IMPLIED OR ESTABLISHED BY THE CREATION OR RECONFIGURATION OF THE BOUNDARY OF THE POLITICAL SUBDIVISION FOR WHICH IT WAS PREPARED.

DATED 02-11-2020
REVISED 09-08-2020: REVISED BOUNDARY
REVISED 09-25-2020: REVISED ADJOINERS
REVISED 10-19-2020: REVISED BOUNDARY



| Line Table | | |
|------------|---------------|--------|
| Line # | Direction | Length |
| L1 | N 69°35'59" E | 36.70' |
| L2 | N 66°37'46" E | 58.67' |

| | |
|-----------------------|--|
| STEGER BIZZELL | |
| ADDRESS | 1978 S. AUSTIN AVENUE GEORGETOWN, TX 78626 |
| METRO | 512.930.9412 TEXAS REGISTERED ENGINEERING FIRM F-181 TBPLS FIRM No. 10003700 |
| SERVICES | >>ENGINEERS >>PLANNERS >>SURVEYORS |
| WEB STEGERBIZZELL.COM | |

DATE 10-20-2020

JOB NO. 22729

Page 1 of 2
Proj No. 22729
October 20, 2020

19.65 Acres
F. Hudson Survey
Abstract No. 295
Williamson County, Texas

DESCRIPTION OF

DESCRIPTION OF A 19.65 ACRE TRACT OF LAND LOCATED IN THE F. HUDSON SURVEY, ABSTRACT 295, WILLIAMSON COUNTY, TEXAS, BEING A PORTION OF THAT CERTAIN CALLED 35.77 ACRE TRACT OF LAND CONVEYED TO AAKER ACRES, LLC BY SPECIAL WARRANTY DEED OF RECORD IN DOCUMENT NUMBER 2018111796, OF THE OFFICIAL PUBLIC RECORDS OF WILLIAMSON COUNTY, TEXAS, AND A PORTION OF RABBIT HILL ROAD, A VARIABLE WIDTH ROADWAY, SAID 19.65 ACRE TRACT OF LAND BEING MORE PARTICULARLY DESCRIBED BY METES AND BOUNDS AS FOLLOWS:

COMMENCING, at a 1/2 inch iron rod found for the northeast corner of PARK CENTRAL ONE SECTION 2 Subdivision, a map of which is recorded in Document No. 1997025683, said Official Public Records, same point being the southeast corner of said Aaker Acres Tract, same point being on the City of Georgetown City Limits as defined by City Ordinance 98-56, for the southeast corner of the herein described tract;

THENCE, North 21°04'00" West, with the east boundary line of said Aaker Acres Tract, a distance of 460.00 feet, to the **POINT OF BEGINNING**, for the southeast corner of the herein described tract;

THENCE, South 68°47'11" West, over and across said Aaker Acres tract and continuing over and across said Rabbit Hill Rd, a distance of 1555.12 feet to a point on the west right-of-way line of said Rabbit Hill Road, same line being the east boundary line of the remaining portion of that certain called 52.10 acre tract conveyed to the Grady and Rose Barton Real Estate, LP, of record in Document No. 2008085977, said Official Public Records for the southwest corner of the herein described tract;

THENCE, North 21°27'08" West, with the west right-of-way line of said Rabbit Hill Road, same line being the east boundary line of said remainder of the 52.10 acre tract of land, and continuing with the east boundary line of that called 2.064 acre tract of land conveyed to the City of Round Rock, of record in Volume 1466, Page 623, of the Deed Records of Williamson County, Texas, and continuing with the east boundary line of that certain called 49.86 acre tract of land conveyed to Celebration Church of record in Document No. 2005003123, said Official Public Records, in all a total distance of 550.06 feet, to a point on the south boundary line of that certain called 3.83 acre tract of land conveyed to the LCRA Transmission Services Corporation of record in Document No. 2014056420, said Official Public Records, for the northwest corner of the herein described tract;

THENCE, North 69°35'59" East, with the south boundary line of said 3.83 acre tract of land, a distance of 36.70 feet, to a point, for the southeast corner of said 3.83 acre tract of land;

THENCE, North 66°37'46" East, crossing said Rabbit Hill Road, a distance of 58.67 feet, to a 1/2 inch iron rod found for the northwest corner of said Aaker Acres Tract, same point being the southwest corner of CLEARVIEW ESTATES II Subdivision, a map of which is recorded in Cabinet F, Slide 297, of the Plat Records of Williamson County, Texas;

*mk
10/20/2020*

STEGE BIZZELL

1978 S. Austin Ave
Georgetown, TX 78626

Page 2 of 2
Proj No. 22729
October 20, 2020

19.65 Acres
F. Hudson Survey
Abstract No. 295
Williamson County, Texas

THENCE, North 68°56'42" East, with the north boundary line of said Aaker Acres Tract, same line being the south boundary line of said CLEARVIEW ESTATES II Subdivision, a distance of 1463.50 feet, to a 1/2 inch iron rod found for the northeast corner of said Aaker Acres Tract, same point being the southeast corner of said CLEARVIEW ESTATES II Subdivision, and for the northeast corner of the herein described tract;

THENCE, South 21°04'00" East, with the east boundary line of said Aaker Acres Tract, a distance of 547.69 feet, to the **POINT OF BEGINNING**, and containing 19.65 acres of land, more or less, within these metes and bounds.

Bearings are based on the Texas Coordinate System of 1983, Central Zone (NAD_83 (2011)). All distances shown hereon are surface values represented in U.S. Survey Feet based on a Grid-to-Surface Combined Adjustment Factor of 1.00013.

The foregoing metes and bounds description and survey on which it is based is accompanied by and a part of a survey map of the subject tract.

This document was prepared under 22 TAC §663.21, does not reflect the results of an on the ground survey, and is not to be used to convey or establish interests in real property except those rights and interests implied or established by the creation or reconfiguration of the boundary of the political subdivision for which it was prepared.

Steger & Bizzell Engineering Inc.

 10/20/2020

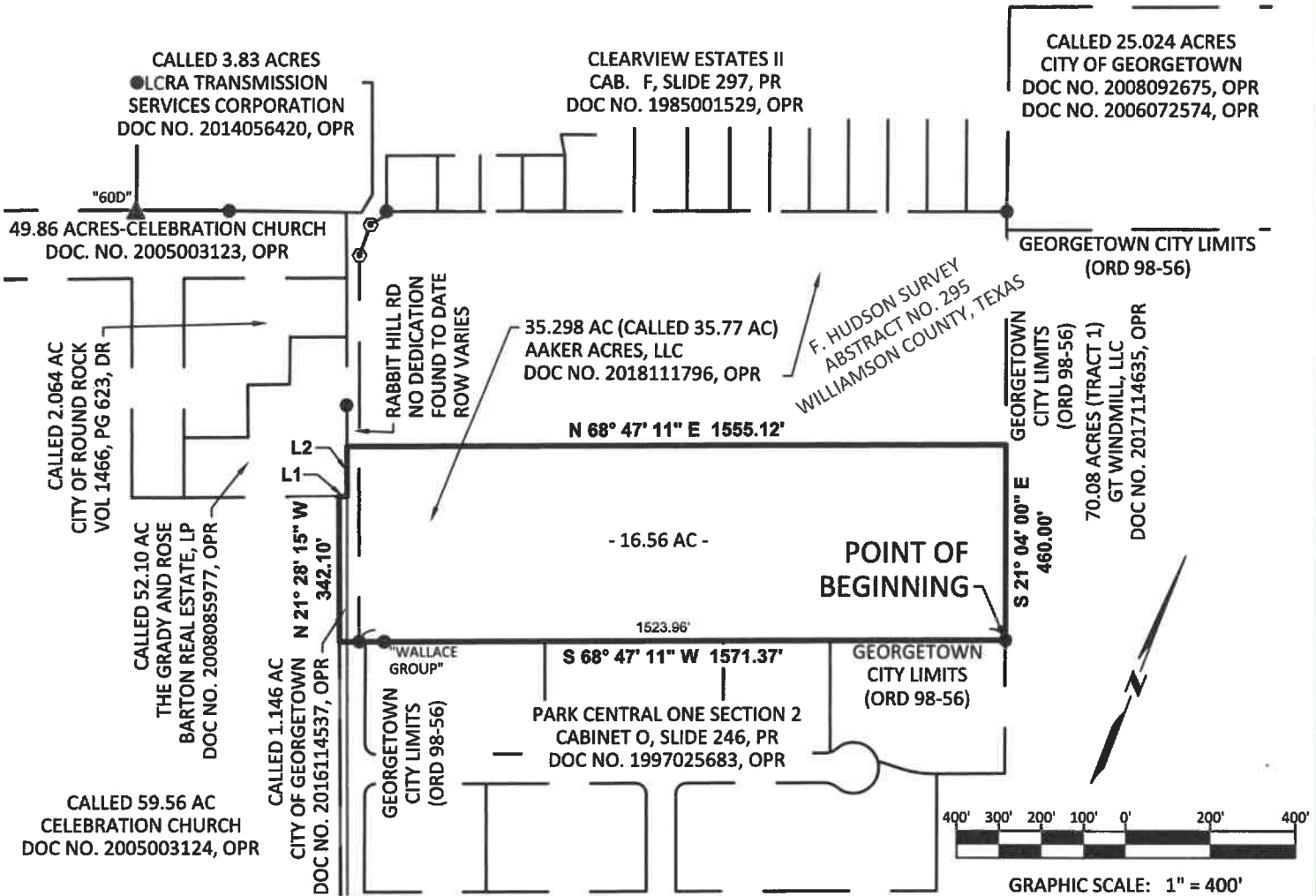
Miguel A. Escobar, LSLs, RPLS
Texas Reg. No. 5630
1978 South Austin Avenue
Georgetown, Texas 78626
(512) 930-9412
TBPLS Firm No. 10003700



P:\22000-22999\22729 Aakers Acres\Survey Data\Descriptions\22729-annex-NORTH aaker acres.docx

STEGER  BIZZELL

1978 S. Austin Ave
Georgetown, TX 78626



NOTES:

1. BEARINGS ARE BASED ON THE TEXAS COORDINATE SYSTEM OF 1983, CENTRAL ZONE (NAD_83 (2011)). ALL DISTANCES SHOWN HEREON ARE SURFACE VALUES REPRESENTED IN U.S. SURVEY FEET BASED ON A GRID-TO-SURFACE COMBINED ADJUSTMENT FACTOR OF 1.00013.
2. REFERENCE IS HEREON MADE TO THE METES AND BOUNDS DESCRIPTION OF THIS TRACT ACCOMPANYING THIS SKETCH.

THIS DOCUMENT WAS PREPARED UNDER 22 TAC §663.21, DOES NOT REFLECT THE RESULTS OF AN ON THE GROUND SURVEY, AND IS NOT TO BE USED TO CONVEY OR ESTABLISH INTERESTS IN REAL PROPERTY EXCEPT THOSE RIGHTS AND INTERESTS IMPLIED OR ESTABLISHED BY THE CREATION OR RECONFIGURATION OF THE BOUNDARY OF THE POLITICAL SUBDIVISION FOR WHICH IT WAS PREPARED.

DATED 02-11-2020
 REVISED 09-08-2020: REVISED BOUNDARY
 REVISED 09-25-2020: REVISED ADJOINERS
 REVISED 10-19-2020: REVISED BOUNDARY



| Line Table | | |
|------------|---------------|---------|
| Line # | Direction | Length |
| L1 | N 68°34'27" E | 19.47' |
| L2 | N 21°27'08" W | 117.83' |

STEGER BIZZELL

| | | |
|---|--|-----------------------|
| ADDRESS 1978 S. AUSTIN AVENUE | | GEORGETOWN, TX 78626 |
| METRO 512.930.9412 | TEXAS REGISTERED ENGINEERING FIRM F-181 TBPLS FIRM No. 10003700 | WEB STEGERBIZZELL.COM |
| SERVICES >>ENGINEERS >>PLANNERS >>SURVEYORS | | |

DATE 10-20-2020 JOB NO. 22729

DESCRIPTION OF

DESCRIPTION OF A 16.56 ACRE TRACT OF LAND LOCATED IN THE F. HUDSON SURVEY, ABSTRACT 295, WILLIAMSON COUNTY, TEXAS, BEING A PORTION OF THAT CERTAIN CALLED 35.77 ACRE TRACT OF LAND CONVEYED TO AAKER ACRES, LLC BY SPECIAL WARRANTY DEED OF RECORD IN DOCUMENT NUMBER 2018111796, OF THE OFFICIAL PUBLIC RECORDS OF WILLIAMSON COUNTY, TEXAS, AND A PORTION OF RABBIT HILL ROAD, A VARIABLE WIDTH ROADWAY, SAID 16.56 ACRE TRACT OF LAND BEING MORE PARTICULARLY DESCRIBED BY METES AND BOUNDS AS FOLLOWS:

BEGINNING, at a 1/2 inch iron rod found for the northeast corner of PARK CENTRAL ONE SECTION 2 Subdivision, a map of which is recorded in Document No. 1997025683, said Official Public Records, same point being the southeast corner of said Aaker Acres Tract, same point being on the City of Georgetown City Limits as defined by City Ordinance 98-56, for the southeast corner of the herein described tract;

THENCE, South 68°47'11" West, with the north boundary line of said PARK CENTRAL ONE SECTION 2 subdivision, at 1523.96 feet, pass a 1/2 inch iron rod found on the east right-of-way line of Rabbit Hill Road, a variable width roadway, no record information found to date, for the southwest corner of said Aaker Acres Tract, in all a total distance of 1571.37 feet, to a point on the west right-of-way line of said Rabbit Hill Road, same line being the west boundary line of that certain called 1.146 acre tract of land conveyed to the City of Georgetown, of record in Document No. 2016114537, said Official Public Records for the southwest corner of the herein described tract;

THENCE, North 21°28'15" West, with said west right-of-way line of Rabbit Hill Road and said west boundary line of the 1.146 acre tract of land, a distance of 342.10 feet, to a point on the south boundary line of the remaining portion of that certain called 52.10 acre tract of land conveyed to The Grady and Rose Barton Real Estate, LP. of record in Document No. 2008085977, said Official Public Records, for the northwest corner of said 1.146 acre tract of land;

THENCE, North 68°34'27" East, with the north boundary line of said 1.146 acre tract of land, a distance of 19.47 feet, to a point on said west right-of-way line of said Rabbit Hill Road, same point being the southeast corner of said remainder of the 52.10 acre tract of land;

THENCE, North 21°27'08" West, continuing with the west right-of-way line of said Rabbit Hill Road, same line being the east boundary line of said remainder of the 52.10 acre tract of land, a distance of 117.83 feet, to a point for the northwest corner of the herein described tract;

THENCE, North 68°47'11" East, over and across said Rabbit Hill Rd and continuing over and across said Aaker Acres tract, a distance of 1555.12 feet, to a point on the east boundary line of said Aaker Acres tract for the northeast corner of the herein described tract;

*mlt
10/20/2020*

STEGE BIZZELL

1978 S. Austin Ave
Georgetown, TX 78626

Page 2 of 2
Proj No. 22729
October 20, 2020

16.56 Acres
F. Hudson Survey
Abstract No. 295
Williamson County, Texas


THENCE, South 21°04'00" East, with the east boundary line of said Aaker Acres Tract, a distance of 460.00 feet, to the **POINT OF BEGINNING**, and containing 16.56 acres of land, more or less, within these metes and bounds.

Bearings are based on the Texas Coordinate System of 1983, Central Zone (NAD_83 (2011)). All distances shown hereon are surface values represented in U.S. Survey Feet based on a Grid-to-Surface Combined Adjustment Factor of 1.00013.

The foregoing metes and bounds description and survey on which it is based is accompanied by and a part of a survey map of the subject tract.

This document was prepared under 22 TAC §663.21, does not reflect the results of an on the ground survey, and is not to be used to convey or establish interests in real property except those rights and interests implied or established by the creation or reconfiguration of the boundary of the political subdivision for which it was prepared.

Steger & Bizzell Engineering Inc.


Miguel A. Escobar, LSLs, RPLS
Texas Reg. No. 5630
1978 South Austin Avenue
Georgetown, Texas 78626
(512) 930-9412
TBPLS Firm No. 10003700



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STEGER  BIZZELL

1978 S. Austin Ave
Georgetown, TX 78626

MUNICIPAL SERVICES AGREEMENT
BETWEEN THE CITY OF GEORGETOWN, TEXAS
AND AAKER ACRES, LLC

This Municipal Services Agreement ("Agreement") is entered into on the 13th day of OCTOBER, 2020 by and between the City of Georgetown, Texas, a home-rule municipality of the State of Texas ("City") and Aaker Acres LLC (collectively, "Owner").

RECITALS

The parties agree that the following recitals are true and correct and form the basis upon which the parties have entered into this Agreement

WHEREAS, Section 43.0671 of the Local Government Code permits the City to annex an area if each owner of land in an area requests the annexation;

WHEREAS, where the City elects to annex such an area, the City is required to enter into a written agreement with the property owner(s) that sets forth the City services to be provided for the Property on or after the effective date of annexation (the "Effective Date");

WHEREAS, Owner owns certain parcels of land located at Rabbit Hill Rd, which consists of approximately 35.298 acres of land in the City's extraterritorial jurisdiction, such property being more particularly described and set forth in Exhibit "A" attached and incorporated herein by reference ("Property");

WHEREAS, Owner has filed a written request with the City for annexation of the Property, identified as Annexation Case No. 2020-10-ANX ("Annexation Case");

WHEREAS, City and Owner desire to set out the City services to be provided for the Property on or after the effective date of annexation;

WHEREAS, the Annexation Case and execution of this Agreement are subject to approval by the Georgetown City Council; and

NOW THEREFORE, in exchange for the mutual covenants, conditions and promises contained herein, City and Owner agree as follows:

1. **PROPERTY.** This Agreement is only applicable to the Property, which is the subject of the Annexation Case.
2. **INTENT.** It is the intent of the City that this Agreement provide for the delivery of full, available municipal services to the Property in accordance with state law, which may be accomplished through any means permitted by law.

3. MUNICIPAL SERVICES.

- a. Commencing on the Effective Date, the City will provide the municipal services set forth below. As used in this Agreement, "providing services" includes having services provided by any method or means by which the City may extend municipal services to any other area of the City, including the City's infrastructure extension policies and developer or property owner participation in accordance with applicable city ordinances, rules, regulations, and policies.
 - i. Fire Protection and Emergency Medical Services – The City of Georgetown Fire Department will provide response services in the annexed area consisting of: fire suppression and rescue; emergency response to 9-1-1 calls; fire prevention education efforts, and other duties and services provided by the Georgetown Fire Department.
 - ii. Police – The City's Police Department will provide protection and law enforcement services.
 - iii. Planning and Development, Building Permits, and Inspections Services - Upon annexation, the City will provide site plan review; zoning approvals; Building Code and other standard Code inspection services; City Code enforcement; sign regulations and permits; and Stormwater Permit services in the annexed.
 - iv. Parks and Recreational Facilities. Residents of the Property will be permitted to utilize all existing publicly-owned parks and recreational facilities and all such facilities acquired or constructed after the Effective Date (including community service facilities, libraries, swimming pools, etc.), throughout the City. Any private parks, facilities, and buildings will be unaffected by the annexation; provided, however, that the City will provide for maintenance and operation of the same upon acceptance of legal title thereto by the City and appropriations therefor. In the event the City acquires any other parks, facilities, or buildings necessary for City services within the Property, the appropriate City department will provide maintenance and operations of the same.
 - v. Other Publicly Owned Buildings. Residents of the Property will be permitted to use all other publicly owned buildings and facilities where the public is granted access.
 - vi. Library – Upon annexation, library privileges will be available to anyone residing in the annexed area
 - vii. Stormwater Utility Services – The Property will be included in the City's Stormwater Utility service area and will be assessed a monthly fee based on the amount of impervious surface. The fees

will cover the direct and indirect costs of stormwater management services.

- viii. Streets, Roads, and Street Lighting – The City will provide preventative maintenance of the existing public streets and roads in the annexed area over which it has jurisdiction through maintenance and preventative maintenance services such as emergency pavement repair; ice and snow monitoring; crack seal, sealcoat, slurry seal, and PM overlay; and other routine repair. The City shall not maintain private roads in the annexed area. Preventative maintenance projects are prioritized on a City-wide basis and scheduled based on a variety of factors, including surface condition, rideability, age, traffic volume, functional classification, and available funding. As new streets are dedicated and accepted for maintenance they will be included in the City's preventative maintenance program.
 - ix. Water and Wastewater Facilities in the Annexed Area that Are Not Within the Area of Another Water or Wastewater Utility – City-owned water and wastewater facilities that exist in the annexed area will be maintained in accordance with City ordinances, standards, policies and procedures.
 - x. Solid Waste Services – The City will provide solid waste collection services in accordance with existing City ordinances and policies, except where prohibited by law.
 - xi. Code Compliance – The City's Code Department will provide education, enforcement, and abatement relating to code violations within the Property.
 - xii. Animal Control Services – Upon annexation, the City shall provide animal control services in the annexed area.
 - xiii. Business Licenses and Regulations – Upon annexation, the City shall provide business licensing services (Carnivals Circuses and Other Exhibitions; Electrician's Licenses; Gross Receipts Charge or Street Rental; Peddlers and Solicitors; Taxicabs, Buses and Other Vehicles for Hire; Horse Drawn Carriages and other Non-Motorized Vehicles for Hire; Sexually Oriented Businesses; and Alcoholic Beverages) in the annexed area
- b. The City will provide water service and wastewater treatment service to developments established after the Effective Date in accordance with, and on the schedule determined by, the City's extension policies, capital improvements schedule, and applicable law and at rates established by City ordinances for such services.
 - c. The City may impose a fee for any municipal service in the area annexed if

the same type of fee is imposed within the corporate boundaries of the City. All City fees are subject to revision from time to time by the City in its sole discretion.

- d. It is understood and agreed that the City is not required to provide a service that is not included in this Agreement.
 - e. Owner understands and acknowledges that the City departments listed above may change names or be re-organized by the City Manager. Any reference to a specific department also includes any subsequent City department that will provide the same or similar services.
- 4. **SERVICE LEVEL.** The City will provide the Property with a level of services, infrastructure, and infrastructure maintenance that is comparable to the level of services, infrastructure, and infrastructure maintenance available in other parts of the City with topography, land use, and population density similar to those reasonably contemplated or projected for the Property.
 - 5. **AUTHORITY.** City and Owner represent that they have full power, authority and legal right to execute, deliver and perform their obligations pursuant to this Agreement. Owner acknowledges that approval of the Annexation Case is within the sole jurisdiction of the City Council. Nothing in this Agreement guarantees favorable decisions by the City Council.
 - 6. **SEVERABILITY.** If any part, term, or provision of this Agreement is held by the courts to be illegal, invalid, or otherwise unenforceable, such illegality, invalidity, or unenforceability will not affect the validity of any other part, term or provision, and the rights of the parties will be construed as if the part, term, or provision was never part of the Agreement.
 - 7. **INTERPRETATION.** The parties to this Agreement covenant and agree that in any litigation relating to this Agreement, the terms and conditions of the Agreement will be interpreted according to the laws of the State of Texas. The parties acknowledge that they are of equal bargaining power and that each of them was represented by legal counsel in the negotiation and drafting of this Agreement.
 - 8. **GOVERNING LAW AND VENUE.** Venue shall be in the state courts located in Williamson County, Texas or the United States District Court for the Western District of Texas, Austin Division and construed in conformity with the provisions of Texas Local Government Code Chapter 43.
 - 9. **NO WAIVER.** The failure of either party to insist upon the performance of any term or provision of this Agreement or to exercise any right granted hereunder shall not constitute a waiver of that party's right to insist upon appropriate performance or to assert any such right on any future occasion.
 - 10. **GOVERNMENTAL POWERS.** It is understood that by execution of this Agreement, the City does not waive or surrender any of its governmental powers


or immunities.

11. **COUNTERPARTS.** This Agreement may be executed in any number of counterparts, each of which shall be deemed an original and constitute one and the same instrument.
12. **CAPTIONS.** The captions to the various clauses of this Agreement are for informational purposes only and shall not alter the substance of the terms and conditions of this Agreement.
13. **AGREEMENT BINDS AND BENEFITS SUCCESSORS AND RUNS WITH THE LAND.** This Agreement is binding on and inures to the benefit of the parties, their successors, and assigns. The term of this Agreement constitutes covenants running with the land comprising the Property, is binding on the Owner and the City, and is enforceable by any current or future owner of any portion of the Property.
14. **ENTIRE AGREEMENT.** This Agreement constitutes the entire agreement between the parties and supersedes all prior oral and written agreements between said parties. This Agreement shall not be amended unless executed in writing by both parties.

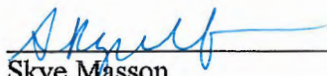
Executed as of the day and year first above written to be effective on the effective date of annexation of the Property.

CITY OF GEORGETOWN


By:


Dale Ross
Mayor

Approved as to Form:

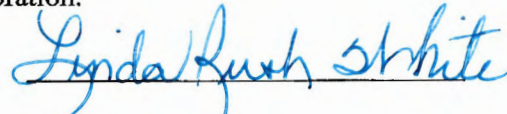

Skye Masson
City Attorney

Attest:


Robyn Densmore, TRMC
City Secretary

State of Texas §
County of Williamson §

This instrument was acknowledged before me on the 13th day of October, 2020,
by Dale Ross, Mayor of the City of Georgetown, a Texas municipal corporation, on behalf of said
corporation.

By: 
Notary Public, State of Texas



(OWNER 1)

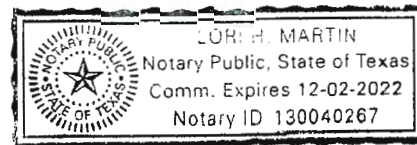
By: William H. Armstrong
(Signatory's Name)
(Signatory's Title) Owner

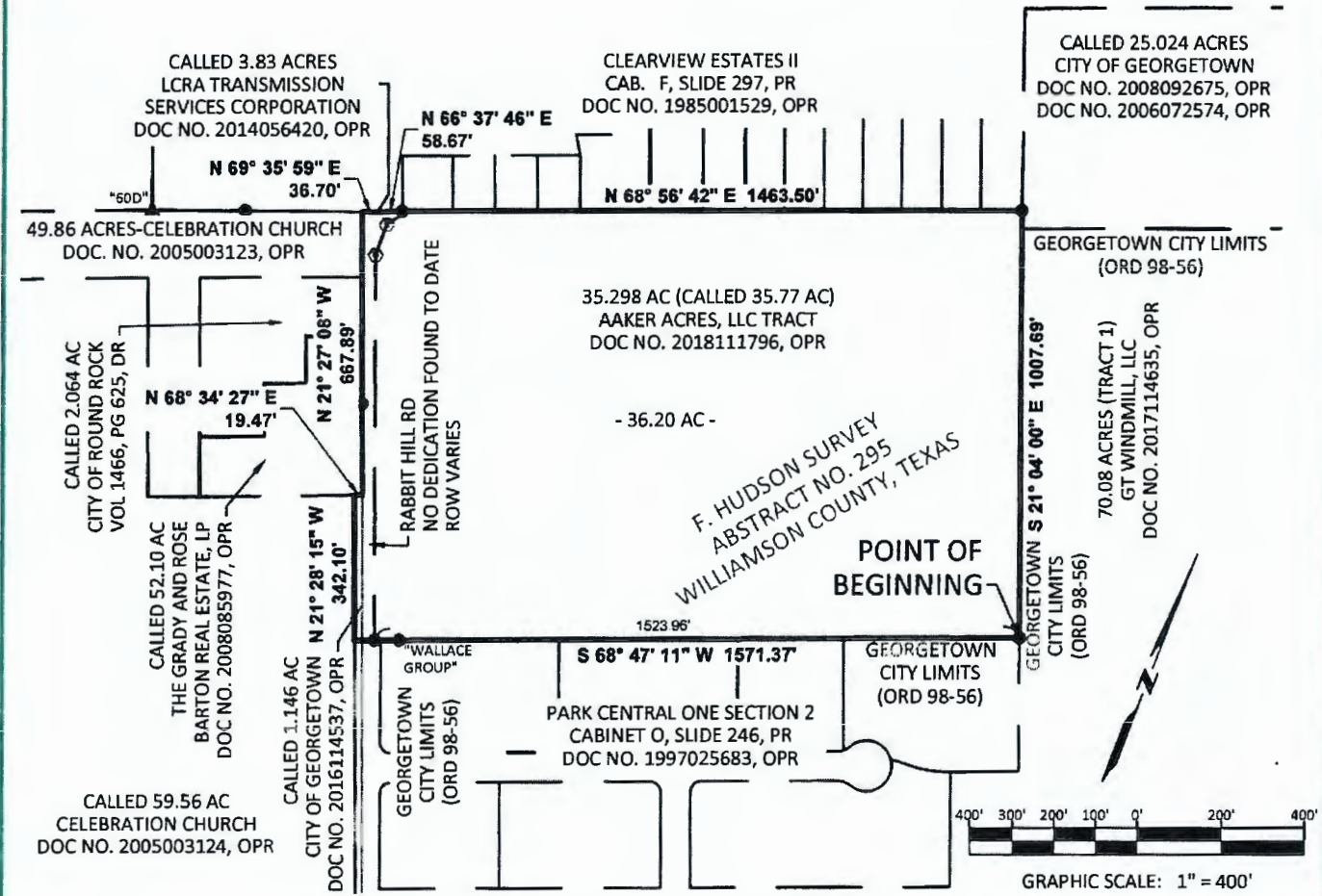
State of Texas §
County of TRAVIS §

This instrument was acknowledged before me on the 21st day of September, 2020, by William H. Armstrong, Owner of [Name of individual signing, title (if any)] on behalf of said Aaker Acres, LLC [insert name of company or individual where applicable].

By: Lori H. Martin

Notary Public, State of Texas





NOTES:

1. BEARINGS ARE BASED ON THE TEXAS COORDINATE SYSTEM OF 1983, CENTRAL ZONE (NAD_83 (2011)). ALL DISTANCES SHOWN HEREON ARE SURFACE VALUES REPRESENTED IN U.S. SURVEY FEET BASED ON A GRID-TO-SURFACE COMBINED ADJUSTMENT FACTOR OF 1.00013.
2. REFERENCE IS HEREON MADE TO THE METES AND BOUNDS DESCRIPTION OF THIS TRACT ACCOMPANYING THIS SKETCH.

THIS DOCUMENT WAS PREPARED UNDER 22 TAC §663.21, DOES NOT REFLECT THE RESULTS OF AN ON THE GROUND SURVEY, AND IS NOT TO BE USED TO CONVEY OR ESTABLISH INTERESTS IN REAL PROPERTY EXCEPT THOSE RIGHTS AND INTERESTS IMPLIED OR ESTABLISHED BY THE CREATION OR RECONFIGURATION OF THE BOUNDARY OF THE POLITICAL SUBDIVISION FOR WHICH IT WAS PREPARED.

DATED 02-11-2020
REVISED 09-08-2020: REVISED BOUNDARY
REVISED 09-25-2020: REVISED ADJOINERS



STEGER BIZZELL

| | | | |
|-------------------------|---|----------------------|-------------------|
| 1978 S. AUSTIN AVENUE | | GEORGETOWN, TX 78626 | |
| 512.930.9412 | TEXAS REGISTERED ENGINEERING FIRM P-161 | WEB | STEGERBIZZELL.COM |
| TEPLS FIRM ID: 10000730 | | | |
| ENGINEERS | PLANNERS | SURVEYORS | |

DATE 09-25-2020

JOB NO. 22729

DESCRIPTION OF

DESCRIPTION OF A 36.20 ACRE TRACT OF LAND LOCATED IN THE F. HUDSON SURVEY, ABSTRACT 295, WILLIAMSON COUNTY, TEXAS, BEING ALL OF THAT CERTAIN CALLED 35.77 ACRE TRACT OF LAND CONVEYED TO AAKER ACRES, LLC BY SPECIAL WARRANTY DEED OF RECORD IN DOCUMENT NUMBER 2018111796, OF THE OFFICIAL PUBLIC RECORDS OF WILLIAMSON COUNTY, TEXAS, AND A PORTION OF RABBIT HILL ROAD, A VARIABLE WIDTH ROADWAY, SAID 36.20 ACRE TRACT OF LAND BEING MORE PARTICULARLY DESCRIBED BY METES AND BOUNDS AS FOLLOWS:

BEGINNING, at a 1/2 inch iron rod found for the northeast corner of PARK CENTRAL ONE SECTION 2 Subdivision, a map of which is recorded in Document No. 1997025683, said Official Public Records, same point being the southeast corner of said Aaker Acres Tract, same point being on the City of Georgetown City Limits as defined by City Ordinance 98-56, for the southeast corner of the herein described tract;

THENCE, South 68°47'11" West, with the north boundary line of said PARK CENTRAL ONE SECTION 2 subdivision, at 1523.96 feet, pass a 1/2 inch iron rod found on the east right-of-way line of Rabbit Hill Road, a variable width roadway, no record information found to date, for the southwest corner of said Aaker Acres Tract, in all a total distance of 1571.37 feet, to a point on the west right-of-way said Rabbit Hill Road, same line being the west boundary line of that certain called 1.146 acre tract of land conveyed to the City of Georgetown, of record in Document No. 2016114537, said Official Public Records for the southwest corner of the herein described tract;

THENCE, North 21°28'15" West, with said west right-of-way line of Ribbit Hill Road and said west boundary line of the 1.146 acre tract of land, a distance of 342.10 feet, to a point on the south boundary line of the remaining portion of that certain called 52.10 acre tract of land conveyed to The Grady and Rose Barton Real Estate, LP, of record in Document No. 2008085977, said Official Public Records, for the northwest corner of said 1.146 acre tract of land;

THENCE, North 68°34'27" East, with the north boundary line of said 1.146 acre tract of land, a distance of 19.47 feet, to a point on said west right-of-way line of said Rabbit Hill Road, same point being the southeast corner of said remainder of the 52.10 acre tract of land;

THENCE, North 21°27'08" West, continuing with the west right-of-way line of said Rabbit Hill Road, same line being the east boundary line of said remainder of the 52.10 acre tract of land, and continuing with the east boundary line of that called 2.064 acre tract of land conveyed to the City of Round Rock, of record in Volume 1466, Page 325, of the Deed Records of Williamson County, Texas, and continuing with the east boundary line of that certain called 49.86 acre tract of land conveyed to Celebration Church of record in Document No. 2005003123, said Official Public Records, in all a total distance of 667.89 feet, to a point on the south boundary line of that certain called 3.83 acre tract of land conveyed to the LCRA Transmission Service Corporation of record in Document No. 2014056420, said Official Public Records, for the northwest corner of the herein described tract;

*Made
09/25/2020*

STEGER BIZZELL

1978 S. Austin Ave
Georgetown, TX 78626

THENCE, North 69°35'59" East, with the south boundary line of said 3.83 acre tract of land, a distance of 36.70 feet, to a point, for the southeast corner of said 3.83 acre tract of land;

THENCE, North 66°37'46" East, crossing said Rabbit Hill Road, a distance of 58.67 feet, to a 1/2 inch iron rod found for the northwest corner of said Aaker Acres Tract, same point being the southwest corner of CLEARVIEW ESTATES II Subdivision, a map of which is recorded in Cabinet F, Slide 297, of the Plat Records of Williamson County, Texas;

THENCE, North 68°56'42" East, with the north boundary line of said Aaker Acres Tract, same line being the south boundary line of said CLEARVIEW ESTATES II Subdivision, a distance of 1463.50 feet, to a 1/2 inch iron rod found for the northeast corner of said Aaker Acres Tract, same point being the southeast corner of said CLEARVIEW ESTATES II Subdivision, and for the northeast corner of the herein described tract;

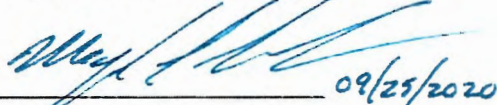
THENCE, South 21°04'00" East, with the east boundary line of said Aaker Acres Tract, a distance of 1007.69 feet, to the **POINT OF BEGINNING**, and containing 36.20 acres of land, more or less, within these metes and bounds.

Bearings are based on the Texas Coordinate System of 1983, Central Zone (NAD_83 (2011)). All distances shown hereon are surface values represented in U.S. Survey Feet based on a Grid-to-Surface Combined Adjustment Factor of 1.00013.

The foregoing metes and bounds description and survey on which it is based is accompanied by and a part of a survey map of the subject tract.

This document was prepared under 22 TAC §663.21, does not reflect the results of an on the ground survey, and is not to be used to convey or establish interests in real property except those rights and interests implied or established by the creation or reconfiguration of the boundary of the political subdivision for which it was prepared.

Steger & Bizzell Engineering Inc.

 09/25/2020

Miguel A. Escobar, LSLS, RPLS

Texas Reg. No. 5630

1978 South Austin Avenue

Georgetown, Texas 78626

(512) 930-9412

TBPLS Firm No. 10003700

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STEGER  BIZZELL

1978 S. Austin Ave
Georgetown, TX 78626

Aaker Acres 2020-10-ANX

Second City Council
1/12/2021

Item Under Consideration

2020-10-ANX

Second Reading of an Ordinance for the **voluntary annexation** of an approximate 36.20-acre tract of land out of the F. Hudson Survey, Abstract No. 295, and a portion of Rabbit Hill Road, a right-of-way of varying width of record described to Williamson County, with an **initial zoning designation** of **Business Park (BP)** for approximately **16.56 acres** and **Low Density Multi-Family (MF-1)** for approximately **19.65 acres**, for the property generally located at **1051 Rabbit Hill Rd** (2020-10-ANX) – Nat Waggoner, Long Range Planning Manager



LOCATION

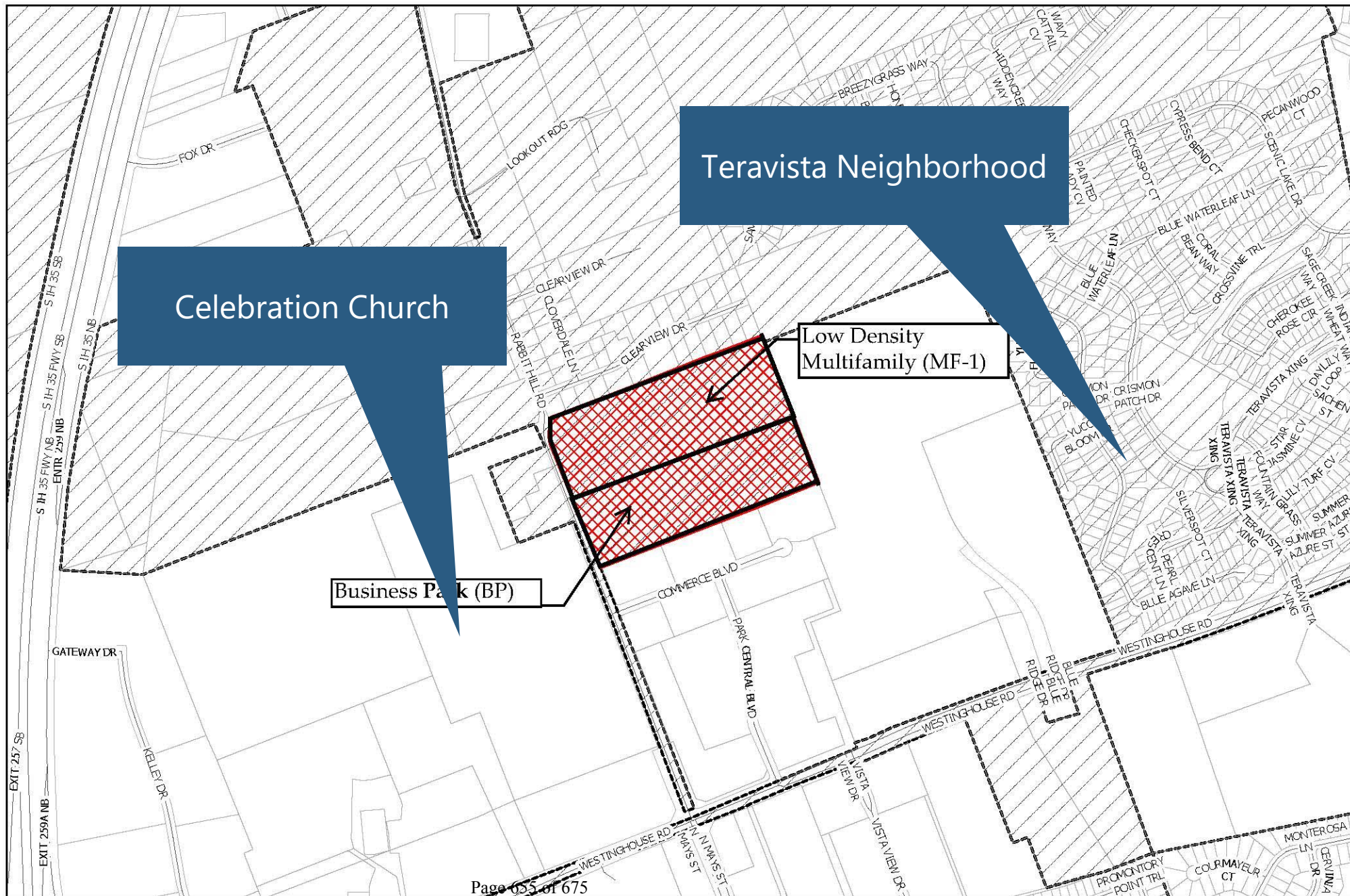
2020-10-ANX

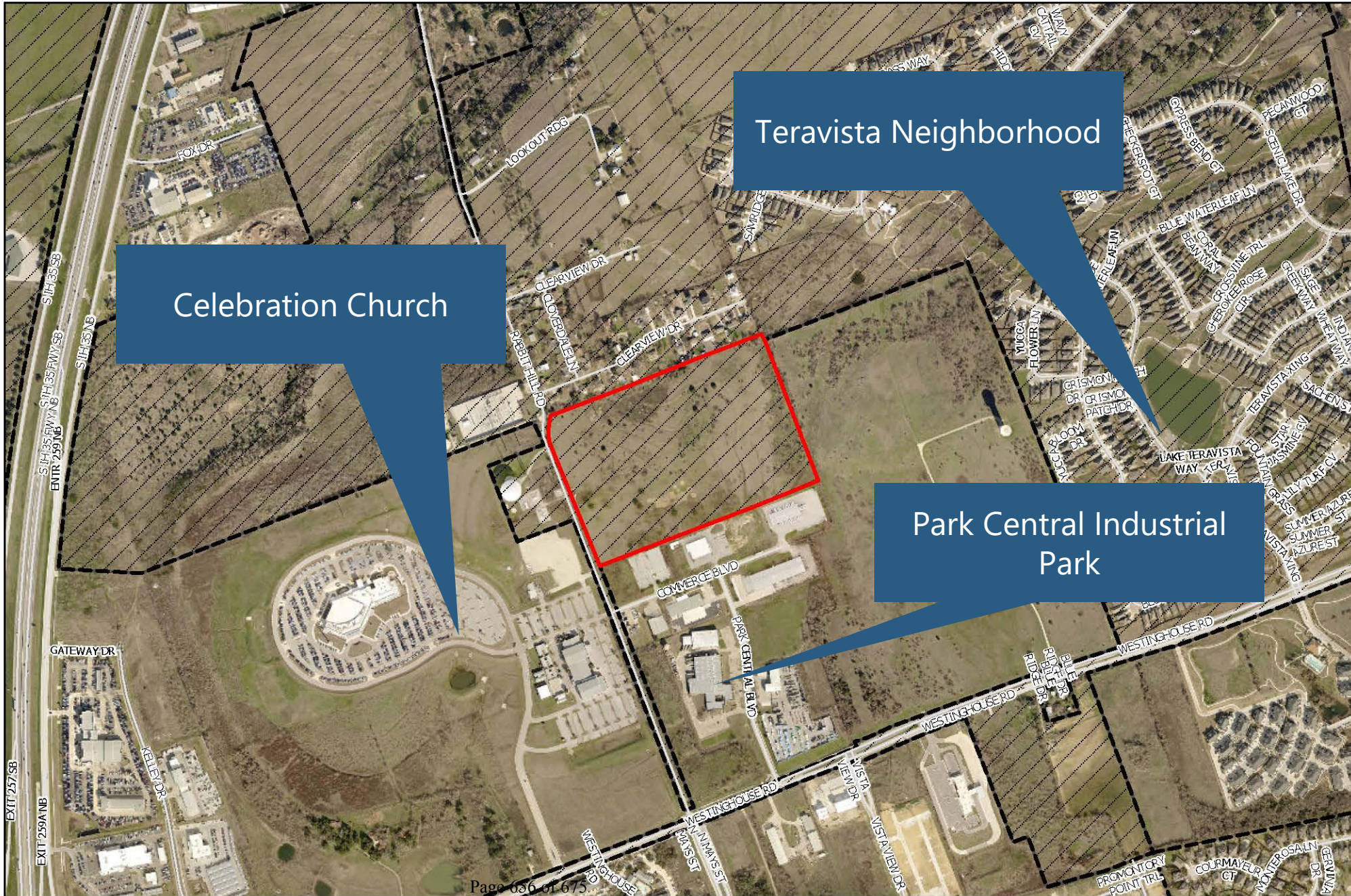
Exhibit #1

-  Site
-  Parcels
-  City Limits
-  Georgetown ETJ



0 0.13 0.25
Miles





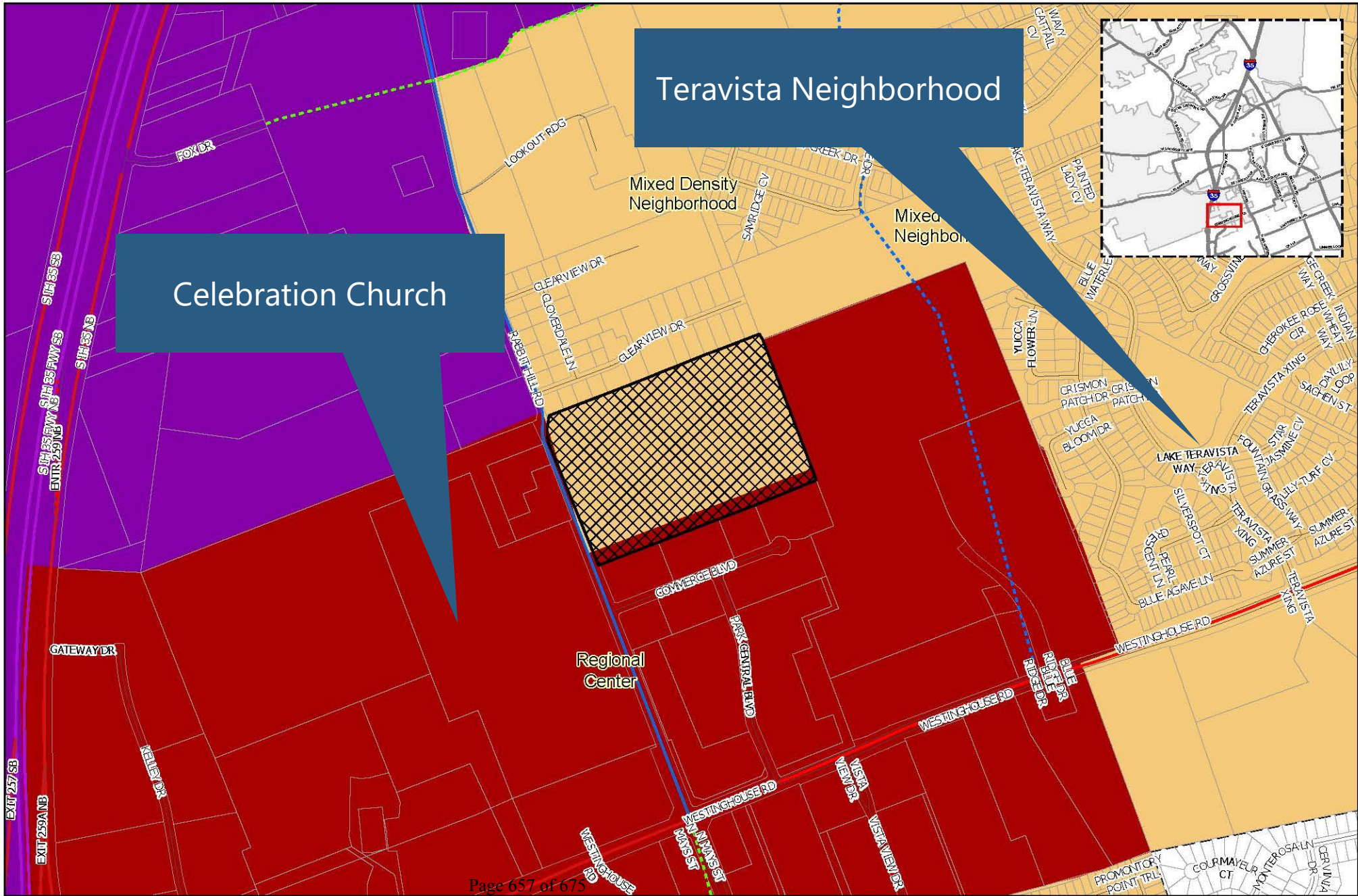
AERIAL

2020-10-ANX

- Site
- City Limits
- Georgetown ETJ



0 500 1,000
Feet



Teravista Neighborhood

Celebration Church



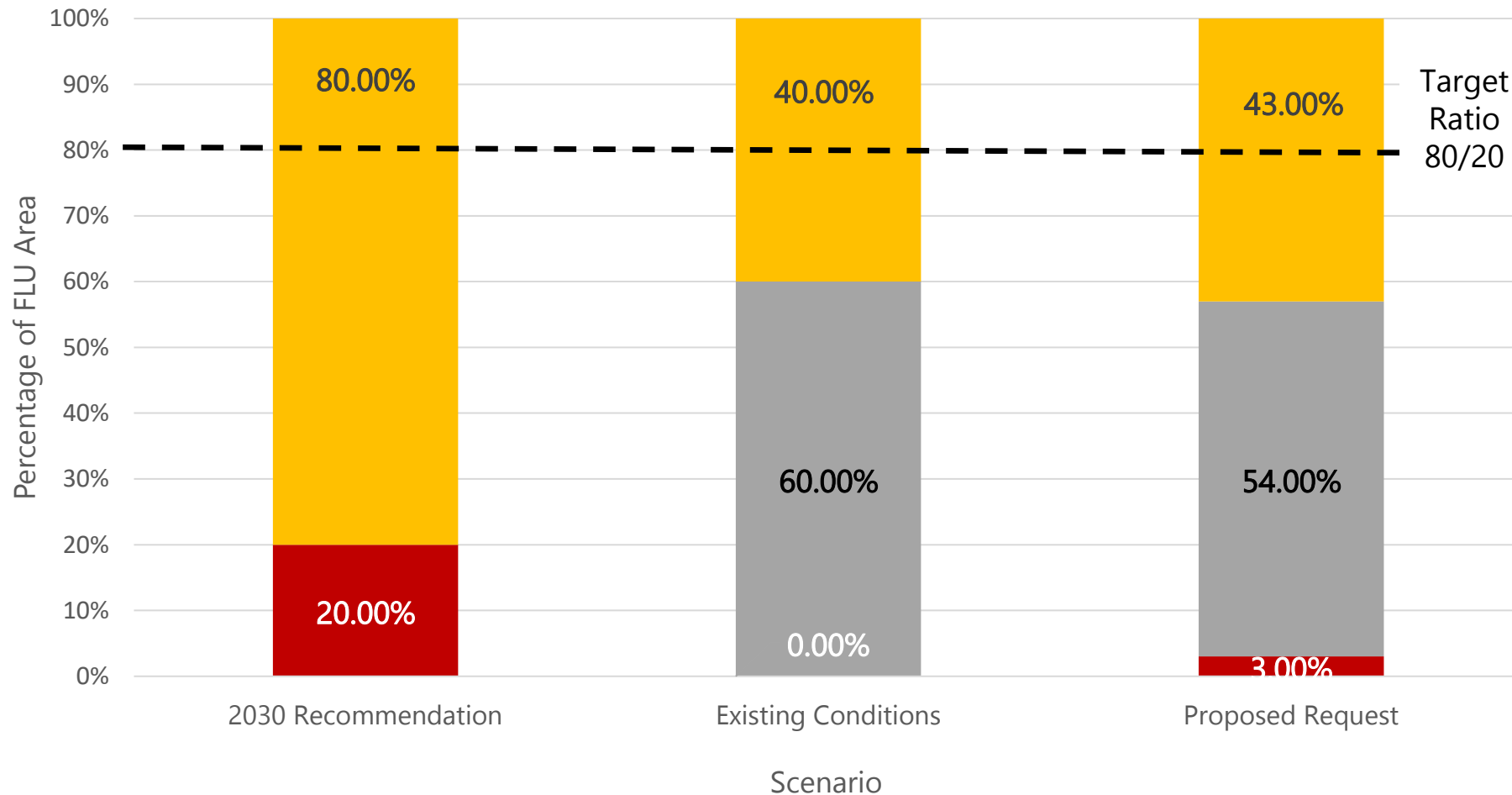
**FUTURE LAND USE/
OVERALL TRANSPORTATION
PLAN**

**2020-10-ANX
Exhibit #2**

- Site
- Parcels
- City Limits
- Georgetown ETJ
- Future Land Use
 - Community Center
 - Employment Center
 - Institutional
 - Mining
 - Mixed Density Neighborhood
 - Neighborhood
 - Open Space
 - Parks and Recreation
 - Regional Center
 - Rural Residential
 - Special Area
- Thoroughfare
 - Existing Freeway
 - Existing Major Arterial
 - Existing Minor Arterial
 - Existing Collector
 - Proposed Freeway
 - Proposed Major Arterial
 - Proposed Minor Arterial
 - Proposed Collector
 - Proposed Rail



Land Use Ratios – Moderate Density Neighborhood



■ Nonresidential ■ AG/Unentitled ■ Residential

Page 658 of 675

Total Area:
 638.55 acres
 100%

Area of Subject Property:
 35.298 acres
 5.5%

AG/Unentitled:
 602.9 acres
 94%



- AG - Agriculture
- BP - Business Park
- C-1 - Local Commercial
- C-3 - General Commercial
- CN - Neighborhood Commercial
- IN - Industrial
- MF-1 - Low-Density Multi-family
- MF-2 - High-Density Multi-family
- MH - Manufactured Housing
- MU-DT - Mixed-Use Downtown
- OF - Office
- PF - Public Facility
- RE - Residential Estate
- RL - Residential Low-Density
- RS - Residential Single-Family
- TF - Two-Family
- TH - Townhouse



Teravista Neighborhood

Celebration Church

Low Density Multi-Family (MF-1)

- Attached and detached multi-family
- Apartments, condos, triplexes, fourplexes
- Should have convenient access to major thoroughfares
- Should not route traffic through low density areas
- May be appropriate adjacent to residential and non-residential districts

Dimensional Standards

- Max density = 14 units/acre
- Min. lot size = 12,000 sq. ft.
- Min. lot width = 50'
- Max building height = 35'
- Front setback = 20'
- Side setback = 10'
- Rear setback = 10'
- Side/rear street setback = 15'
- Side/rear setback to residential = 20'
- 15' bufferyard adjacent to RS

Zoning District - (MF-1)

Low Density Multi-Family (MF-1)

| Permitted by Right | Permitted with Limitations | Permitted with a SUP |
|-----------------------------|---------------------------------------|---------------------------------|
| Group Home (7-15 residents) | Church (with columbarium) | Activity Center (youth/senior) |
| Multi-Family, Attached | Day Care (family/group/commercial) | Assisted Living |
| Multi-Family, Detached | Golf Course | Bed and Breakfast (with events) |
| Rooming/Boarding House | Nature Preserve/Community Garden | Emergency Services Station |
| Utilities (minor) | Neighborhood Amenity Center | Group Home (16+ residents) |
| | Park (Neighborhood) | Halfway House |
| | School (Elementary) | Nursing/Convalescent Home |
| | Utilities (Intermediate) | Orphanage |
| | Wireless Transmission Facility (<41') | School (middle) |
| | | Student Housing |

Business Park (BP)

- Provides a location for office, research, and light industrial uses, as a part of a large development
- May be appropriate adjacent to residential areas
- Typically more traffic than an office area

Dimensional Standards

- Min. Acreage for District = 5 acres
- Max building height = 60'
- Front setback = 25'
- Side setback = 10'
- Rear setback = 10'
- Side Setback to Residential = 20'
- Rear Setback to Residential = 25'
- 30' bufferyard when adjacent to residential

Zoning District - (BP)

Business Park (BP)

| Permitted by Right | Permitted with Limitations | Permitted with a SUP |
|--|---------------------------------------|---------------------------------|
| Emergency Services Station | Upper Story Residential | Multi-Family, Detached Units |
| Government/Post Office | Home Based Business | Boutique Hotel |
| Nature Preserve/Community Garden | Trade/Business School | Fuel Sales |
| Food Catering Services | Day Care, Group/Commercial | Car Wash |
| Home Health Care Services | Church | Warehouse/Distribution, Limited |
| Medical Complex | Church with Columbarium | |
| General Office | Neighborhood Public Park | |
| Integrated Office Center | Hotel (Full/Limited Service) | |
| Data Center | Hotel Extended Stay | |
| Small Engine Repair | Restaurant, General/Drive Through | |
| Commercial Document Storage | General Retail | |
| Event Catering/Equipment Rental | Personal Services | |
| Furniture Repair/Upholstery | Dry Cleaning, Drop off Only | |
| Office Showroom | Printing/Mailing/Copy Services | |
| Wholesale Showrooms | Fitness Center | |
| Parking Lot, Offsite/Commercial | Heliport | |
| Park-n-Ride Facility | Seasonal Product Sales | |
| Utilities (minor, intermediate, major) | Farmer's market, Temporary | |
| Contractor Services, Limited | Mobile/Outdoor Food Vendor | |
| Movie Production | Business Offices, Temporary | |
| Printing/Publishing | Concrete Products, Temporary | |
| Office/Warehouse | Construction Field Office | |
| Research, Testing/Development Lab | Construction Staging, Off-site | |
| Manufacturing, Processing, Assembly, Limited | Parking Lot, Temporary | |
| | Wireless Transmission Facility (<40') | |

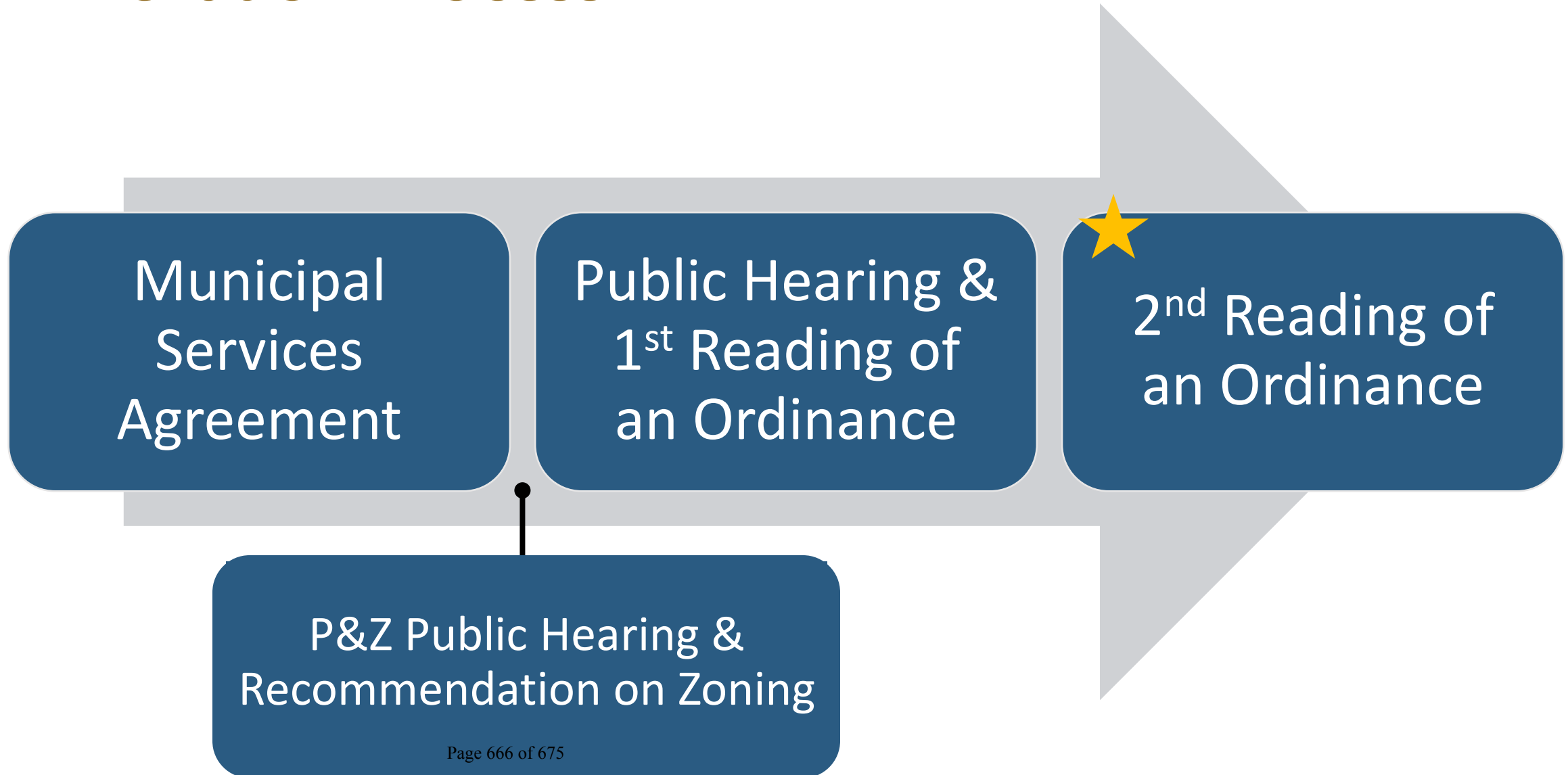
Approval Criteria – UDC Section 3.06.030

| Criteria for Zoning Map Amendment | Complies | Partially Complies | Does Not Comply |
|--|----------|--------------------|-----------------|
| The application is complete and the information contained within the application is sufficient and correct enough to allow adequate review and final action; | X | | |
| The zoning change is consistent with the Comprehensive Plan; | | X | |
| The zoning change promotes the health, safety or general welfare of the City and the safe orderly, and healthful development of the City; | X | | |

Approval Criteria – UDC Section 3.06.030

| Criteria for Zoning Map Amendment | Complies | Partially Complies | Does Not Comply |
|--|----------|--------------------|-----------------|
| The zoning change is compatible with the present zoning and conforming uses of nearby property and with the character of the neighborhood; and | X | | |
| The property to be rezoned is suitable for uses permitted by the district that would be applied by the proposed amendment. | X | | |

Annexation Process



Tentative Schedule

- ✓ 10/13/2020 – City Council Approves MSA
- ✓ 11/17/2020 – P&Z Public Hearing & Recommendation on Initial Zoning
- ✓ 12/8/2020 – City Council Public Hearing and 1st Reading of Ordinance
 - 1/12/2021 – City Council 2nd Reading of Ordinance

Planning & Zoning Commission Action

- At their November 17, 2020 meeting, the Planning & Zoning Commission recommended approval of the request (4-1).

City Council Action on First Reading

- At their December 8, 2020 meeting, the City Council approved the first reading of the ordinance (4-2).

Second Reading of an Ordinance

An Ordinance of the City Council of the City of Georgetown, Texas, providing for the extension of certain boundary limits of the City of Georgetown, Texas, and the annexation of certain territory and designation of Business Park (BP) zoning district (approximately 16.56 acres) and Low Density Multi-Family (MF-1) zoning district (approximately 19.65 acres) for a 36.20-acre tract of land out of the F. Hudson Survey, Abstract No. 295, and a portion of Rabbit Hill Road, a right-of-way of varying width of record described to Williamson County, as described herein; repealing conflicting ordinances and resolutions; including a severability clause; and establishing an effective date.

City of Georgetown, Texas
City Council Regular Meeting
January 12, 2021

SUBJECT:

Second Reading of an Ordinance **amending** the **FY2020 Annual Budget** for **-end obligations** that were not known at the time the budget was adopted; **appropriating** the various amounts thereof; and repealing all ordinances or parts of ordinances in conflict therewith -- Nathan Parras, Assistant Finance Director

ITEM SUMMARY:

ITEM SUMMARY:

This item corresponds with the presentation during the afternoon workshop session, as well as the Fourth Quarter Report on the workshop session from December 8, 2020.

Each year staff estimate revenue and expense year-end projections compared to the annual budget. The attached presentation summarizes the budget changes by fund and department required to comply with the City Charter. Detailed information is included in the attached Exhibit A.

SPECIAL CONSIDERATIONS

The City Charter requires that a majority plus one must approve an amendment to the approved budget. The City charter allows for budget amendments in emergency situations and when the issues and needs were unknown at the time the budget was adopted.

FINANCIAL IMPACT:

The proposed budget amendment increases total appropriations by \$1,053,780 using revenues and available balance in several funds.

SUBMITTED BY:

Sharon Parker

ATTACHMENTS:

2020 YEBA Exhibit

2020 Year End BA Ordinance

Exhibit A - FY2020 Year-end Amendment

| | 2020 Approved Budget | Impact of This Action/CAFR Adjustment | 2020 Amended Budget | |
|-------------------------------|----------------------|---------------------------------------|---------------------|--|
| | | | | 159 - General Debt Service |
| Beginning Fund Balance | 1,950,739 | - | 1,950,739 | During the FY2020 budget development process, a step was mistakenly missed in budgeting the expense for some debt service payments related to GEDCO projects and the Solid Waste Transfer Station. The revenue was available and the debt payments were made on time. This is a clean up action. Finance staff updated our checklist to prevent missing this budget step again in the future. |
| Revenues | | | | |
| Current Revenues | 20,531,759 | | 20,531,759 | |
| Total Revenues | 20,531,759 | - | 20,531,759 | |
| Expenses | | | | |
| Handling Fees | 20,000 | - | 20,000 | |
| Principal Reduction | 12,834,526 | 180,000 | 13,014,526 | |
| Interest Expense | 7,173,378 | 253,816 | 7,427,194 | |
| Total Expenses | 20,027,904 | 433,816 | 20,461,720 | |
| Ending Fund Balance | 2,454,594 | (433,816) | 2,020,778 | |
| 45 Day Contingency | 2,096,022 | (75,244) | 2,020,778 | |
| Available Fund Balance | 358,572 | (358,572) | - | |
| | | | | 212 - Conservation |
| Beginning Fund Balance | 847,035 | - | 847,035 | On May 26, 2020, City Council approved a utility billing relief program related to COVID-19. This included direction for the Conservation Fund to cover the Electric Fund's bill relief expenses. This action is to transfer \$4,207 from Conservation to Electric, for year-to-date relief expenses. |
| Revenues | | | | |
| Current Revenues | 72,000 | - | 72,000 | |
| Total Revenues | 72,000 | - | 72,000 | |
| Expenses | | | | |
| Current Expenses | 231,000 | | 231,000 | |
| Transfers Out | - | 4,207 | 4,207 | |
| Total Expenses | 231,000 | 4,207 | 235,207 | |
| Ending Fund Balance | 688,035 | (4,207) | 683,828 | |
| Available Fund Balance | 688,035 | (4,207) | 683,828 | |
| | | | | 246 - Court Security Fees |
| Beginning Fund Balance | 3,289 | - | 3,289 | During the transition from the old financial system (Incode) to the new system (Workday), many changes were made to the chart of accounts and accounting procedures. Previously, the Court special revenue fund netted collections contract revenue against the contract expense. Since go live of the new system in April, revenue posts to revenue, and expense posts to expense. Therefore, an amendment is needed to recognize expense appropriation in this fund. Collections revenue still covers the expense and there is no negative impact to the fund. |
| Revenues | | | | |
| Current Revenues | 10,875 | 15,757 | 26,632 | |
| Total Revenues | 10,875 | 15,757 | 26,632 | |
| Expenses | | | | |
| Current Expenses | 1,000 | 15,757 | 16,757 | |
| Total Expenses | 1,000 | 15,757 | 16,757 | |
| Ending Fund Balance | 13,164 | - | 13,164 | |
| Available Fund Balance | 13,164 | - | 13,164 | |

| | 2020 Approved Budget | Impact of This Action/CAFR Adjustment | 2020 Amended Budget | 570 - Information Technology |
|------------------------------------|----------------------|---------------------------------------|---------------------|---|
| Beginning Fund Balance | \$ 2,452,003 | \$ - | \$ 2,452,003 | As part of the FY2021 budget development process, staff and Council reviewed FY2020 year-end projections for the IT Fund and the Electric Fund. Council approved for the IT Fund to continue its multi-year program of buying segments of the citywide fiber asset from the Electric Fund. The FY2020 segment is for \$600,000 after annual depreciation and is the second segment in a four year plan. This action draws down on IT Fund reserves for capital replacement. The IT Fund will need to increase internal service fund allocation charges in FY2022 to begin recovering the reserve. |
| Revenues | | | | |
| Current Revenues | \$ 7,727,733 | | \$ 7,727,733 | |
| Total Revenues | \$ 7,727,733 | \$ - | \$ 7,727,733 | |
| Expenses | | | | |
| Current Expenses | \$ 8,012,204 | | \$ 8,012,204 | |
| Capital Outlay - Capital Equipment | \$ - | 600,000 | \$ 600,000 | |
| Total Expenses | \$ 8,012,204 | \$ 600,000 | \$ 8,612,204 | |
| Ending Fund Balance | \$ 2,167,532 | \$ (600,000) | \$ 1,567,532 | |
| Contingency | \$ 651,790 | | \$ 651,790 | |
| Equipment Reserve | \$ 1,031,764 | \$ (116,022) | \$ 915,742 | |
| Available Fund Balance | \$ 483,978 | \$ (483,978) | \$ - | |

| | 2020 Approved Budget | Impact of This Action/CAFR Adjustment | 2020 Amended Budget | 610 - Electric |
|-------------------------------|----------------------|---------------------------------------|---------------------|--|
| Beginning Fund Balance | \$ 6,614,742 | \$ - | \$ 6,614,742 | The first amendment for the Electric fund is to recognize the \$4,207 transfer in from the Conservation Fund to reimburse for utility bill relief expenses related to COVID-19. Council approved reimbursement from the Conservation fund as a way to ease strain on the Electric Fund. The second amendment recognizes revenue from the IT Fund for the sale of a second segment of the citywide Fiber Asset valued at \$600,000. |
| Revenues | | | | |
| Current Revenues | \$ 95,658,419 | | \$ 95,658,419 | |
| Transfers In | \$ 500,000 | 4,207 | \$ 504,207 | |
| Sale of Property | \$ 10,000 | 600,000 | \$ 610,000 | |
| Total Revenues | \$ 96,168,419 | \$ 604,207 | \$ 96,772,626 | |
| Expenses | | | | |
| Current Expenses | \$ 93,484,028 | - | \$ 93,484,028 | |
| Total Expenses | \$ 93,484,028 | \$ - | \$ 93,484,028 | |
| Ending Fund Balance | \$ 9,299,133 | \$ 604,207 | \$ 9,903,340 | |
| Contingency | \$ 4,142,159 | | \$ 4,142,159 | |
| Rate Stabilization | \$ 4,555,000 | \$ - | \$ 4,555,000 | |
| Available Fund Balance | \$ 601,974 | \$ 604,207 | \$ 1,206,181 | |

TOTAL CHANGE IN APPROPRIATION

1,053,780

ORDINANCE NO. _____

AN ORDINANCE OF THE CITY OF GEORGETOWN, TEXAS, AMENDING THE 2020 ANNUAL BUDGET FOR YEAR-END OBLIGATIONS THAT WERE NOT KNOWN AT THE TIME THE BUDGET WAS ADOPTED, APPROPRIATING THE VARIOUS AMOUNTS THEREOF, AND REPEALING ALL ORDINANCES OR PARTS OF ORDINANCES IN CONFLICT THEREWITH.

WHEREAS, the City has available revenues and ending Fund Balances in the General Debt Service, Conservation, Court Security, Information Technology, and Electric funds for Fiscal Year 2020; and

WHEREAS, the City is aware of obligations not currently appropriated in the fiscal year 2020 Budget in the following funds: General Debt Service, Conservation, Court Security, Information Technology, and Electric; and

WHEREAS, the changes were unknown and unforeseeable at the time the fiscal year 2020 budget was approved; and

WHEREAS, the *City Charter* and State law allows for changes in the Annual Operating Plan by a Council majority plus one in emergency situations and for municipal purposes;

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF GEORGETOWN, TEXAS, THAT:

SECTION 1.

The facts and recitations contained in the preamble of this ordinance are hereby found and declared to be true and correct, and are incorporated by reference herein and expressly made a part hereof, as if copied verbatim.

SECTION 2.

The amendment to the 2020 Annual Budget of the revenues of the City of Georgetown and expenses of conducting the affairs thereof, is in all things adopted and approved as an addition to the previously approved budget of the current revenues and expenses as well as fixed charges against said City for the fiscal year beginning October 1, 2019 and ending September 30, 2020. A copy of the amendment is attached hereto as Exhibit "A" incorporated by reference herein.

SECTION 3.

The total of \$1,053,780 is hereby released from appropriation for payments of expenditures and payments of the funds and included in the Exhibit "A".

SECTION 4

All ordinances and resolutions, or parts of ordinances and resolutions, in conflict with this Ordinance are hereby repealed, and are no longer of any force and effect. This ordinance complies with the vision statement of the Georgetown 2030 Plan.

SECTION 5.

If any provision of this ordinance or application thereof to any person or circumstance, shall be held invalid, such invalidity shall not affect the other provisions, or application thereof, of this ordinance which can be given effect without the invalid provision or application, and to this end the provisions of this ordinance are hereby declared to be severable.

SECTION 6.

The Mayor is hereby authorized to sign this ordinance and the City Secretary to attest. This ordinance shall become effective upon adoption of its second and final reading by the City Council of the City of Georgetown, Texas.

PASSED AND APPROVED on First Reading on the 8th day of December, 2020.

PASSED AND APPROVED on Second Reading on the 12th day of January, 2021.

ATTEST:

THE CITY OF GEORGETOWN:

Robyn Densmore
City Secretary

By: Josh Schroeder
Mayor

APPROVED AS TO FORM:

Skye Masson
City Attorney