

**Notice of Meeting for the  
Historic and Architectural Review Commission  
of the City of Georgetown  
March 26, 2020 at 6:00 PM  
at**

The City of Georgetown is committed to compliance with the Americans with Disabilities Act (ADA). If you require assistance in participating at a public meeting due to a disability, as defined under the ADA, reasonable assistance, adaptations, or accommodations will be provided upon request. Please contact the City Secretary's Office, at least three (3) days prior to the scheduled meeting date, at (512) 930-3652 or City Hall at 808 Martin Luther King Jr. Street, Georgetown, TX 78626 for additional information; TTY users route through Relay Texas at 711.

***This Revised Agenda is posted as an Emergency Amendment to the Agenda pursuant to Texas Government Code Section 551.045 as a result of the National, State and Local Disaster Declarations related to the ongoing public health emergency caused by COVID-19 and in anticipation of potential restrictions on public meetings because of the potential additional local orders for public health and safety.***

***Regular Meeting will convene at 6:00 p.m. March 24, 2020***

***Via videoconference***

***Website: [https://teams.microsoft.com/l/meetup-](https://teams.microsoft.com/l/meetup-join/19%3ameeting_NDI4ZTRINTItOTNjYy00Yzk5LWI5MWQtZWZMWE1NzNiYzIz%40thread.v2/0?context=%7b%22Tid%22%3a%22a1429869-9c66-47a7-9f6c-115d9a1c90d9%22%2c%22Oid%22%3a%22dc9a06ed-7865-4eda-a378-59e79761e314%22%2c%22IsBroadcastMeeting%22%3atrue%7d)***

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***[115d9a1c90d9%22%2c%22Oid%22%3a%22dc9a06ed-7865-4eda-a378-](https://teams.microsoft.com/l/meetup-join/19%3ameeting_NDI4ZTRINTItOTNjYy00Yzk5LWI5MWQtZWZMWE1NzNiYzIz%40thread.v2/0?context=%7b%22Tid%22%3a%22a1429869-9c66-47a7-9f6c-115d9a1c90d9%22%2c%22Oid%22%3a%22dc9a06ed-7865-4eda-a378-59e79761e314%22%2c%22IsBroadcastMeeting%22%3atrue%7d)***

***[59e79761e314%22%2c%22IsBroadcastMeeting%22%3atrue%7d](https://teams.microsoft.com/l/meetup-join/19%3ameeting_NDI4ZTRINTItOTNjYy00Yzk5LWI5MWQtZWZMWE1NzNiYzIz%40thread.v2/0?context=%7b%22Tid%22%3a%22a1429869-9c66-47a7-9f6c-115d9a1c90d9%22%2c%22Oid%22%3a%22dc9a06ed-7865-4eda-a378-59e79761e314%22%2c%22IsBroadcastMeeting%22%3atrue%7d)***

***Or***

***Call in number:***

***Conference tel: +1 512-672-8405,***

***Conference ID 84353993#***

***Public comment will be allowed via the above conference call number above or the “ask a question” function on the video conference option ; no in-person input will be allowed.***

***•The meeting will be available for viewing at this link: [https://teams.microsoft.com/l/meetup-](https://teams.microsoft.com/l/meetup-join/19%3ameeting_NDI4ZTRINTItOTNjYy00Yzk5LWI5MWQtZWZMWE1NzNiYzIz%40thread.v2/0?context=%7b%22Tid%22%3a%22a1429869-9c66-47a7-9f6c-115d9a1c90d9%22%2c%22Oid%22%3a%22dc9a06ed-7865-4eda-a378-59e79761e314%22%2c%22IsBroadcastMeeting%22%3atrue%7d)***

***[join/19%3ameeting\\_NDI4ZTRINTItOTNjYy00Yzk5LWI5MWQtZWZMWE1NzNiYzIz%40thread.v2/0?context=%7b%22Tid%22%3a%22a1429869-9c66-47a7-9f6c-](https://teams.microsoft.com/l/meetup-join/19%3ameeting_NDI4ZTRINTItOTNjYy00Yzk5LWI5MWQtZWZMWE1NzNiYzIz%40thread.v2/0?context=%7b%22Tid%22%3a%22a1429869-9c66-47a7-9f6c-115d9a1c90d9%22%2c%22Oid%22%3a%22dc9a06ed-7865-4eda-a378-59e79761e314%22%2c%22IsBroadcastMeeting%22%3atrue%7d)***

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## **Regular Session**

(This Regular Session may, at any time, be recessed to convene an Executive Session for any purpose authorized by the Open Meetings Act, Texas Government Code 551.)

- A The Historic and Architectural Review Commission, appointed by the Mayor and the City Council, is responsible for hearing and taking final action on applications, by issuing Certificates of Appropriateness based upon the City Council adopted Downtown Design Guidelines and Unified Development Code.

**Welcome and Meeting Procedures:**

- Staff Presentation
- Applicant Presentation (Limited to ten minutes unless stated otherwise by the Commission.)
- Questions from Commission to Staff and Applicant
- Comments from Citizens \*
- Applicant Response
- Commission Deliberative Process
- Commission Action

\* Those who speak must turn in a speaker form, located at the back of the room, to the recording secretary before the item they wish to address begins. Each speaker will be permitted to address the Commission one time only for a maximum of three minutes.

## **Legislative Regular Agenda**

- B Consideration and possible action to approve the minutes from the March 12, 2020 regular meetings of the Historic and Architectural Review Commission. - Mirna Garcia, Management Analyst
- C **Public Hearing and Possible Action** on a Request for a **Certificate of Appropriateness** for an addition that creates a new, or adds to an existing street facing façade; the removal of an awning or canopy; and the addition of an awning or canopy on a high priority structure at the

property located at 805 S. Main Street, bearing the legal description Georgetown City Of, BLOCK 52, Lot 3(N/PT), ACRES 0.0548. – Britin Bostick, Downtown and Historic Planner

- D **Public Hearing and Possible Action** on a Request for a **Certificate of Appropriateness** for a 19'-6" Setback Encroachment into the required 25' front setback for the construction of a carport addition 5'-6" from the front property line, and a 4'-8" Setback Encroachment into the required 6' side setback for the construction of a carport addition 1'-4" from the side (north) property line at the property located at 1604 Vine Street, bearing the legal description NOLEN ADDITION, BLOCK 2, LOT 5-6(PTS), ACRES 0.160. (2020-8-COA) – Britin Bostick, Downtown and Historic Planner
- E Discussion and possible action establishing the regular meeting date, time and place of the Historic and Architectural Review Commission for 2020/21 -- Mirna Garcia, Management Analyst
- F Updates, Commissioner questions, and comments. - Sofia Nelson, Planning Director

## Adjournment

### Certificate of Posting

I, Robyn Densmore, City Secretary for the City of Georgetown, Texas, do hereby certify that this Notice of Meeting was posted at City Hall, 808 Martin Luther King Jr. Street, Georgetown, TX 78626, a place readily accessible to the general public as required by law, on the \_\_\_\_ day of \_\_\_\_\_, 2020, at \_\_\_\_\_, and remained so posted for at least 72 continuous hours preceding the scheduled time of said meeting.

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Robyn Densmore, City Secretary



City of Georgetown, Texas  
Historic and Architectural Review  
March 26, 2020

**SUBJECT:**

Consideration and possible action to approve the minutes from the March 12, 2020 regular meetings of the Historic and Architectural Review Commission. - Mirna Garcia, Management Analyst

**ITEM SUMMARY:**


**FINANCIAL IMPACT:**

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**SUBMITTED BY:**

Mirna Garcia, Management Analyst

**ATTACHMENTS:**

Description		Type
	Minutes	Backup Material

City of Georgetown, Texas  
Historic and Architectural Review Commission  
**Minutes**  
March 12, 2020 at 6:00 p.m.  
Council and Courts Building  
510 West 9<sup>th</sup> Street Georgetown, TX 78626

Members present: Amanda Parr, Chair; Catherine Morales; Art Browner; Faustine Curry, Robert McCabe; Pam Mitchell; Karalei Nunn; Steve Johnston

Members absent: Terri Asendorf-Hyde

Staff present: Nat Waggoner, Long Range Planning Manager; Mirna Garcia, Management Analyst; Britin Bostick, Historic Planner; Sofia Nelson, Planning Director

Call to order by Commissioner Parr at 6:01 pm.

- A. Consideration and possible action to approve the minutes from the February 13 and February 27, 2020 regular meetings of the Historic and Architectural Review Commission. - Mirna Garcia, Management Analyst

**Motion to approve the minutes as presented by Commissioner Morales. Second by Alternate Commissioner Mitchell. Approved (7-0).**

- B. **Public Hearing and Possible Action** on a request for a **Certificate of Appropriateness** for an addition to a street-facing facade at the property located at 1215 S. Main Street, bearing the legal description of Morrow Addition, BLOCK G (SE/PT) (0.236 acres). – Britin Bostick, Downtown & Historic Planner

Staff report presented by Bostick. The applicant requests an addition that creates a new or adds to an existing street facing facade for a medium priority structure. The existing structure was constructed in 1921 by Georgetown builder and lumber yard owner C. S. Griffith, competitor to the well-known C. S. Belford. The house was built for local businessman T. E. Stone, who had also owned the original house immediately to the north. It is 1,944 square feet, including the covered front porch. The one-story house has Craftsman features, including low-pitched gable roofs, unenclosed eave overhangs, a front porch with brick columns that extend to the ground, multi-pane upper sash windows, and triangular knee braces under the deep eave overhangs at the gable ends. At the January 23, 2020 HARC meeting, the commissioners provided a conceptual review to the applicant and gave feedback on the proposed design for three specific aspects of the project, which were: Mass, Scale (Design Guidelines 14.12, 14.13 and 14.16), and Design and Materials (Design Guideline 14.13).

Alternate Commissioner Mitchell asked if this project complies with both height and massing requirements. Bostick explained that it does.

Chair Parr opened and closed the Public Hearing as no one signed up to speak.

**Motion to approve Item B (2019-70-COA) as submitted by the applicant by Commissioner Nunn. Second by Commissioner Browner.**

**Amended motion to approve Item B (2019-70-COA) with the condition that the applicant re-use original materials if feasible, by Commissioner Nunn. Second by Commissioner Browner. Approved (7-0)**

- C. **Public Hearing and Possible Action** on a request for a **Certificate of Appropriateness** for an addition to a street-facing façade at the property located at 405 E. 10th Street, bearing the legal description of Glasscock Addition, BLOCK 27, Lot 5-6(E/PTS), ACRES 0.18. – Britin Bostick, Downtown and Historic Planner

Staff report presented by Bostick. The applicant is requesting HARC approval for addition to an existing non-historic detached garage located to the rear of the contributing structure, and to connect it via a covered walkway to the rear of the primary structure. The subject property currently has a detached single-car garage to the rear of the main (contributing) structure, which was constructed in 2005. The applicant is requesting to add height to the garage structure for an attic storage space as well as a ground-floor addition for a workshop extension. The street-facing façade is proposed to maintain the slope of the existing roof, with an upper window to match the proposed new windows of the main structure and an overhang above the garage door with the same asphalt shingle roofing to link to the covered walkway and the same siding and trim as the existing. The main structure is approximately 17' in height at the roof ridge, and the addition to the garage structure would be 2'-8" taller. The applicant is also replacing non-historic, non-original windows and front porch decking, neither of which require a Certificate of Appropriateness.

Chair Parr opened and closed the Public Hearing as no one signed up to speak.

**Motion to approve Item C (2020-6-COA) as presented by Commissioner Morales. Second by Commissioner Johnston. Approved (7-0).**

- D. Consideration and possible action to appoint a new Historic and Architectural Review Commission Vice-Chair.

**Motion by Commissioner Browner to nominate Commissioner Morales for the Vice-Chair role. Second by Alternate Commissioner Mitchell. Approved (7-0)**

- E. Consideration and possible action to appoint a new Historic and Architectural Review Commission Secretary.

**Motion by Commissioner Morales to nominate Commissioner Asendorf-Hyde for the Secretary role. Second by Alternate Commissioner Mitchell. Approved (7-0).**

- F. Consideration and possible action to appoint a new member to the Historic and Architectural Review Demolition Subcommittee.

**Motion by Commissioner Browner to nominate Commissioner Johnston as a new member for the HARC Demolition Subcommittee. Second by Commissioner Morales. Motion by Commissioner Morales to nominate Commissioner Parr to remain on the HARC Demolition Subcommittee. Motion by Commissioner Morales to nominate Alternate Commissioner**

**McCabe as an Alternate for the HARC Demolition Subcommittee. Second by Commissioner Browner. Approved (7-0).**

G. Updates, Commissioner questions, and comments. - Sofia Nelson, Planning Director

**Commissioner Morales shared that an article was written about the Commission and shared with the Commission.**

**Bostick explained the new Commissioner materials provided to the Commissioners.**

**Chair Parr asked about the cancellation/shutdown process due to recent health concerns.**

**Bostick explained that the Commission will be notified and the cancellation will be publicly posted.**

**Chair Parr also encouraged Commissioners to let staff know of training opportunities.**

### **Adjournment**

**Motion to adjourn by Commissioner Nunn. Second by Commissioner Parr.**

**Meeting adjourned at 6:46pm**

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Approved, Amanda Parr, Chair

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Attest, Terri Asendorf-Hyde, Secretary

City of Georgetown, Texas  
Historic and Architectural Review  
March 26, 2020

**SUBJECT:**

**Public Hearing** and **Possible Action** on a Request for a **Certificate of Appropriateness** for an addition that creates a new, or adds to an existing street facing façade; the removal of an awning or canopy; and the addition of an awning or canopy on a high priority structure at the property located at 805 S. Main Street, bearing the legal description Georgetown City Of, BLOCK 52, Lot 3(N/PT), ACRES 0.0548. – Britin Bostick, Downtown and Historic Planner

**ITEM SUMMARY:**

The applicant is proposing to remove the existing fabric awnings over upper floor windows and ground floor storefront, to install a new flat canopy similar to the historic canopy over the storefront, to bring the transom windows forward to the face of the building in their original location and configuration, and to replace the existing non-historic storefront with a new storefront in the current location.

**FINANCIAL IMPACT:**

N/A

**SUBMITTED BY:**

Britin Bostick, Downtown & Historic Planner

**ATTACHMENTS:**

<b>Description</b>		<b>Type</b>
☐	Staff Report	Cover Memo
☐	Exhibit 1 - Location Map	Exhibit
☐	Exhibit 2 - Letter of Intent	Exhibit
☐	Exhibit 3 - Plans & Specifications	Exhibit
☐	Exhibit 4 - Historic Resource Survey	Exhibit
☐	Exhibit 5 - Historic & Current Photos	Exhibit
☐	Staff Presentation	Presentation

# Planning Department Staff Report

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## Historic and Architectural Review Commission

Meeting Date: *March 26, 2019*

File Number: *2020-9-COA*

### AGENDA ITEM DESCRIPTION

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Public Hearing and Possible Action on a Request for a Certificate of Appropriateness for an addition that creates a new, or adds to an existing street facing façade; the removal of an awning or canopy; and the addition of an awning or canopy on a high priority structure at the property located at 805 S. Main Street, bearing the legal description Georgetown City Of, BLOCK 52, Lot 3(N/PT), ACRES 0.0548.

### AGENDA ITEM DETAILS

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Project Name: *Razmataz Storefront and Awning*  
Applicant: *Optima Pools (Robert Reavey)*  
Property Owner: *805 South Main Street LLC*  
Property Address: *805 S. Main Street*  
Legal Description: *Georgetown City Of, BLOCK 52, Lot 3(N/PT), ACRES 0.0548*  
Historic Overlay: *Downtown Historic Overlay District*  
Case History: *N/A*

### HISTORIC CONTEXT

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Date of construction: *1925 (HRS)*  
Historic Resources Survey Level of Priority: *High*  
National Register Designation: *Williamson County Courthouse National Register Historic District*  
Texas Historical Commission Designation: *N/A*

### APPLICANT'S REQUEST

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HARC:

- ✓ Addition that creates a new, or adds to an existing street facing façade
- ✓ Removal of an awning or canopy
- ✓ Addition of an awning or canopy

HPO:

- ✓ Paint color change

### STAFF ANALYSIS

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#### *Property History*

The current structure is the second structure to be located on this property. The original structure was a wood frame, single-story structure that was constructed between 1889 and 1894, according to Sanborn Fire Insurance maps. In 1894 the building served as a confectionery and fruit shop, in 1900-1910 it was a

# Planning Department Staff Report

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## Historic and Architectural Review Commission

barber shop with an addition at the rear, and by 1916 it was a millinery with a larger shed addition to the rear.

Around 1925 a new, two-story structure was built. The Alcove, a café and confectionery that was popular with Southwestern students, was on the ground floor, and a beauty shop was upstairs, both owned and operated by the Reas. The historic façade is shown in the photo in the applicant's Letter of Intent. The building had a flat canopy with a transom window above at the face of the building, with a recessed entrance. It appears that some small modifications had been made to the storefront by the 1980s, and the storefront that exists today is a replacement of the original storefront, including the transom windows, with a storefront that is not compatible with the design and construction period of the building.

### *Applicant's Request*

The applicant is requesting approval to remove the existing fabric awnings over upper floor windows and ground floor storefront, to install a new flat canopy similar to the canopy in the historic photo, to bring the transom windows forward to the face of the building, and to replace the existing non-historic storefront with a new storefront.

The existing fabric awnings are similar to those seen on other buildings around the Square, and fabric awnings with wood frames have been attached to various buildings on the Square for more than 100 years to provide shade from the sun, protection from the rain or to serve as advertising space for signage. Photographs from the 1980's, including the 1984 Historic Resource Survey, show fabric awnings on the face of the building, even before the original storefront was replaced. The awning over the upper floor windows is now a single awning, but in the 1980s it was four separate awnings shading the four upper floor windows. Historic photos show fabric awnings are not original to the building, and that it did historically have a flat canopy with transom windows above (the windows are now obscured from street view by the fabric awning). The proposed removal of the fabric awnings and replacement with a flat canopy constructed of painted aluminum with tie rods is more consistent with the historic design of the building.

The applicant is also requesting approval to remove the existing non-historic storefront and replace it with a design that is more consistent with the historic storefront design. Although not a true replica, in part due to the current location of electric and water meter access and the slope of the sidewalk on the south end of the façade where there was once a built-out section, the proposed new storefront design would be more consistent with the design of the historic storefront and would retain entrances in similar locations and configuration. Photos with known dates show that the existing storefront was installed after 1984, and the design, trim and front door of the current storefront are not consistent with the period in which the building was constructed, nor do they contribute to its architectural significance. The proposed new storefront, including the installation of transom windows above the flat canopy in the same location and configuration as the historic design, provide a more consistent character with the historic structure.

# Planning Department Staff Report

## Historic and Architectural Review Commission

### APPLICABLE DESIGN GUIDELINES

The following guidelines are applicable to the proposed scope of work in accordance with the adopted Downtown and Old Town Design Guidelines:

GUIDELINES	FINDINGS
<b>CHAPTER 6 – DESIGN GUIDELINES FOR INDIVIDUAL BUILDING ELEMENTS</b>	
<p>6.3 If a storefront is altered, restoring it to the original design is preferred.</p> <ul style="list-style-type: none"><li>✓ If evidence of the original design is missing, use a simplified interpretation of similar storefronts. The storefront still should be designed to provide interest to pedestrians.</li><li>✓ Note that, in some cases, an original storefront may have been altered early in the history of the building, and may itself have taken on significance. Such alterations should be preserved.</li><li>✓ See also <i>Preservation Briefs #11: Rehabilitating Historic Storefronts</i>, published by the National Park Service.</li></ul>	<p><b>Complies</b></p> <p>The transom windows are proposed to be returned to the face of the building in the original configuration, while the entrance portion is proposed to be a simple storefront with the same entrance locations as previously. While a return to the original storefront configuration is preferred, the new storefront is proposed to remain in the same location as the current storefront to accommodate existing utility locations and access, as well as to accommodate the current sidewalk pavers and accessible slope up to the ground floor entrance. The existing storefront is not historic nor it is consistent with the building character, and it has not attained significance.</p>
<p>6.4 Alternative designs that are contemporary interpretations of traditional storefronts may be considered.</p> <ul style="list-style-type: none"><li>✓ Where the original is missing and no evidence of its character exists, a new design that uses the traditional elements may be considered.</li><li>✓ However, the new design should continue to convey the character of typical storefronts, including the transparent character of the display window.</li></ul>	<p><b>Complies</b></p> <p>The proposed new storefront is similar in character to the historic storefront, with the exception of the display area on the right side, which now has an electrical service panel and a City water meter directly adjacent. The proposed new storefront is a contemporary interpretation of the storefront visible in the historic photo and provides the transparent character of the display windows.</p>
<p>6.18 Maintain recessed entries.</p> <ul style="list-style-type: none"><li>✓ The repetition of recessed entries provides a rhythm of shadows along the street, which helps establish a sense of scale.</li><li>✓ These recessed entries were designed to provide protection from the weather and the repeated rhythm of these shaded areas along the street helps to identify business entrances.</li></ul>	<p><b>Complies</b></p> <p>The recessed entry is maintained, which includes the separate entrance to the second floor.</p>



# Planning Department Staff Report

## Historic and Architectural Review Commission

GUIDELINES	FINDINGS
<b>CHAPTER 6 – DESIGN GUIDELINES FOR INDIVIDUAL BUILDING ELEMENTS</b>	
<p>Typically, recessed entries were set back between three and five feet.</p> <ul style="list-style-type: none"> <li>✓ Restore the historic recessed entry if it has been altered.</li> <li>✓ Avoid doors that are flush with the sidewalk, especially those that swing outward.</li> </ul>	
<b>CHAPTER 7 – DESIGN GUIDELINES FOR ADAPTIVE RE-USE, ADDITIONS, &amp; ALTERATIONS</b>	
<p>7.1 Avoid alterations that would damage historic features.</p> <ul style="list-style-type: none"> <li>✓ Avoid alterations that would hinder the ability to interpret the design character of the original building.</li> <li>✓ Alterations that seek to imply an earlier period than that of the building are inappropriate.</li> </ul>	<p><b>Complies</b></p> <p>Proposed alterations do not damage historic features, nor do they hinder the ability to interpret the original design character, rather they return some of the character-defining features, albeit with a modern interpretation in the case of the new canopy.</p>
<p>7.2 Properties designated by the City as a High or Medium Priority Historic Structure should be preserved and their historic character retained.</p> <ul style="list-style-type: none"> <li>✓ Due to special circumstances, a structure's historic priority may change over time (because a reduced number of similar style structures in stable condition still exist within the district or city, or if unknown historic information becomes available that adds significance).</li> </ul>	<p><b>Complies</b></p> <p>Proposed alterations and additions do not diminish the designation as a high priority structure, rather they return some of the altered or removed architectural features more closely to their original form.</p>
<b>CHAPTER 10 – DESIGN GUIDELINES FOR AWNINGS &amp; CANOPIES</b>	
<p>10.2 A fixed metal canopy may be considered.</p> <ul style="list-style-type: none"> <li>✓ Appropriate supporting mechanisms are wall-mounted brackets, chains and posts.</li> <li>✓ Consider using a contemporary interpretation of those canopies seen historically.</li> </ul>	<p><b>Complies</b></p> <p>Proposed new metal canopy uses a cable and turnbuckle support mechanism with the same number of supports as the historic canopy and provides a similar appearance.</p>
<p>10.4 Mount an awning or canopy to accentuate character-defining features.</p> <ul style="list-style-type: none"> <li>✓ It should be mounted to highlight moldings that may be found above the storefront and should not hide character-defining features.</li> <li>✓ Its mounting should not damage significant features and historic details.</li> </ul>	<p><b>Complies</b></p> <p>Proposed new metal canopy is mounted to the building face in the same area as the historic canopy, with the supports mounted below a decorative brick band and not hiding character-defining features, including the transom windows.</p>

## CRITERIA FOR APPROVAL

# Planning Department Staff Report

## Historic and Architectural Review Commission

In accordance with Section 3.13.030 of the Unified Development Code, the HARC must consider the following criteria:

SECTION 3.13.030 CRITERIA	FINDINGS
1. The application is complete and the information contained within the application is correct and sufficient enough to allow adequate review and final action;	<b>Complies</b> The application was deemed complete by Staff.
2. Compliance with any design standards of this Code;	<b>Complies</b> Proposed project complies with UDC requirements.
3. Compliance with the Secretary of the Interior's Standards for the Treatment of Historic Properties to the most extent practicable;	<b>Complies</b> Proposed project complies with the SOI Standards, and the owner has worked with the Texas Main Street Program on the design of the façade rehabilitation.
4. Compliance with the adopted Downtown and Old Town Design Guidelines, as may be amended from time to time, specific to the applicable Historic Overlay District;	<b>Complies</b> Proposed project complies with applicable Guidelines.
5. The general historic, cultural, and architectural integrity of the building, structure or site is preserved;	<b>Complies</b> Proposed alterations to the non-historic storefront do not diminish the integrity of the building, and removal of the fabric awnings and replacement with a canopy more similar to the original with the transom window in the original location improves the architectural integrity.
6. New buildings or additions are designed to be compatible with surrounding properties in the applicable historic overlay district;	<b>Complies</b> Proposed addition of canopy and replacement of storefront is compatible with surrounding properties in the Downtown Historic Overlay District.
7. The overall character of the applicable historic overlay district is protected; and	<b>Complies</b> Proposed project does not diminish the character of the Downtown Historic Overlay District.
8. The Master Sign Plan is in keeping with the adopted Downtown and Old Town Design Guidelines and character of the historic overlay district.	<b>Not Applicable</b> Signage is not proposed as part of this project.

# Planning Department Staff Report

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## Historic and Architectural Review Commission

### STAFF RECOMMENDATION

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Based on the findings listed above, staff recommends *APPROVAL* of the request for the reasons stated above.

### PUBLIC COMMENTS

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As of the date of this report, staff has received *no* written comments.

### ATTACHMENTS

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Exhibit 1 – Letter of Intent  
Exhibit 2 – Plans and Specifications  
Exhibit 3 – Public Comments  
Exhibit 4 – Historic Resource Survey  
Exhibit 5 – Historic & Current Photos

### SUBMITTED BY

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*Britin Bostick, Downtown & Historic Planner*

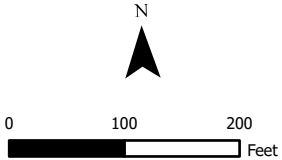


**LOCATION**

**2020-9-COA**

**Exhibit #1**

-  Site
-  Parcels



February 18, 2020

## Letter of Intent

**Re: Razmataz (Storefront and Awning Upgrade)**  
**805 S Main Street**  
**Georgetown, Texas 78626**

The overall intent of this project is to renovate the existing storefront, in an effort, to convert façade to resemble its original state. (see attached photo named "Historic Facade") There are a few obstacles (costs, ADA, utilities) to bring it ALL the way back to original façade. Argument, face is old and outdated, rotting away. So, to remodel the storefront, we'd like to bring back to, as much as practical, the original face.

First, we would like to remove the canvas awning above the storefront and replace with an appropriate flat awning with turnbuckle supports per the photo and existing adjacent building. (see attached photo named "Historic Facade") In addition, we would like to remove the upper awning above the second level windows in their entirety. No new awning for upper windows, but rather patch and repair any damaged wood and re-paint. (see attached photo named "Existing Awning")

Next, we'd like to bring the upper transom windows out to the face of the façade and divide them into equal 7 panels. Again, similar to the attached photo (see attached photo named "Historic Facade")

Last, we will upgrade the storefront system in its current plan location. The storefront is set back from the façade approximately 3'-5' similarly to the Historic Photo. We cannot angle windows into the vestibule, we have existing ADA entry access route issues and have existing electrical meters in that location to prevent changing that portion of the storefront. The storefront, wood is rotting and need to be removed and replaced with a similar non ornamental design. The storefront will be re-painted.

Page 1 of 5

112 Rancho Trail Georgetown, Texas 78728  
P: 303.594.5959

RH20-209 Razmataz LOI.doc

Page 15 of 89

Note: With the upper storefront window out to the face, and the lower storefront set back, will have an interior soffit ledge that the awning will now extend from. See Wall /awning section.

Scope of Work:

Demolition:

- Remove upper and lower awning.
- Remove lower storefront and doors
- Patch and repair upper window trim or replace as needed.

Renovation:

- Add new structural beam across opening to support new relocated upper storefront windows.
- Provide new framed storefront system with new wood non ornamental trim.
- Add new back lit signage with decal signage on windows per Downtown Georgetown signage code requirements.
- Paint all new wood trim.
- Provide all new doors and windows.

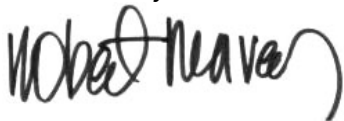
Additions:

- Provide new awning per attached drawing

Attachments: Photos (historic façade, existing awnings, door vestibule and electrical meter)

Sincerely,

Rob Reavey



RHadius p.c.

[rreavey@rhadiuspc.com](mailto:rreavey@rhadiuspc.com)

303.594.5959

Principal, LEED AP

## Historic Facade



Page 3 of 5  
112 Rancho Trail Georgetown, Texas 78728  
P: 303.594.5959

RH20-209 Razmataz LOI.doc



## Existing Awnings





Existing Vestibule / Electrical meters







**TEXAS HISTORICAL COMMISSION**

**Properties Documented with the THC Form in 2007 and/or 1984 That Have Not Changed Preservation Priority**

Address: 805 Main St 2016 Survey ID: 124968  
 City: Georgetown 2016 Preservation Priority: High  
 County: Williamson Local District: Downtown District

**SECTION 1**

**Basic Inventory Information**

**Property Type:** ☒ Building ☐ Structure ☐ Object ☐ Site ☐ District WCAD ID: R041455

Construction Date: 1925 ☐ Actual ☒ Estimated Source: 2007 survey

Latitude: 30.636301 Longitude -97.676851

Current/Historic Name Razmataz salon/None

**Stylistic Influence(s)\*** ☒ None Selected

<input type="checkbox"/> Log traditional	<input type="checkbox"/> Shingle	<input type="checkbox"/> Gothic Revival	<input type="checkbox"/> Pueblo Revival	<input type="checkbox"/> International
<input type="checkbox"/> Greek Revival	<input type="checkbox"/> Romanesque Revival	<input type="checkbox"/> Tudor Revival	<input type="checkbox"/> Spanish Colonial	<input type="checkbox"/> Post-war Modern
<input type="checkbox"/> Italianate	<input type="checkbox"/> Folk Victorian	<input type="checkbox"/> Neo-Classical	<input type="checkbox"/> Prairie	<input type="checkbox"/> Ranch
<input type="checkbox"/> Second Empire	<input type="checkbox"/> Colonial Revival	<input type="checkbox"/> Beaux Arts	<input type="checkbox"/> Craftsman	<input type="checkbox"/> Commercial Style
<input type="checkbox"/> Eastlake	<input type="checkbox"/> Renaissance Revival	<input type="checkbox"/> Mission	<input type="checkbox"/> Art Deco	<input type="checkbox"/> No Style
<input type="checkbox"/> Queen Anne	<input type="checkbox"/> Exotic Revival	<input type="checkbox"/> Monterey	<input type="checkbox"/> Moderne	<input type="checkbox"/> Other:

**Plan\***

☐ L-plan ☐ T-plan ☐ Modified L-plan ☐ 2-room ☐ Open ☐ Center Passage ☐ Bungalow ☐ Shotgun  
☐ Irregular ☐ Four Square ☒ Rectangular ☐ None Selected ☐ Other:

**Priority:** 2016 Survey ID: 124968 ☒ High ☐ Medium ☐ Low

**Explain:** Excellent and/or rare example of its type or style, and/or has significant associations; retains sufficient integrity

2007 Survey ID: 698 ☒ High ☐ Medium ☐ Low

1984 Survey ID: 464 ☒ High ☐ Medium ☐ Low

**General Notes:** (Notes from 2007 Survey: new stained glass in doors; tinted windows)

Recorded by: CMEC

Date Recorded 3/2/2016

\*Photographs and Preservation Priority have been updated in 2016, and the year built date has also been reviewed. However, the plan and style data are sourced directly from the 2007 survey.



Photo direction: East





E. side of Main St. between 8<sup>th</sup> + 9<sup>th</sup> c. 1980s

7





E. side of Main St. between 8<sup>th</sup> + 9<sup>th</sup> c. 1980s



809

MAIN



DEC 7 1970

11





Razmataz  
Salon

805

Razmataz Salon is  
Located Upstairs During Construction  
Walk In's Welcome  
512.864.9829

Razmataz  
SALON  
www.razmatazsalon.com  
512.864.9829  
ANOTHER QUALITY JOB BEING DONE BY  
KL TURNER  
ELECTRIC INC.  
REALLY-GOOD-BOYS-DO-IT-MUCH





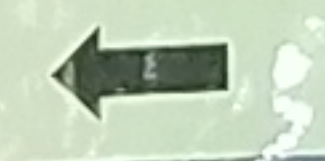
805

**Razmataz Salon Is**  
**Located Upstairs During Construction**  
**Walk In's Welcome**  
512.864.9829

Razmataz Salon  
has started  
construction.  
Please use the door to  
your left to access.



Razmataz Salon  
is Now Located  
Upstairs.  
Please Use  
Other Door.



Razmataz Salon  
has started  
construction.  
Please use the door to  
your left to access.



*Razmataz*  
SALON  
www.razmatazsalon.com  
512.864.9829

ANOTHER QUALITY JOB BEING DONE BY  
**KL TURNER**  
**ELECTRIC INC.**  
TECL# 549 049 5207 MLIC#





# Razmataz Storefront and Awning 805 S. Main St. 2020-9-COA

**Historic & Architectural Review Commission**  
March 26, 2020

# Item Under Consideration

## **2020-9-COA – Razmataz Storefront & Awning**

- Public Hearing and Possible Action on a Request for a Certificate of Appropriateness for an addition that creates a new, or adds to an existing street facing façade; the removal of an awning or canopy; and the addition of an awning or canopy on a high priority structure at the property located at 805 S. Main Street, bearing the legal description Georgetown City Of, BLOCK 52, Lot 3(N/PT), ACRES 0.0548.

# Item Under Consideration

## HARC:

- Addition that creates a new, or adds to an existing street facing façade
- Removal of an awning or canopy
- Addition of an awning or canopy

## HPO:

- Paint color change



# Item Under Consideration



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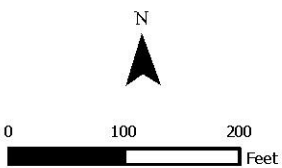




**LOCATION**

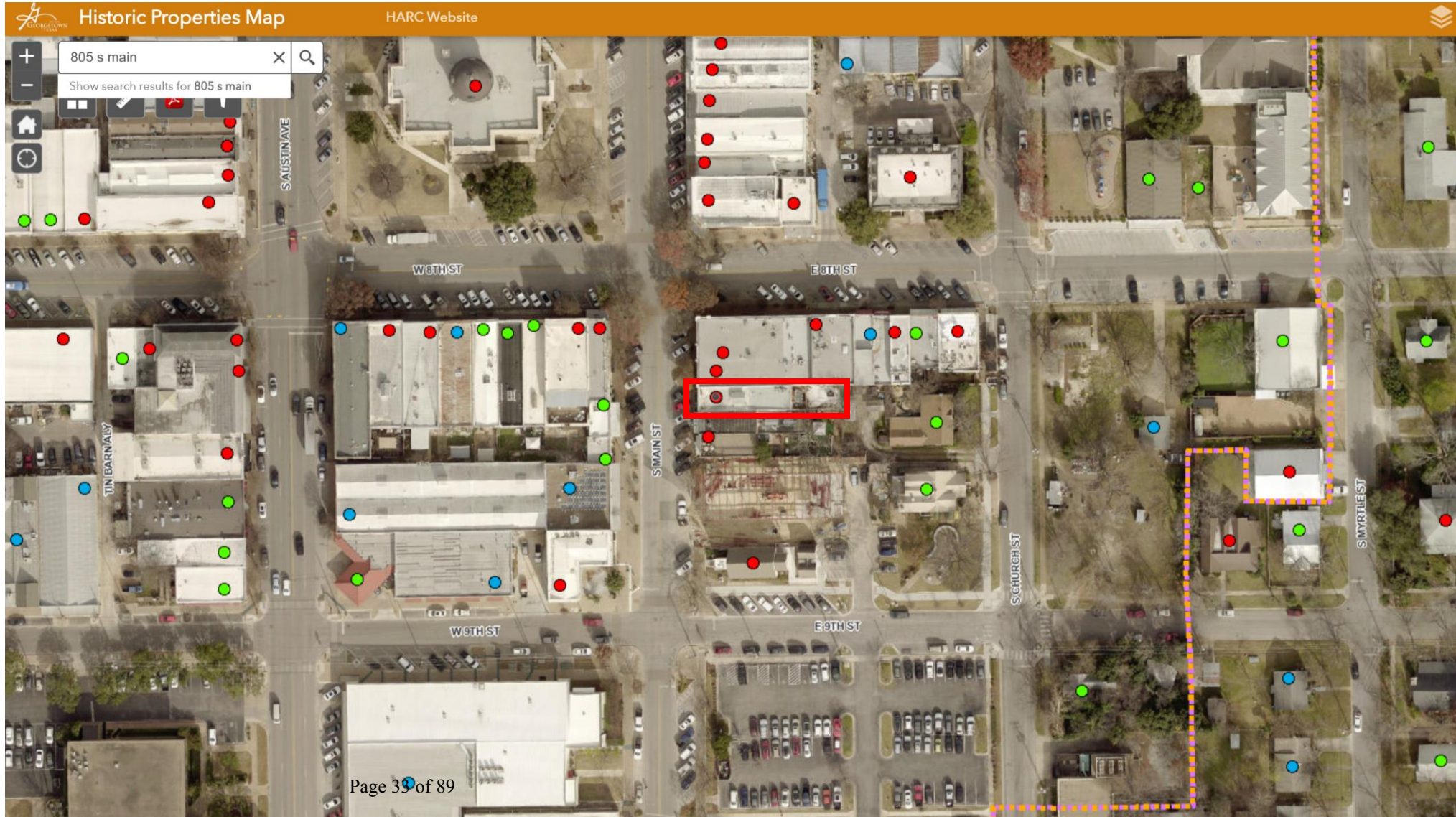
2020-9-COA  
Exhibit #1

-  Site
-  Parcels



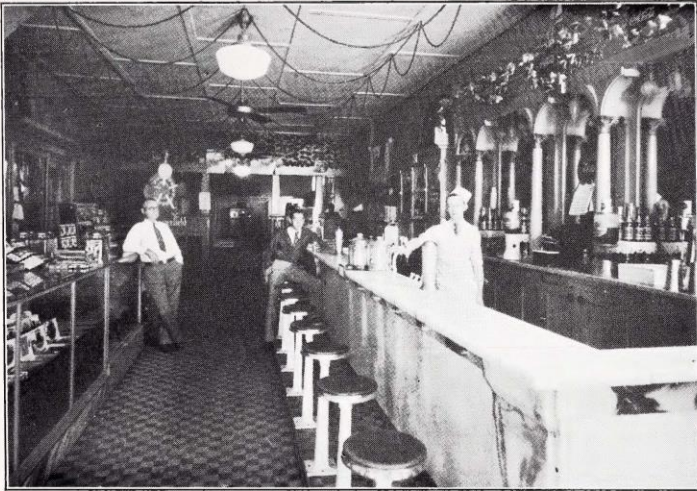


# Current Context





# Historic Photos – The Alcove & White Auto Store



## WAITING FOR YOU»»»»

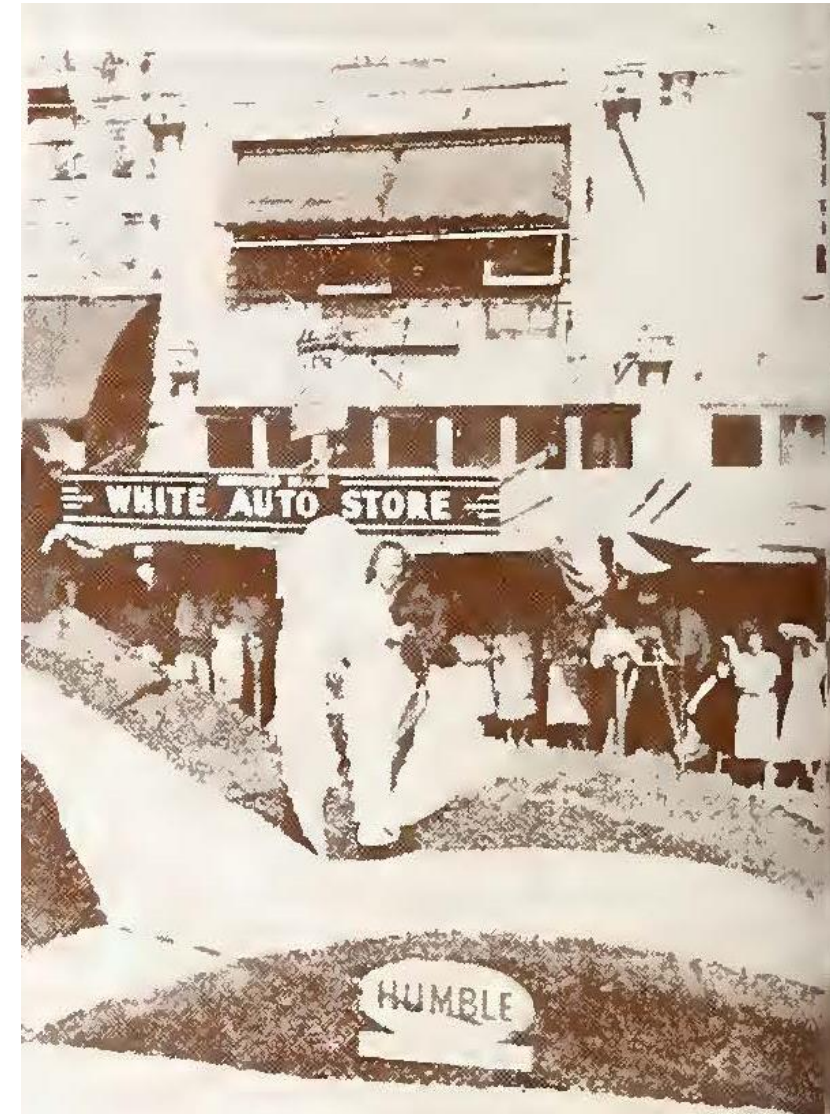
YES—waiting to serve you wholesome lunches » » » » tasty sandwiches and those thirst quenching drinks that have made The Alcove famous with students of S. U. Even if you have finished Southwestern you'll be coming back and we'll be waiting.

The **ALCOVE**  
CONFECTIONERY

AND up-stairs over The Alcove Confectionery you will find the Alcove Beauty Shoppe. Here with the finest equipment and the best operators obtainable S. U.'s Co-eds keep that appearance that makes their companionship sought on and off the campus.

The **ALCOVE**  
BEAUTY SHOPPE

THE REA'S





# Historic Photos – c. 1980



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# Historic Photos - 1984





# Current Photos





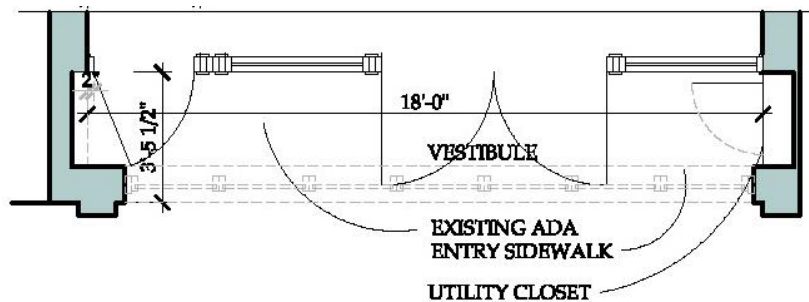
# Current Photos



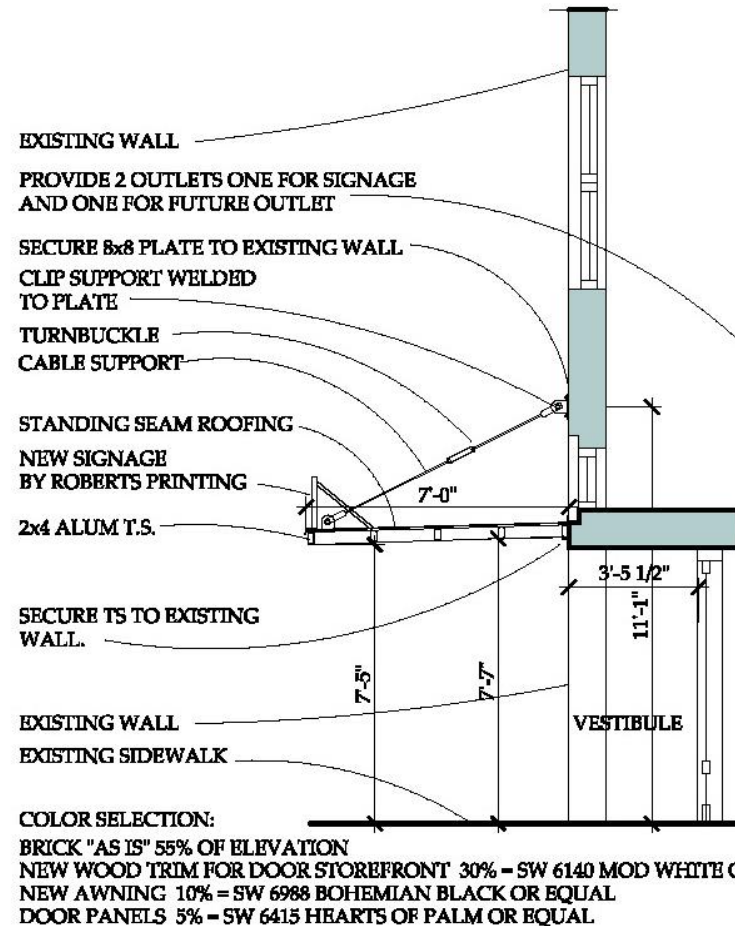


# Proposed Design

\*Note: Signage is not proposed as part of this request



**PARTIAL FLOOR PLAN**



**AWNING SECTION**



**FACADE RENDERING**

# Approval Criteria – UDC Section 3.13.030

Criteria	Staff's Finding
1. The application is complete and the information contained within the application is correct and sufficient enough to allow adequate review and final action;	<b>Complies</b>
2. Compliance with any design standards of this Code;	<b>Complies</b>
3. Compliance with the Secretary of the Interior's Standards for the Treatment of Historic Properties to the most extent practicable;	<b>Complies</b>
4. Compliance with the adopted Downtown and Old Town Design Guidelines, as may be amended from time to time, specific to the applicable Historic Overlay District;	<b>Complies</b>
5. The general historic, cultural, and architectural integrity of the building, structure or site is preserved;	<b>Complies</b>
6. New buildings or additions are designed to be compatible with surrounding properties in the applicable historic overlay district;	<b>Complies</b>
7. The overall character of the applicable historic overlay district is protected; and	<b>Complies</b>
8. The Master Sign Plan is in keeping with the adopted Downtown and Old Town Design Guidelines and character of the historic overlay district.	<b>N/A</b>

# Public Notification

- One (1) sign posted
- No public comments

# Recommendation

Staff recommends approval of the request.



# HARC Motion

- Approve (as presented by the applicant)
- Deny (as presented by the applicant)
- Approve with conditions
- Postpone

City of Georgetown, Texas  
Historic and Architectural Review  
March 26, 2020

**SUBJECT:**

**Public Hearing** and **Possible Action** on a Request for a **Certificate of Appropriateness** for a 19'-6" Setback Encroachment into the required 25' front setback for the construction of a carport addition 5'-6" from the front property line, and a 4'-8" Setback Encroachment into the required 6' side setback for the construction of a carport addition 1'-4" from the side (north) property line at the property located at 1604 Vine Street, bearing the legal description NOLEN ADDITION, BLOCK 2, LOT 5-6(PTS), ACRES 0.160. (2020-8-COA) – Britin Bostick, Downtown and Historic Planner

**ITEM SUMMARY:**

The Applicant is requesting HARC approval for a 19'-16" setback encroachment into the required front setback for the construction of a carport addition 5'-6" from the front property line, and a 4'-8" setback encroachment into the required side setback for the construction of a carport addition 1'-4" from the north side property line. The proposed new carport is to replace the existing carport.

**FINANCIAL IMPACT:**

N/A

**SUBMITTED BY:**

Britin Bostick, Downtown & Historic Planner

**ATTACHMENTS:**

Description		Type
<input type="checkbox"/>	Staff Report	Cover Memo
<input type="checkbox"/>	Exhibit 1 - Location Map	Exhibit
<input type="checkbox"/>	Exhibit 2 - Letter of Intent	Exhibit
<input type="checkbox"/>	Exhibit 3 - Plans & Specifications	Exhibit
<input type="checkbox"/>	Exhibit 4 - Historic Resource Survey	Exhibit
<input type="checkbox"/>	Exhibit 5 - Public Comments	Exhibit
<input type="checkbox"/>	Staff Presentation	Presentation

# Planning Department Staff Report

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## Historic and Architectural Review Commission

Meeting Date: *Thursday, March 26, 2020*

File Number: *2020-8-COA*

### AGENDA ITEM DESCRIPTION

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Public Hearing and Possible Action on a Request for a Certificate of Appropriateness for a 19'-6" Setback Encroachment into the required 25' front setback for the construction of a carport addition 5'-6" from the front property line, and a 4'-8" Setback Encroachment into the required 6' side setback for the construction of a carport addition 1'-4" from the side (north) property line at the property located at 1604 Vine Street, bearing the legal description NOLEN ADDITION, BLOCK 2, LOT 5-6(PTS), ACRES 0.160.

### AGENDA ITEM DETAILS

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Project Name: *1604 Vine Carport Addition*  
Applicant: *Optima Pools (Robert Reavey)*  
Property Owner: *Angela Harris*  
Property Address: *1604 Vine Street*  
**Legal Description:** *Nolen Addition, BLOCK 2, LOTS 5-6 (PTS), ACRES 0.17*  
Historic Overlay: *Old Town Historic Overlay District*  
Case History: *HPO approved exterior alterations in 2019-81-COA*

### HISTORIC CONTEXT

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Date of construction: *1960 (HRS), actual construction date 1952 (public records)*  
Historic Resources Survey Level of Priority: *Low*  
National Register Designation: *N/A*  
Texas Historical Commission Designation: *N/A*

### APPLICANT'S REQUEST

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HARC:

- ✓ Setback modification

HPO:

- ✓ Addition that creates a new, or adds to an existing street facing façade

### STAFF ANALYSIS

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The applicant is proposing the addition of a 21'-4" deep, 22'-6" wide carport to the front of the low priority residential structure to replace an existing carport which has some deterioration causing a need for its removal. The proposed new carport would encroach 19'-6" into the required 25' front setback and result in a 5'-6" front setback, as well as encroach 4'-8" into the required 6' side (north) setback and result in a 1'-4" side setback if approved. Along this portion of Vine Street and in this area the residential structures are low and medium priority, and they vary in distance to front and side property lines. This block is at the southern boundary of the Old Town Historic Overlay District, near the southeast corner of the district.

# Planning Department Staff Report

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## Historic and Architectural Review Commission

Part of the evaluation criteria in UDC 3.13.030.D for a setback modification is whether the proposed setback is compatible and in context within the block in which the subject property is located, and whether the proposed addition or new structure will be set closer to the street than other units within the block. In this block of Vine Street, the abutting property to the north has a carport on its front façade, as does the property across the street, diagonally north. The front setbacks for these properties are closer to the street than other units within the block. The two adjacent properties are depicted below.



*1604 Vine St (Subject Property)*



*1602 Vine St (Abutting Property to North)*

The proposal is for a carport replacement in the same footprint as the existing. The subject residential structure is currently set back 27' from the front property line. With the carport addition, the setback would be 5'-6" from the front property line. The right of way along Vine Street is 50' wide and there is approximately 5' between the street curb and the front property line. In total, the existing residential structure is approximately 36' from the street curb. If the carport addition was approved, the front of the carport would be located approximately 10'-6" from the street curb. The side setback encroachment is adjacent to a driveway for the property to the north, and the proposed new carport structure would leave approximately 15' between the residential structures, which is slightly more than what the spacing would be were both of the 6' side setbacks between the structures observed.

The proposed design of the carport, which would be able to accommodate two vehicles, is of a style, scale and materials that are compatible with the structure, which is having its asbestos shingle siding and windows replaced, as well as a gable added over the porch. The proposed carport addition would compliment the roof pitch and gable feature, as well as building façade materials.

# Planning Department Staff Report

## Historic and Architectural Review Commission

### APPLICABLE DESIGN GUIDELINES

The following guidelines are applicable to the proposed scope of work in accordance with the adopted Downtown and Old Town Design Guidelines:

GUIDELINES	FINDINGS
<b>CHAPTER 14 – DESIGN GUIDELINES FOR INFILL CONSTRUCTION AND ADDITIONS IN THE OLD TOWN OVERLAY DISTRICT</b>	
14.11 Avoid alterations that would damage historic features. <ul style="list-style-type: none"><li>✓ Avoid alterations that would hinder the ability to interpret the original design character of the original building or period of significance.</li><li>✓ Alterations that seek to imply an earlier period than that of the building are inappropriate.</li></ul>	<b>Complies</b> The existing carport is an addition to the original structure and is not historic, nor is it constructed of historic materials. The replacement of the existing carport would remove a metal frame, roof shingles and some wood/plywood trim, but not alter the design character of the original structure.
14.12 An addition shall be compatible in scale, materials, and character with the main building. <ul style="list-style-type: none"><li>✓ An addition shall relate to the building in mass, scale and form. It should be designed to remain subordinate to the main structure.</li><li>✓ An addition to the front of a building is usually inappropriate.</li></ul>	<b>Complies</b> In this case the proposed carport addition is to replace an existing carport that, while not original to the main structure, has been part of the structure and the neighborhood context, to the extent that the residence immediately to the north has a similar carport addition, as does the structure at the northeast corner of Vine and 16 <sup>th</sup> Streets.
14.13 Design a new addition such that the original character can be clearly seen. <ul style="list-style-type: none"><li>✓ In this way, a viewer can understand the history of changes that have occurred to the building.</li><li>✓ An addition should be distinguishable from the original building, even in subtle ways, such that the character of the original can be interpreted.</li><li>✓ Creating a jog in the foundation between the original and new structures may help to define an addition.</li><li>✓ Even applying new trim board at the connection point between the addition and the original structure can help define the addition.</li><li>✓ See also Preservation Briefs #14: New Exterior Additions to Historic Buildings, published by the National Park Service.</li></ul>	<b>Complies</b> The proposed carport is meant to replace an existing carport that can be understood as a later, functional addition to the original structure, which had minimal construction and decoration. The proposed new carport can also be understood as a later addition due to its relationship to the original structure, position on the site, materials and design. It does not obscure the main structure.

# Planning Department Staff Report

## Historic and Architectural Review Commission

GUIDELINES	FINDINGS
<p>14.14 Place an addition at the rear of a building or set it back from the front to minimize the visual impacts.</p> <ul style="list-style-type: none"><li>• Setting an addition back from any primary, character-defining façade will allow the original proportions and character to remain prominent.</li><li>✓ Locating an addition at the front of a structure is inappropriate, and an addition should be to the rear of the building, when feasible.</li></ul>	<p><b>Partially Complies</b></p> <p>Both the existing and proposed carports have a visual impact in their location at the front and within the front and side setbacks. However, setback modifications would also be needed for alternate solutions, because a carport in the rear of the building would not be feasible in this location. Although it may be feasible to expand the garage to the north, which would eliminate the need for a modification to the front yard setback and allow for better visibility of the front of the building, a side setback encroachment would still be required, and it would place a solid, more permanent structure closer to the property line.</p>
<p>14.16 An addition shall be compatible in scale, materials, character, and architectural style with the main building.</p> <ul style="list-style-type: none"><li>✓ An addition shall relate to the historic building in mass, scale, and form. It should be designed to remain subordinate to the main structure.</li><li>✓ While a smaller addition is visually preferable, if a residential addition would be significantly larger than the original building, one option is to separate it from the primary building, when feasible, and then link it with a smaller connecting structure.</li><li>✓ An addition should be simple in design to prevent it from competing with the primary façade.</li><li>✓ Consider adding dormers to create second story spaces before changing the scale of the building by adding a full second floor.</li></ul>	<p><b>Complies</b></p> <p>The addition will be compatible in scale, materials, and character, and architectural style with the main building.</p>
<p>14.18 The roof form of a new addition shall be in character with that of the primary building.</p> <ul style="list-style-type: none"><li>✓ Typically, gable, hip, and shed roofs are appropriate for residential additions. Flat roofs may be more appropriate for commercial buildings.</li><li>✓ Repeat existing roof slopes and materials.</li></ul>	<p><b>Complies</b></p> <p>The roof of the proposed addition is to be a pitched roof with a slope compatible with the pitched roof of the primary building and of the same roofing materials.</p>

# Planning Department Staff Report

## Historic and Architectural Review Commission

GUIDELINES	FINDINGS
✓ If the roof of the primary building is symmetrically proportioned, the roof of the addition should be similar.	

### CRITERIA FOR APPROVAL

In accordance with Section 3.13.030 of the Unified Development Code, the HARC must consider the following criteria:

SECTION 3.13.030 CRITERIA	FINDINGS
1. The application is complete and the information contained within the application is correct and sufficient enough to allow adequate review and final action;	<b>Complies</b> The application was deemed complete by Staff.
2. Compliance with any design standards of this Code;	<b>Partially Complies</b> Proposed carport addition encroaches into required side and front setback and requires setback modifications.
3. Compliance with the Secretary of the Interior's Standards for the Treatment of Historic Properties to the most extent practicable;	<b>Complies</b> Standards 9 and 10 apply specifically to new additions: (9) "New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment." (10) "New additions and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired."
4. Compliance with the adopted Downtown and Old Town Design Guidelines, as may be amended from time to time, specific to the applicable Historic Overlay District;	<b>Partially Complies</b> Proposed addition complies with applicable Guidelines, except partially complies with Guideline 14.14, "Place an addition at the rear of a building or set it back from the front to minimize the visual impacts."

## Planning Department Staff Report

### Historic and Architectural Review Commission

SECTION 3.13.030 CRITERIA	FINDINGS
5. The general historic, cultural, and architectural integrity of the building, structure or site is preserved;	<b>Complies</b> The proposed carport replacement maintains the existing relationship of the main structure to the carport addition.
6. New buildings or additions are designed to be compatible with surrounding properties in the applicable historic overlay district;	<b>Complies</b> Some surrounding properties have carports, including some similarly located on the front of historic structures and in setbacks.
7. The overall character of the applicable historic overlay district is protected; and	<b>Complies</b> Proposed addition does not diminish the character of the Downtown Historic Overlay District.
8. The Master Sign Plan is in keeping with the adopted Downtown and Old Town Design Guidelines and character of the historic overlay district.	<b>Not Applicable</b> No signage proposed.

In addition to the approval criteria listed above, HARC must also consider the following criteria for a request for COA for a setback modification:

SECTION 3.13.030.D.2 CRITERIA	FINDINGS
a. Whether the proposed setback encroachment is solely a matter of convenience;	<b>Partially Complies</b> Addition of a carport is for the convenience of covered parking for the owner's vehicles. The garage depicted on the plans could be expanded into the side setback, however, a carport has existed in this location for many years and there are a number of carports in other front yards within the block.
b. Whether there is adequate room on the site to allow the proposed addition or new structure without encroaching into the setback;	<b>Complies</b> Addition of a carport, or a garage expansion, would require encroachment into at least one setback. The proposed carport requires encroachment into the side (north) setback and the front setback.
c. Whether the proposed setback is compatible and in context within the block in which the subject property is located;	<b>Complies</b> The property to the north and the property diagonally north have front yard carports at a similar setback. With the other setbacks on



# Planning Department Staff Report

## Historic and Architectural Review Commission

SECTION 3.13.030.D.2 CRITERIA	FINDINGS
	the block varying, the proposed setback is compatible and in context within the block.
d. Whether the proposed addition or new structure will be set closer to the street than other units within the block;	<b>Complies</b> The proposed addition will be setback approximately in line with the abutting structure to the north and the structure across the street and to the north. Other structures within the block are set back further from the street curb.
e. Whether the proposed structure is replacing a structure removed within the past year;	<b>Complies</b> Proposed carport is to replace an existing carport that has some deterioration.
f. Whether the proposed structure will replace a structure that previously existed with relatively the same footprint and encroachment as proposed;	<b>Complies</b> Proposed carport is to replace a structure that has approximately the same footprint, size and encroachment into the front and side setbacks.
g. If the proposed encroachment is for a structure that is replacing another structure, whether the proposed structure is significantly larger than the original;	<b>Complies</b> The proposed replacement structure is not larger than the original, although it does have a slightly steeper roof pitch and will be slightly taller than the existing carport.
h. If the proposed encroachment is for an addition, the scale of the addition compared to the original house;	<b>Complies</b> The scale of the proposed addition (a 2-car carport) is not oversized and is appropriate to the scale of the residential structure.
i. The size of the proposed structure compared to similar structures within the same block;	<b>Complies</b> Proposed structure is consistent with the size of other structures (2-car carport/garage) within the block.
j. Whether the proposed addition or new structure will negatively impact adjoining properties, including limiting their ability to maintain existing buildings;	<b>Complies</b> Proposed addition does not negatively impact adjoining properties.
k. Whether there is adequate space for maintenance of the proposed addition or new structure and/or any adjacent structures; and/or	<b>Complies</b> Proposed carport addition does not restrict room for maintenance.
l. Whether the encroachment would enable existing large trees or significant features of the lot to be preserved.	<b>Not Applicable</b> Large trees or significant features not proposed to be removed for addition.

# Planning Department Staff Report

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## Historic and Architectural Review Commission

### STAFF RECOMMENDATION

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Based on the findings listed above, staff recommends *APPROVAL* of the request for setback modifications to the front and side (north) setbacks for the construction of a carport addition. The carport is replacing an existing carport, is designed to be compatible with the scale and character of the primary building, complies with most applicable guidelines and review criteria, and is not out of character with surrounding properties.

### PUBLIC COMMENTS

---

As of the publication date of this report, staff has received two (2) written comments in favor and zero (0) in opposition of the request.

### ATTACHMENTS

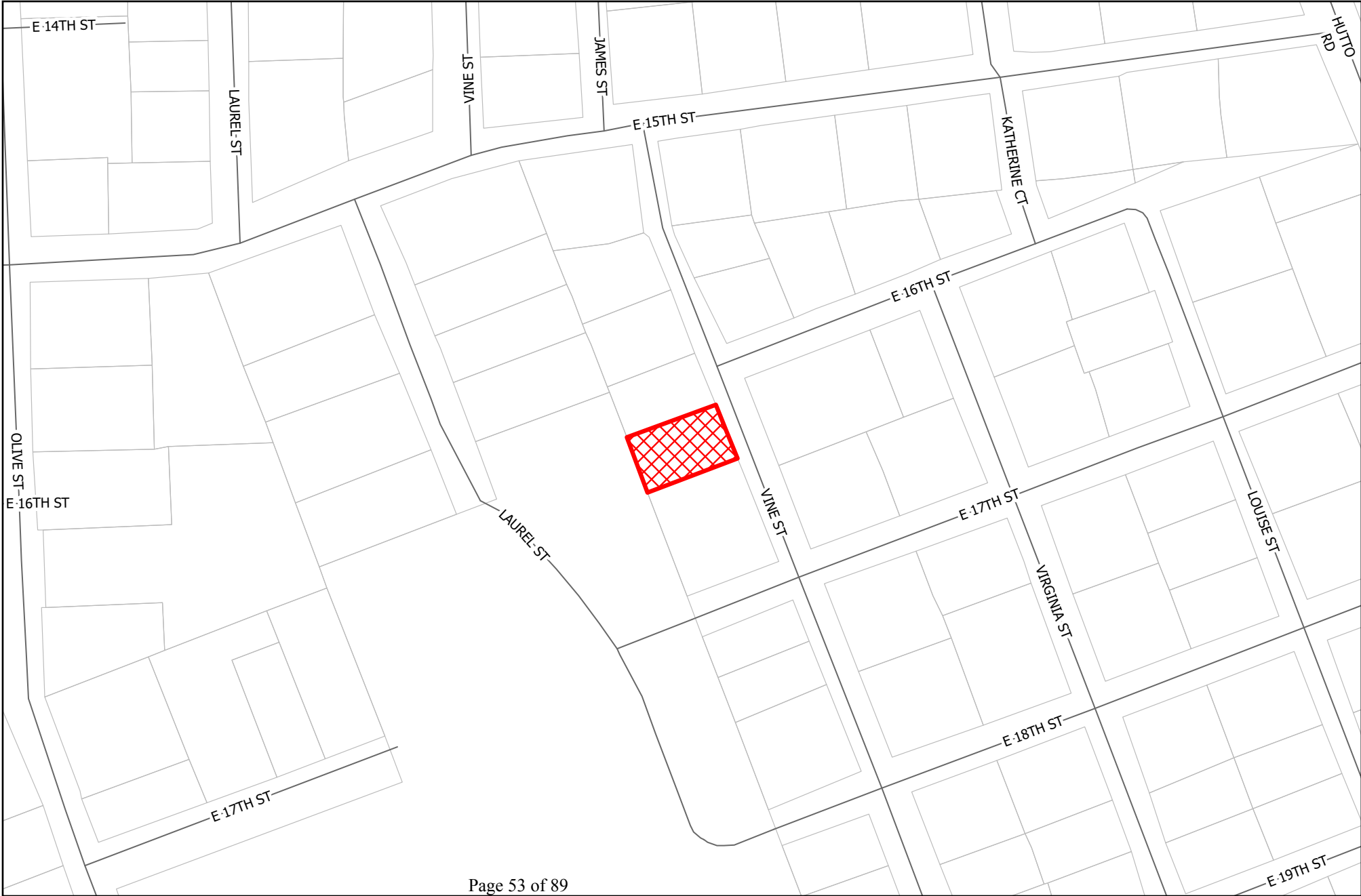
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Exhibit 1 – Location Map  
Exhibit 2 – Letter of Intent  
Exhibit 3 – Plans & Specifications  
Exhibit 4 – Historic Resource Survey  
Exhibit 5 – Public Comments

### SUBMITTED BY

---

*Britin Bostick, Downtown & Historic Planner*



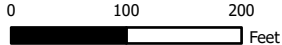
# LOCATION

2020-8-COA

Exhibit #1

-  Site
-  Parcels

N





February 16, 2020

## **Letter of Intent**

**Re: Harris Residence  
1604 Vine Street  
Georgetown , Texas 78626**

We have previously been approved for this project administratively.

However, the existing carport is causing addition concerns and problems. The carport is a non-conforming structure due to it being the side easement. The proposed HPO approval was leaving "carport "as is" other than painting and adding new roofing.

After starting project, the structural engineer (K&W Engineering) proclaimed the existing structure is failing and non-repairable and that a full demolition of carport in recommended and required for safety.

Therefore, we are asking for the existing structure be removed and replaced with a new updated structure in the same footprint. Basically nothing changed from what's there, except updating to provide a better aesthetic and not change the footprint.

We understand that a HARC Review is required for both the non-conforming structure and by the demolition in the Historic district. The argument is we are providing an updated safe structure with updated aesthetic to the neighborhood. Not really a difference to the approved HPO, other than updated materials and safe.

The adjacent neighbors have been contacted and review the proposed plans. We have their approvals letter attached.

Scope of Work:

Demolition:

- Remove existing unsafe carport.

Page 1 of 2

112 Rancho Trail Georgetown, Texas 78728  
P: 303.594.5959

RH19-198 Harris Residence LOI HARC.doc

Additions:

- Provide new carport in exact same location with upgraded materials and structure.

Existing Carport



Attachments:

- Revised Construction Plans
- Revised Rendering showing new carport
- Neighbor Approval letters

Sincerely,

Rob Reavey

RHadius p.c.

[reavey@rhadiuspc.com](mailto:reavey@rhadiuspc.com)

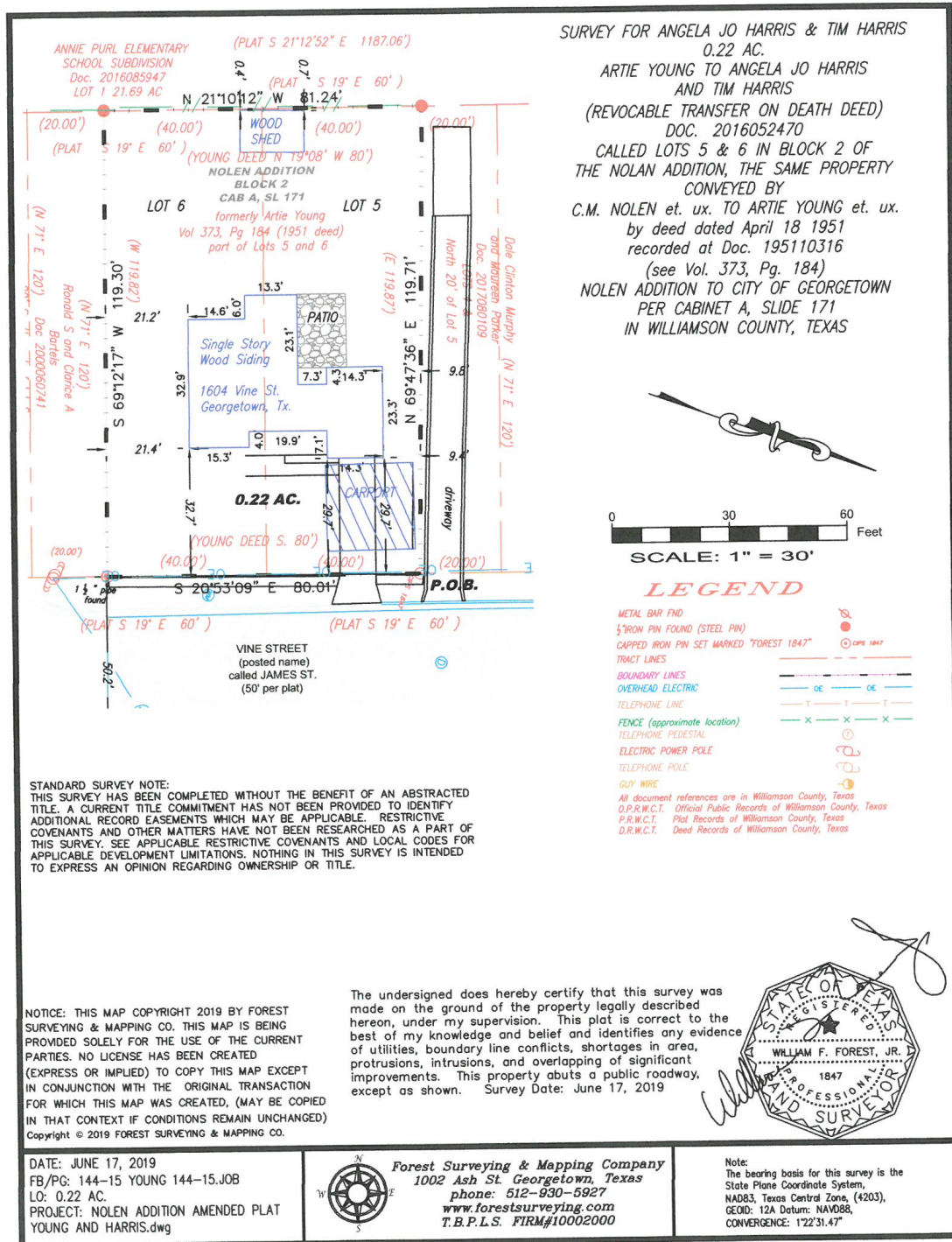
303.594.5959

Principal, LEED AP

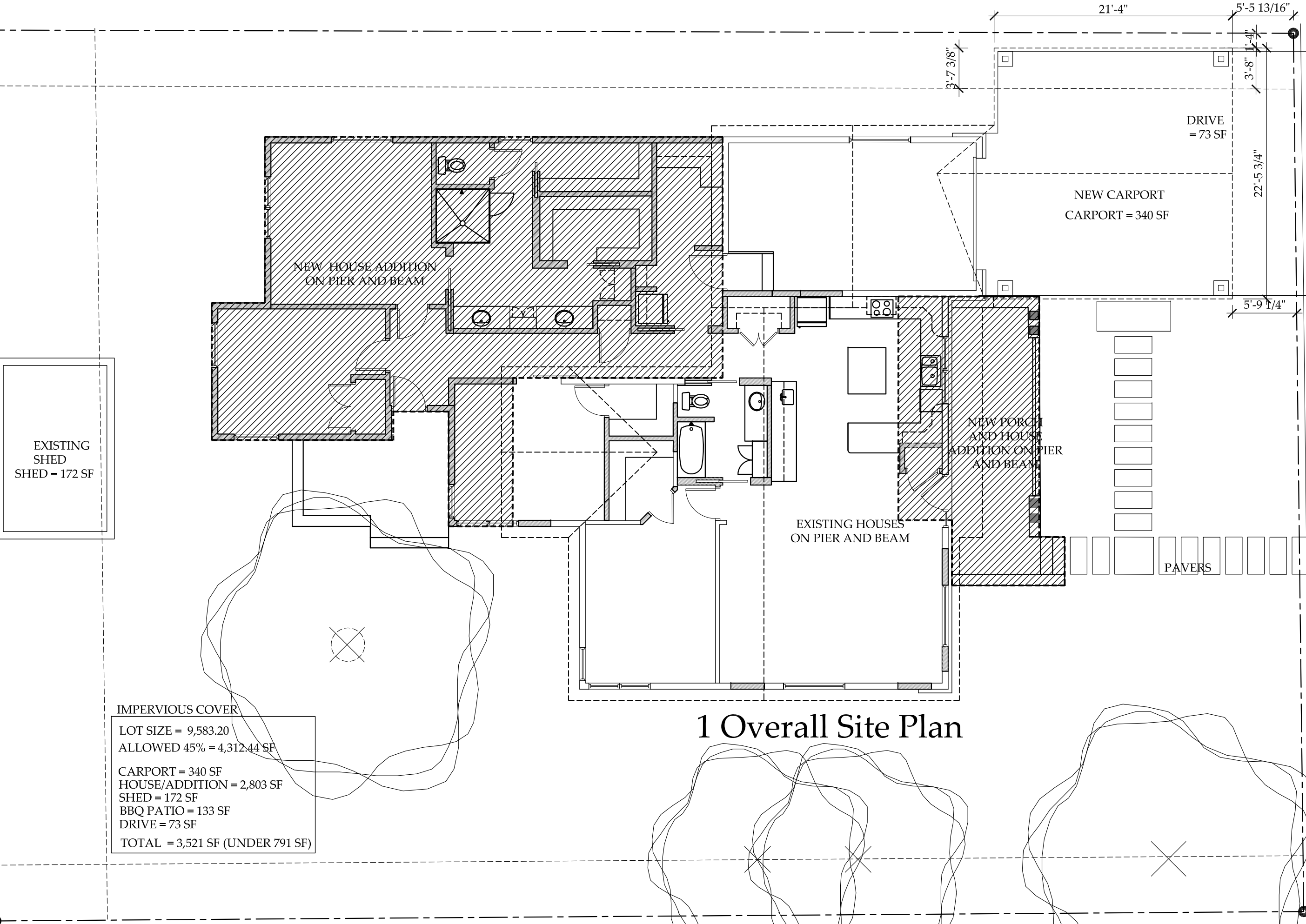
Page 2 of 2

112 Rancho Trail Georgetown, Texas 78728  
P: 303.594.5959

RH19-198 Harris Residence LOI HARC.doc







DATE:  
2.5.2020 rev

PROJECT NO.  
19-282

*rhadius p.c.*  
an architectural corporation

112 Rancho Trail Georgetown, Texas 78628  
303.594.5959

Harris Residence

1604 Vine Street  
Georgetown, Texas 78626

OVERALL  
SCALE: 1/8"

**A0.0**  
EXHIBIT C

NOTE:  
REMOVE ALL EXISTING EXTERIOR  
WALL SIDING, ROOFING, FASCIA AND  
SOFFIT/GUTTERS  
REPAIR ANY DAMAGED FRAMING

REMOVE ALL EXISTING  
PLUMBING FIXTURES, LIGHT  
FIXTURES, KITCHEN, BATH AND  
PARTITIONS AS SHOWN DASHED

REMOVE ALL EXISTING  
DRYWALL, PARTITIONS SHOWN  
DASHED , CABINETS, ALL  
DOORS AND ALL WINDOWS  
THEIR ENTIRETY

REMOVE EXISTING CARPORT  
AND CONCRETE DRIVES

REMOVE  
EXISTING  
PORCH

REMOVE ALL EXISTING  
DRYWALL, PARTITIONS SHOWN  
DASHED , INTERIOR, ALL DOORS  
AND ALL WINDOWS THEIR  
ENTIRETY

1 Demolition Plan

DATE:  
2.5.2020 rev

PROJECT NO.  
19-282

*rhadi**ns**p.c.*

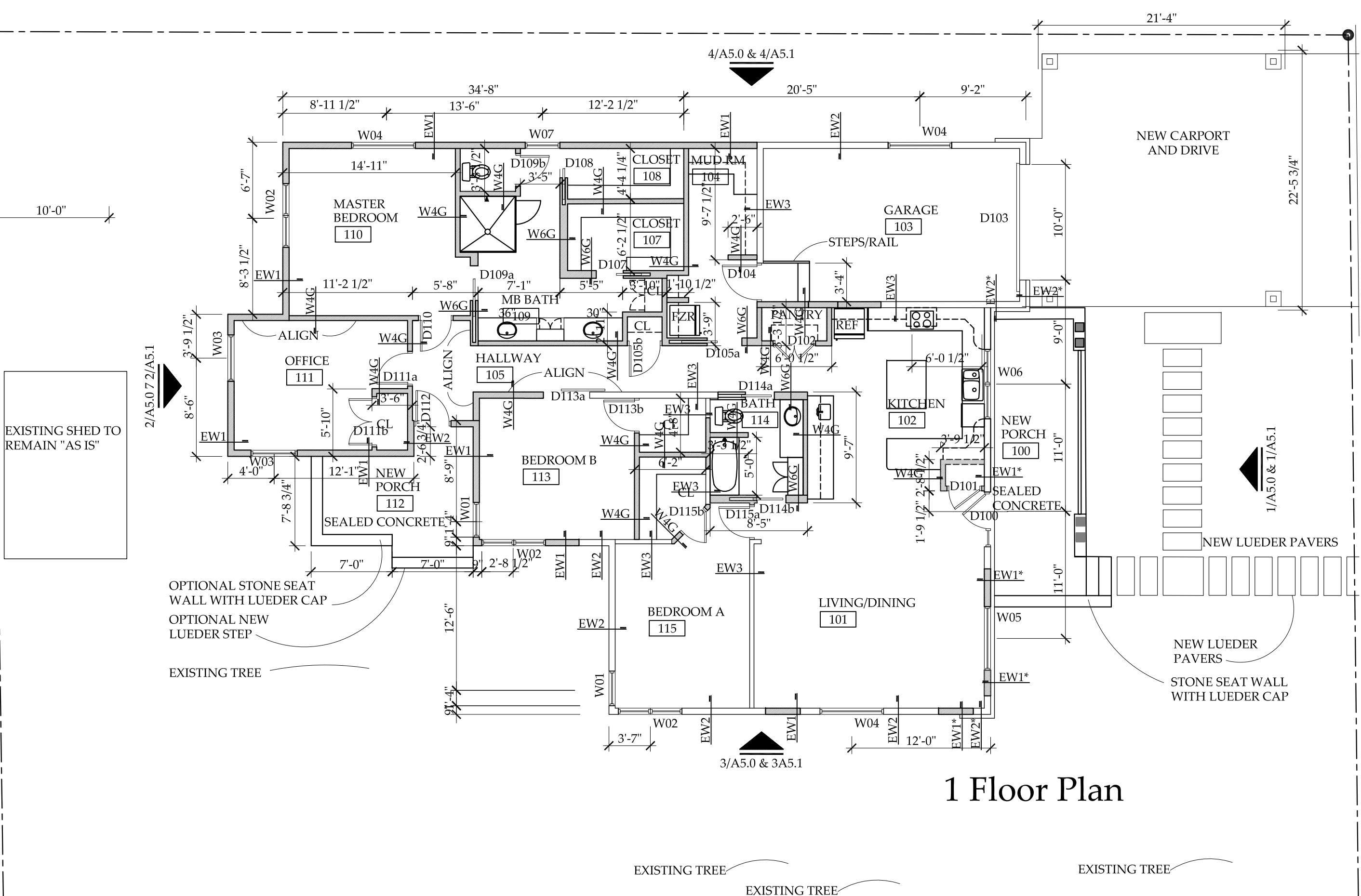
an architectural corporation

112 Rancho Trail Georgetown, Texas 78628  
303.594.5959

Harris Residence  
1604 Vine Street  
Georgetown, Texas 78626

DEMO FLOOR  
SCALE: 1/8"

A1.0  
EXHIBIT C



1 Floor Plan

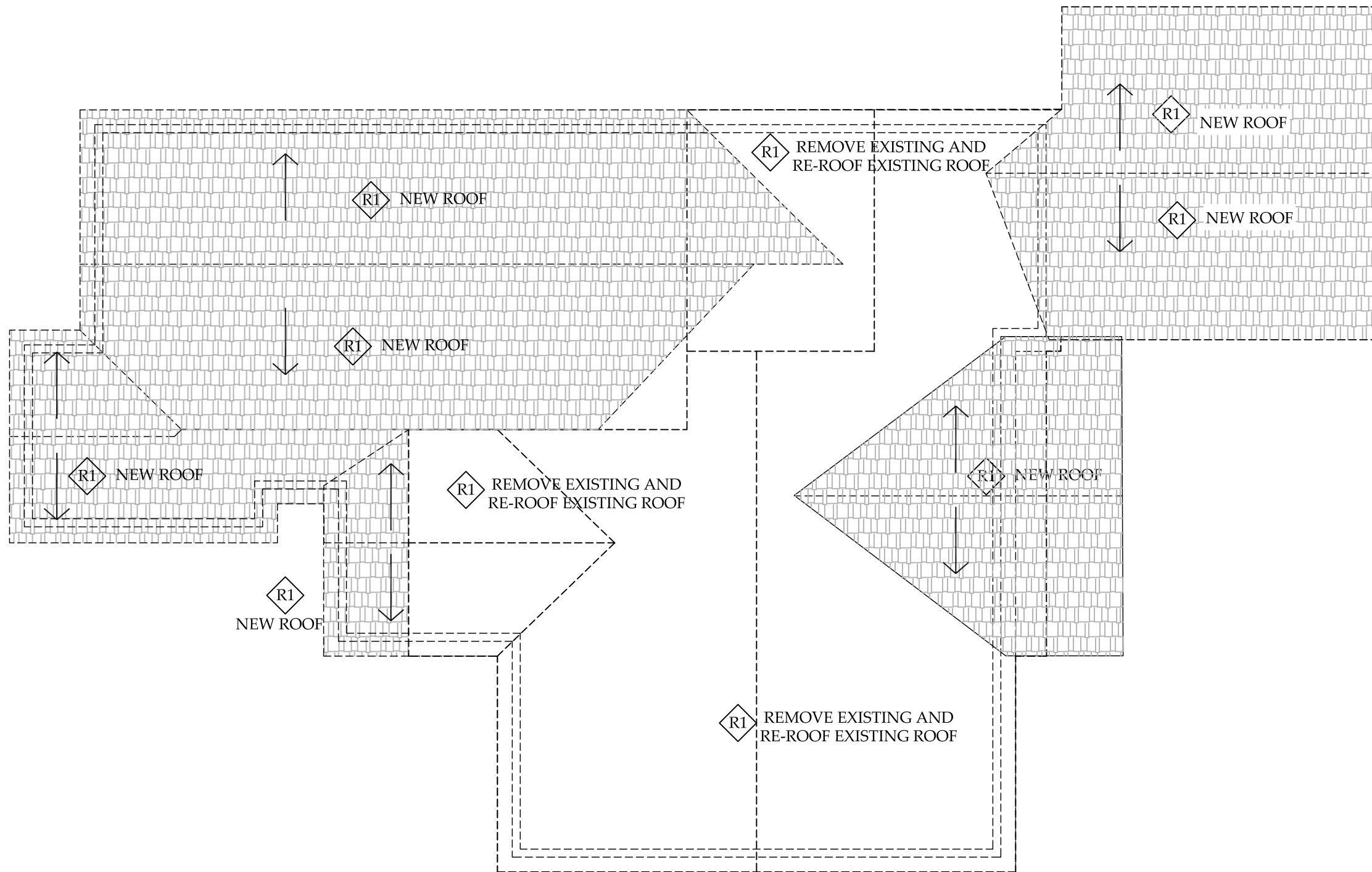
DATE:  
2.5.2020 rev

PROJECT NO.  
19-282

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an architectural corporation  
112 Rancho Trail Georgetown, Texas 78628  
303.594.5959

Harris Residence  
1604 Vine Street  
Georgetown, Texas 78626

FLOOR PLAN  
SCALE: 1/8"  
**A2.0**  
EXHIBIT C



NOTE: ALL NEW ROOF PITCH'S  
TO MATCH EXISTING

NOTE: PROVIDE ALL NEW  
GUTTER AND DOWN SPOUTS

# 1 ROOF PLAN

ROOF NOTES:

R1 ASPHALT SHINGLES TO BE  
TAMKO "HERITAGE II",  
ARCHITECTURAL GRADE, 3  
DIMENSIONAL, LAMINATED  
FIBERGLASS SHINGLES WITH  
ASTM D3018, TYPE 1 AND D3642.  
FIRE AND WIND: UL CLASS A.  
PROVIDE MANUF. STANDARD  
30 YEAR, PRORATED, LIMITED  
WARRANTY. PROVIDE 50LB ICE  
AND WATER SHIELD AS  
RECOMMENDED BY SHINGLE  
MANUF.

DATE:

2.5.2020 rev

PROJECT NO.  
19-282

**rhodius p.c.**  
an architectural corporation

an architectural corporation  
1112 Rancho Trail Georgetown, Texas 78628  
303.594.5959

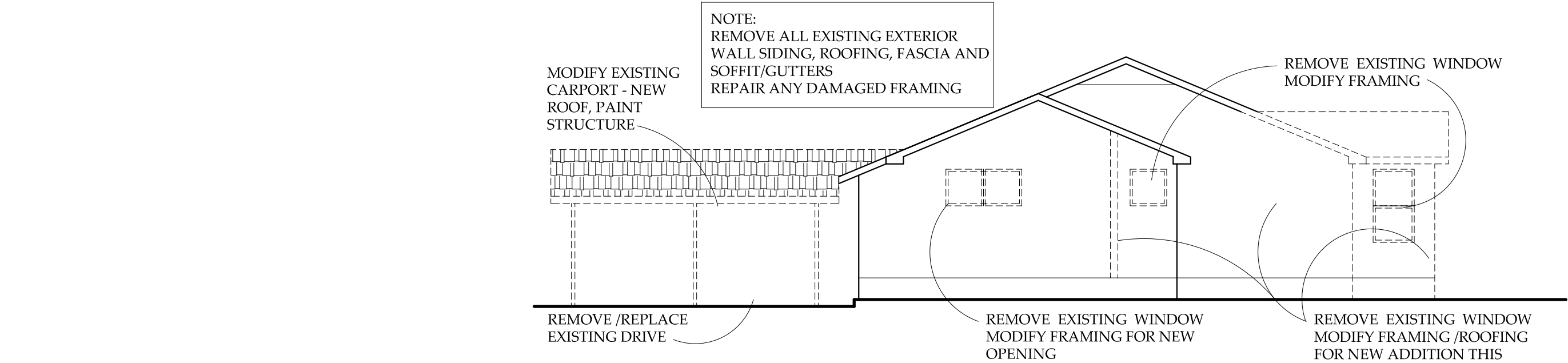
# Harris Residence

1604 Vine Street  
Georgetown, Texas 78626

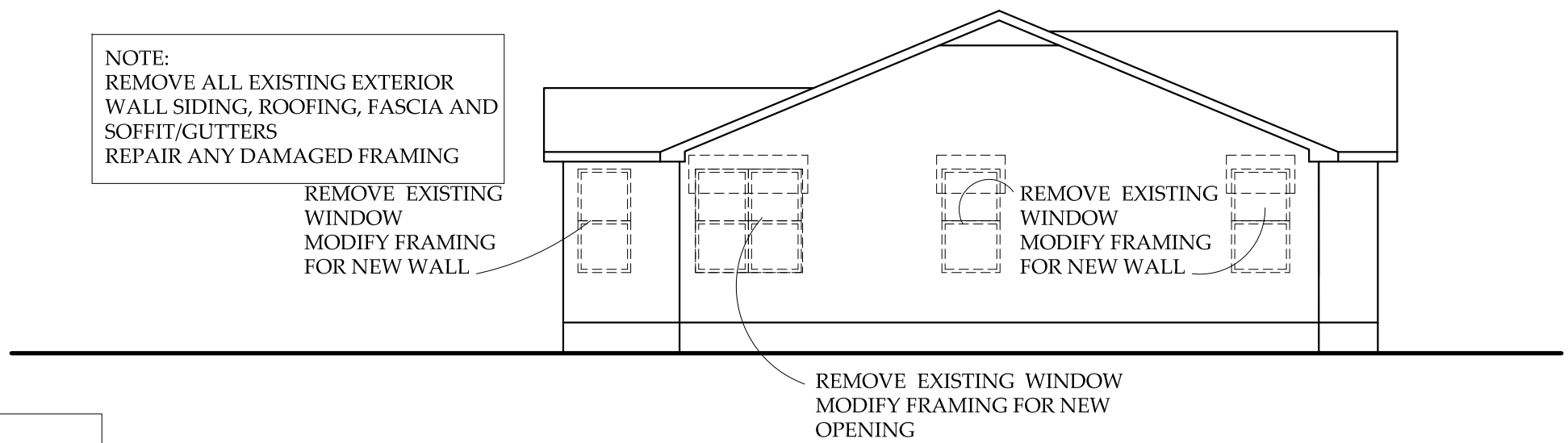
ROOF PLAN  
SCALE: 1/8"

# A4.0

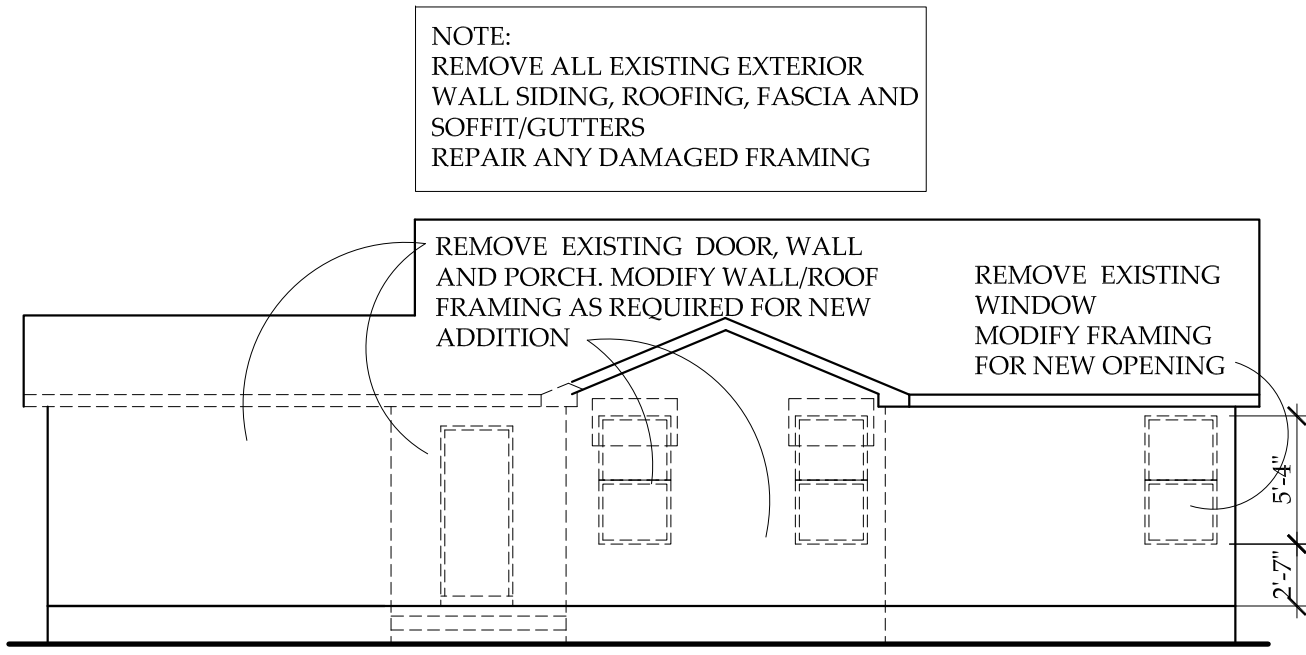
## EXHIBIT C



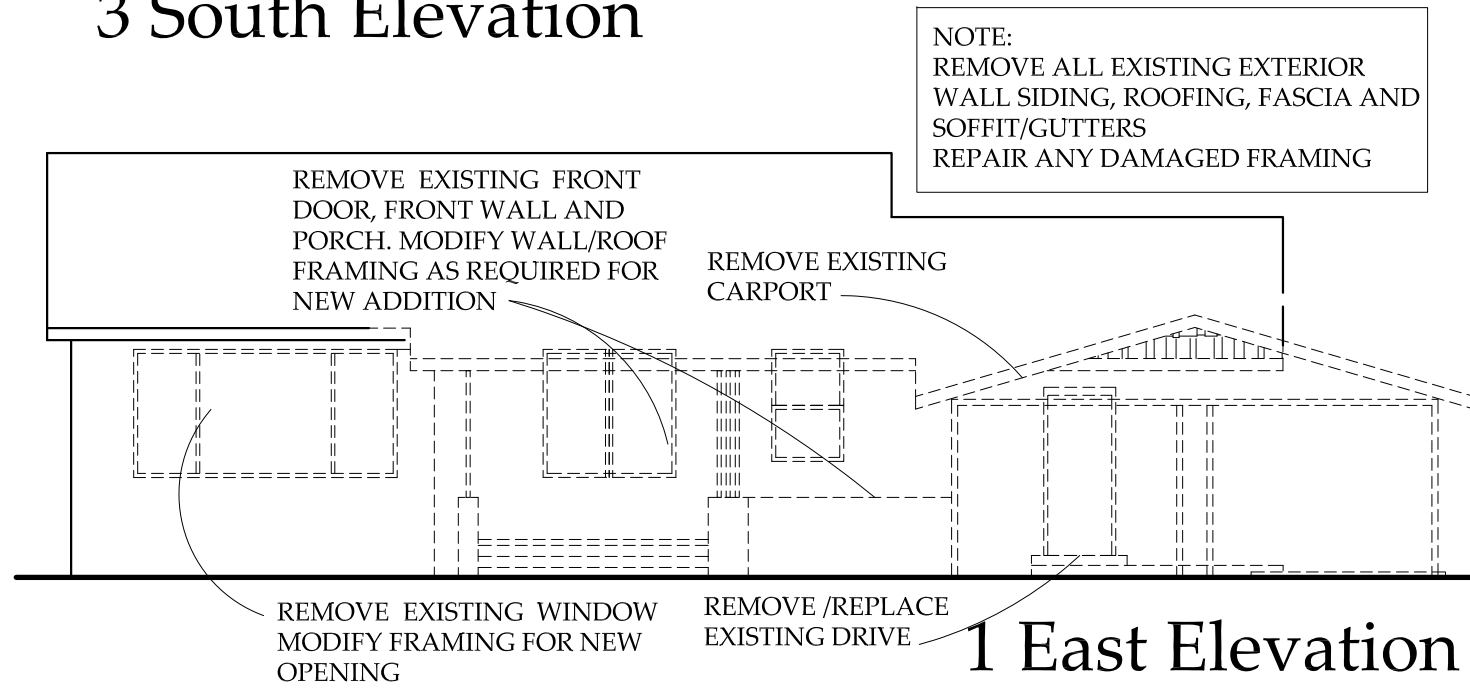
4 North Elevation



3 South Elevation



2 West Elevation



1 East Elevation

DATE:  
2.5.2020 rev

PROJECT NO.  
19-282

*rhadians* p.c.  
an architectural corporation

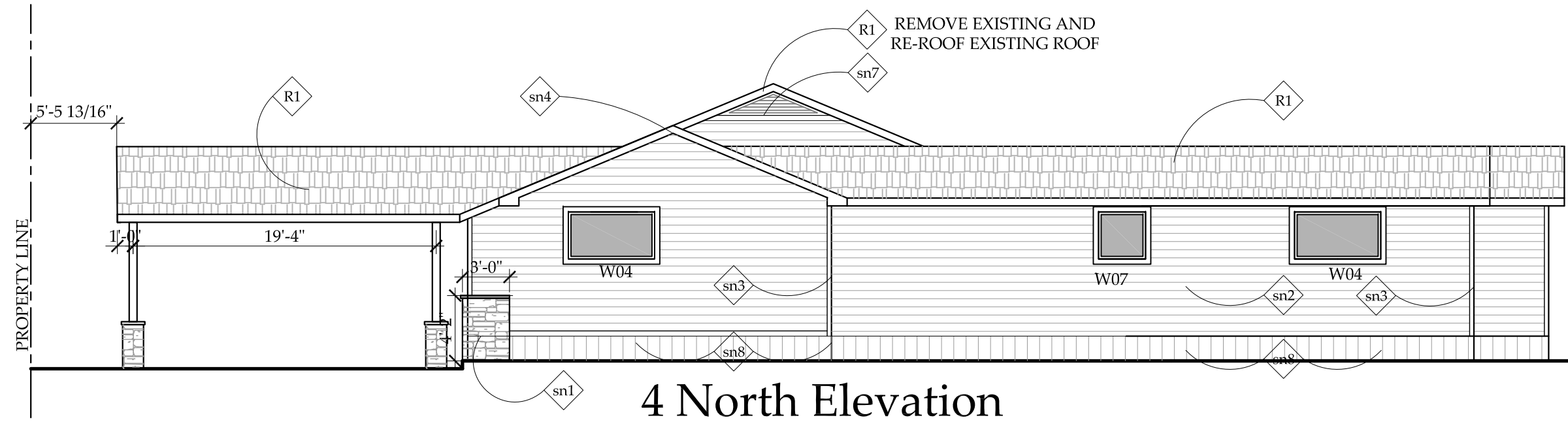
112 Rancho Trail Georgetown, Texas 78628  
303.594.5959

Harris Residence

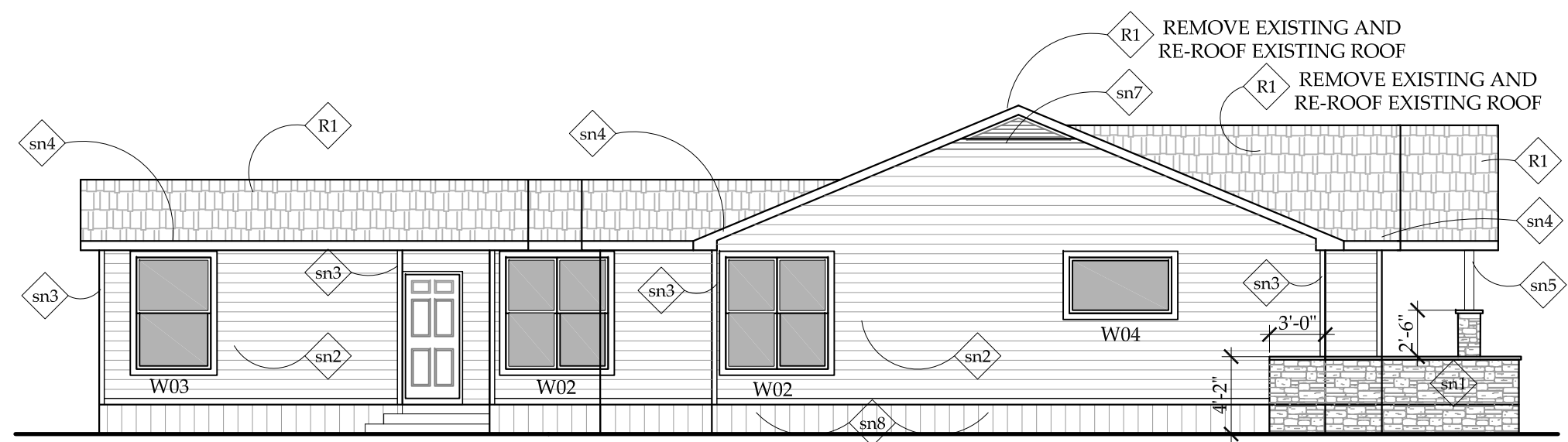
1604 Vine Street  
Georgetown, Texas 78626

DEMO ELEV  
SCALE: 1/8"

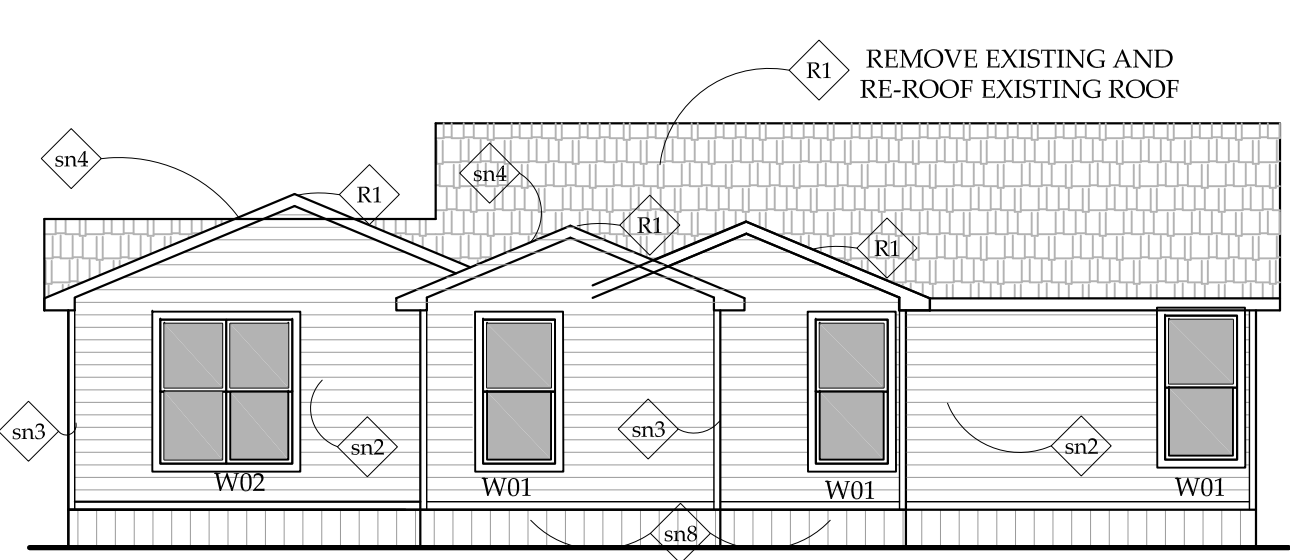
**A5.0**  
EXHIBIT C



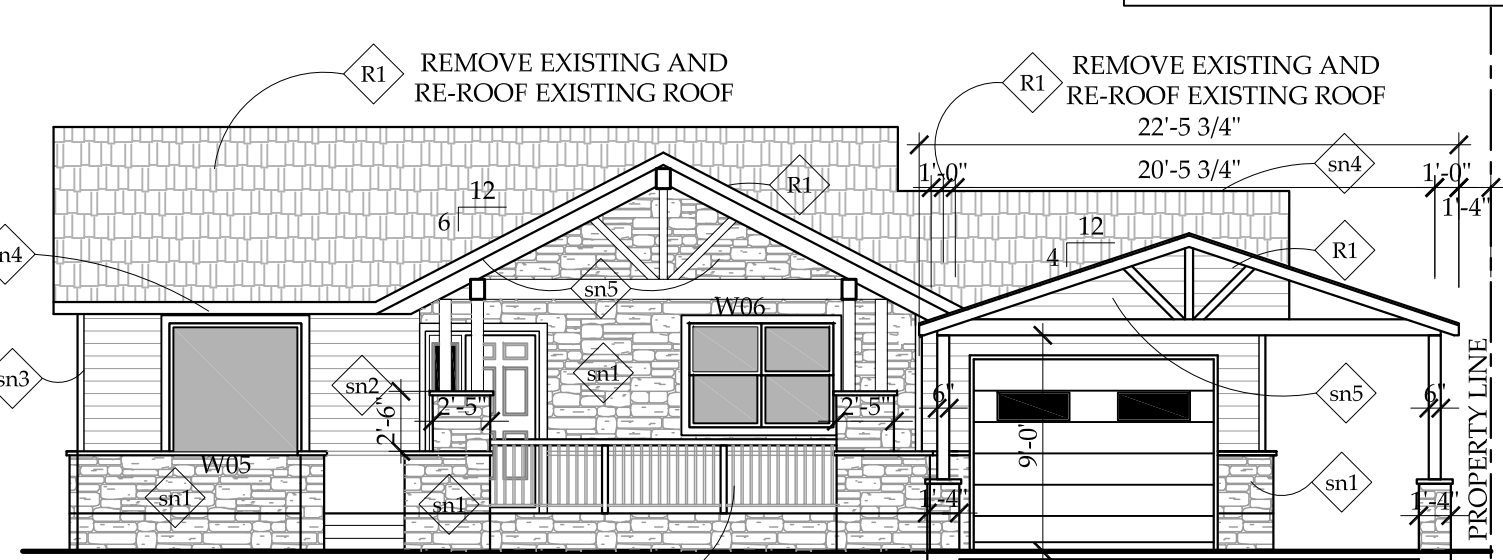
4 North Elevation



3 South Elevation



2 West Elevation



1 East Elevation

<b>SYSTEM GENERAL:</b>		<b>DATE:</b> 2.5.2020 rev	
snA CONTRACTOR TO PROVIDE FIRE BLOCKING PER UBC 708.2 AND DRAFT STOPS PER UBC 708.3		<b>PROJECT NO.</b> 19-282	
snB ROOF VENTILATION: PER BLDGSTANDARDS AND CODE		<b>rhadius p.c.</b> an architectural corporation 112 Rancho Trail Georgetown, Texas 78628 303.594.5959	
<b>SYSTEM NOTES:</b>			
sn1 4" WHITE SHOPPED STONE OVER MOISTURE BARRIER ON EXTERIOR WALL TYPE. PROVIDE LUEDER STONE CAP. RE: WALL SECTION.		<b>Harris Residence</b> 1604 Vine Street Georgetown, Texas 78626	
sn2 HARDIE PLANK HORIZONTAL LAP SIDING			
sn3 1X4 HARDIE WOOD TRIM			
sn4 HARDIE SOFFIT AND FASCIA			
sn5 PROVIDE HALF ROUND PRE-FINISHED ALUM GUTTERS AND 4" DOWN SPOUT			
sn6 TREATED PINE OR CEDAR FRAMING, PAINTED			
sn6 PINE T&G EXTERIOR CEILINGS, PAINTED			
sn7 WOOD VENT			
sn8 WOOD LATTICE OR METALL PANEL FOR CRAWL SPCE COVER		<b>ELEVATION</b> SCALE: 1/8" <b>A5.1</b> EXHIBIT C	



DATE:  
2.5.2020 rev

PROJECT NO.  
19-282

*rhadi**ns**p.c.*  
an architectural corporation

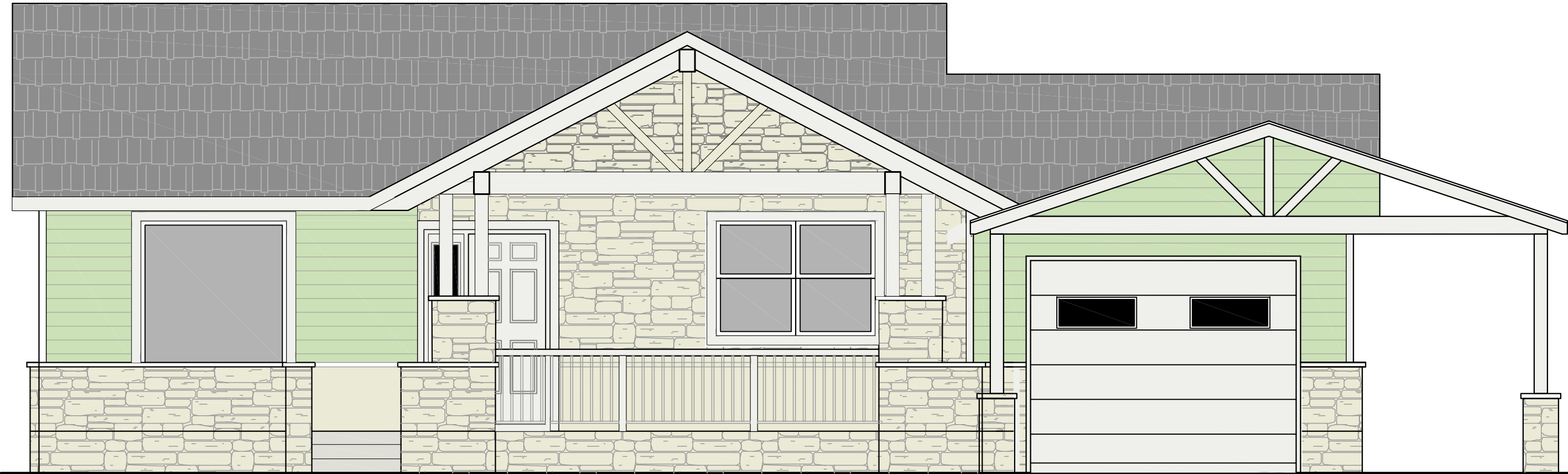
112 Rancho Trail Georgetown, Texas 78628  
303.594.5959

Harris Residence

1604 Vine Street  
Georgetown, Texas 78626

ELEVATION  
SCALE: 1/8"

**A5.1**  
EXHIBIT C



1 East Elevation

TEXAS HISTORICAL COMMISSION

HISTORIC RESOURCES SURVEY FORM

Address: 1604 Vine St 2016 Survey ID: 125358  
 City: Georgetown 2016 Preservation Priority: Low  
 County: Williamson Local District: Old Town District

SECTION 1

Basic Inventory Information

Owner/Address YOUNG, ARTIE D, 1604 VINE ST, , GEORGETOWN, TX 78626-7226

Current/Historic Name: None/None

Latitude: 30.630115

Longitude -97.66428

Legal Description (Lot/Block): NOLEN ADDITION, BLOCK 2, LOT 5-6(PTS), ACRES 0.160 WCAD ID: R043463

Addition/Subdivision: S4201 - Nolen Addition

Property Type: ☒ Building ☐ Structure ☐ Object ☐ Site ☐ District

Current Designations:

☐ NR District (Is property contributing? ☐ Yes ☐ No)

☐ NHL ☐ NR ☐ RTHL ☐ OTHM ☐ HTC ☐ SAL ☒ Local: Old Town District ☐ Other

Architect:

Builder:

Construction Date: 1960



Actual ☐ Estimated

Source: WCAD

Function

Current Use: ☐ Agriculture ☐ Commerce/trade ☐ Defense ☒ Domestic ☐ Educational ☐ Government

☐ Healthcare ☐ Industry/processing ☐ Recreation/culture ☐ Religious ☐ Social ☐ Vacant

☐ Other:

Historic Use: ☐ Agriculture ☐ Commerce/trade ☐ Defense ☒ Domestic ☐ Educational ☐ Government

☐ Healthcare ☐ Industry/processing ☐ Recreation/culture ☐ Religious ☐ Social ☐ Vacant

☐ Other:

Recorded by: CMEC

Date Recorded 5/6/2016



Photo direction: West

Note: See additional photo(s) on page 4

**TEXAS HISTORICAL COMMISSION**

**HISTORIC RESOURCES SURVEY FORM**

Address:	1604 Vine St	2016 Survey ID:	125358
City:	Georgetown	2016 Preservation Priority:	Low
County:	Williamson	Local District:	Old Town District

**SECTION 2**

**Architectural Description**

General Architectural Description:

One-story, rectangular, ranch style house clad in asbestos siding with a side-gabled roof, attached carport, and a partial width, inset porch with a single front door.

☒ Additions, modifications: Garage enclosed; carport added

☐ Relocated

**Stylistic Influence(s)**

<input type="checkbox"/> Log traditional	<input type="checkbox"/> Shingle	<input type="checkbox"/> Gothic Revival	<input type="checkbox"/> Pueblo Revival	<input type="checkbox"/> International
<input type="checkbox"/> Greek Revival	<input type="checkbox"/> Romanesque Revival	<input type="checkbox"/> Tudor Revival	<input type="checkbox"/> Spanish Colonial	<input type="checkbox"/> Post-war Modern
<input type="checkbox"/> Italianate	<input type="checkbox"/> Folk Victorian	<input type="checkbox"/> Neo-Classical	<input type="checkbox"/> Prairie	<input checked="" type="checkbox"/> Ranch
<input type="checkbox"/> Second Empire	<input type="checkbox"/> Colonial Revival	<input type="checkbox"/> Beaux Arts	<input type="checkbox"/> Craftsman	<input type="checkbox"/> Commercial Style
<input type="checkbox"/> Eastlake	<input type="checkbox"/> Renaissance Revival	<input type="checkbox"/> Mission	<input type="checkbox"/> Art Deco	<input type="checkbox"/> No Style
<input type="checkbox"/> Queen Anne	<input type="checkbox"/> Exotic Revival	<input type="checkbox"/> Monterey	<input type="checkbox"/> Moderne	<input type="checkbox"/> Other:

**Structural Details**

**Roof Form**

☒ Gable ☐ Hipped ☐ Gambrel ☐ Shed ☐ Flat w/parapet ☐ Mansard ☐ Pyramid ☐ Other:

**Roof Materials**

☐ Wood shingles ☐ Tile ☒ Composition shingles ☐ Metal ☐ Asphalt ☐ Other:

**Wall Materials**

☐ Brick ☐ Stucco ☐ Stone ☐ Wood shingles ☐ Log ☐ Terra Cotta ☐ Concrete  
☐ Metal ☐ Wood Siding ☐ Siding: Other ☐ Glass ☒ Asbestos ☐ Vinyl ☐ Other:

**Windows**

☐ Fixed ☐ Wood sash ☒ Double hung ☐ Casement ☐ Metal sash ☐ Decorative Screenwork ☒ Other: Wood

**Doors (Primary Entrance)**

☒ Single door ☐ Double door ☐ With transom ☐ With sidelights ☐ Other:

**Plan**

☐ L-plan ☐ T-plan ☐ Modified L-plan ☐ 2-room ☐ Open ☐ Center Passage ☐ Bungalow ☐ Shotgun  
☐ Irregular ☐ Four Square ☒ Rectangular ☐ Other

**Chimneys**

Specify # 0 ☐ Interior ☐ Exterior ☒ None  
☐ Brick ☐ Stone ☐ Stucco ☐ Corbelled Caps ☐ Other

**PORCHES/CANOPIES**

**Form:** ☐ Shed Roof ☐ Flat Roof ☐ Hipped Roof ☐ Gabled Roof ☐ Inset ☐ None ☒ Other Integral

**Support**

☐ Wood posts (plain) ☐ Wood posts (turned) ☐ Masonry pier ☐ Fabricated metal  
☐ Box columns ☐ Classical columns ☐ Tapered box supports ☐ Suspension cables ☐ None  
☐ Suspension rods ☐ Spindlework ☐ Jigsaw trim ☒ Other: Metal Posts

**Materials:** ☐ Metal ☐ Wood ☐ Fabric ☒ Other: None

# of stories: 1 Basement: ☐ None ☐ Partial ☐ Full ☒ Unknown

**Ancillary Buildings**

Garage Barn Shed Other:

**Landscape/Site Features**

☐ Sidewalks ☐ Terracing ☐ Drives ☐ Well/cistern ☐ Gardens ☐ Other  
☐ Stone ☐ Wood ☐ Concrete ☐ Brick ☐ Other materials:

Landscape Notes:

TEXAS HISTORICAL COMMISSION

HISTORIC RESOURCES SURVEY FORM

Address: 1604 Vine St 2016 Survey ID: 125358  
 City: Georgetown 2016 Preservation Priority: Low  
 County: Williamson Local District: Old Town District

SECTION 3

Historical Information

Associated Historical Context:

- |   |   |  |  |   |
|---|---|--|--|---|
| <input type="checkbox"/> Commerce               | <input type="checkbox"/> Communication      | <input type="checkbox"/> Agriculture     | <input type="checkbox"/> Architecture      | <input type="checkbox"/> Arts                 |
| <input type="checkbox"/> Immigration/Settlement | <input type="checkbox"/> Law/Government     | <input type="checkbox"/> Education       | <input type="checkbox"/> Exploration       | <input type="checkbox"/> Health               |
| <input type="checkbox"/> Religion/Spirituality  | <input type="checkbox"/> Science/Technology | <input type="checkbox"/> Military        | <input type="checkbox"/> Natural Resources | <input type="checkbox"/> Planning/Development |
|   |   | <input type="checkbox"/> Social/Cultural | <input type="checkbox"/> Transportation    | <input type="checkbox"/> Other                |

Applicable National Register (NR) Criteria:

- ☐ A Associated with events that have made a significant contribution to the broad pattern of our history
- ☐ B Associated with the lives of persons significant in our past
- ☐ C Embodies the distinctive characteristics of a type, period or method of construction or represents the work of a master, or possesses high artistic value, or represents a significant and distinguishable entity whose components lack individual distinctions
- ☐ D Has yielded, or is likely to yield, information important in prehistory or history

Areas of Significance:

Periods of Significance:

- Level of Significance: ☐ National ☐ State ☐ Local
- Integrity: ☒ Location ☐ Design ☒ Materials ☒ Workmanship
- ☒ Setting ☒ Feeling ☒ Association

Integrity notes: See Section 2

Individually Eligible? ☐ Yes ☒ No ☐ Undetermined

Within Potential NR District? ☐ Yes ☐ No ☐ Undetermined

Is Property Contributing? ☐ Yes ☐ No ☐ Undetermined

Priority: ☐ High ☐ Medium ☒ Low Explain: Property lacks significance and integrity

Other Info:

Is prior documentation available for this resource? ☒ Yes ☐ No ☐ Not known Type: ☐ HABS ☒ Survey ☐ Other

Documentation details 2007 ID: 1178 1984 ID: Not Recorded  
 2007 survey 2007 Survey Priority: Medium 1984 Survey Priority: Not Recorded

General Notes: (Notes from 2007 Survey: detached carport added at front)

Questions?

Contact Survey Coordinator  
 History Programs Division, Texas  
 Historical Commission  
 512/463-5853  
 history@thc.state.tx.us



## HISTORIC RESOURCES SURVEY FORM

Address: 1604 Vine St  
City: Georgetown  
County: Williamson

2016 Survey ID: 125358  
2016 Preservation Priority: Low  
Local District: Old Town District

## Additional Photos

Photo Direction Southwest







CITY OF GEORGETOWN  
NOTICE OF PUBLIC HEARING

Comments from Neighboring Property Owners

You are being notified as a requirement of the City of Georgetown Code of Ordinances. You are invited to express your views or concerns regarding the – described petition by returning this comment form and/or by attending one or both of the scheduled public hearings on the matter.

Project Name/Address: 1604 Vine Street

Project Case Number: 2020-8-COA HARC Date: March 26, 2020 Case Manager: Britin Bostick

Name of Respondent: Carol Swain  
(Please print name)

Signature of Respondent: Carol Swain  
(Signature required for protest)

Address of Respondent: 1405 E. 17th St.  
(Address required for protest)

I am in FAVOR: ☒

I OBJECT: ☐

Additional Comments:

I find it interesting that someone has to petition to build a carport, while we look out at a derelict property at 1402 E. 17th. No one lives there; they only come by to get mail. The back of the yard is

Written comments may be sent to City of Georgetown Planning Department, P. O. Box 1458 Georgetown, Texas 78627. Emailed comments may be sent to [planning@georgetown.org](mailto:planning@georgetown.org). Any such comments may be presented to the Commission.

also rat infested. So yes to a carport!  
Feel free to call me. Many of us around 1402 E. 17th feel the same way about this property.

-----Original Message-----

From: Kerry Williams

Sent: Thursday, March 19, 2020 6:36 AM

To: WEB\_Planning <planning@georgetown.org>

Subject: [EXTERNAL] 1604 Vine Street

[EXTERNAL EMAIL]

I have no problem with the Request for Certificate of Appropriateness for carport setback encroachment at 1604 Vine Street.

Kerry Williams

1702 Vine Street

Georgetown, Tex

Sent from my iPad

# 1604 Vine St. 2020-08-COA

**Historic & Architectural Review Commission**  
March 26, 2020

# Item Under Consideration

## 2020-8-COA – 1604 Vine St.

- Public Hearing and Possible Action on a Request for a Certificate of Appropriateness for a 19'-6" Setback Encroachment into the required 25' front setback for the construction of a carport addition 5'-6" from the front property line, and a 4'-8" Setback Encroachment into the required 6' side setback for the construction of a carport addition 1'-4" from the side (north) property line at the property located at 1604 Vine Street, bearing the legal description NOLEN ADDITION, BLOCK 2, LOT 5-6(PTS), ACRES 0.160.

# Item Under Consideration

## HARC:

- Setback modification

## HPO:

- Addition that creates a new, or adds to an existing street facing façade



# Item Under Consideration



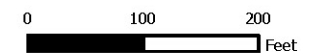


## LOCATION

2020-8-COA

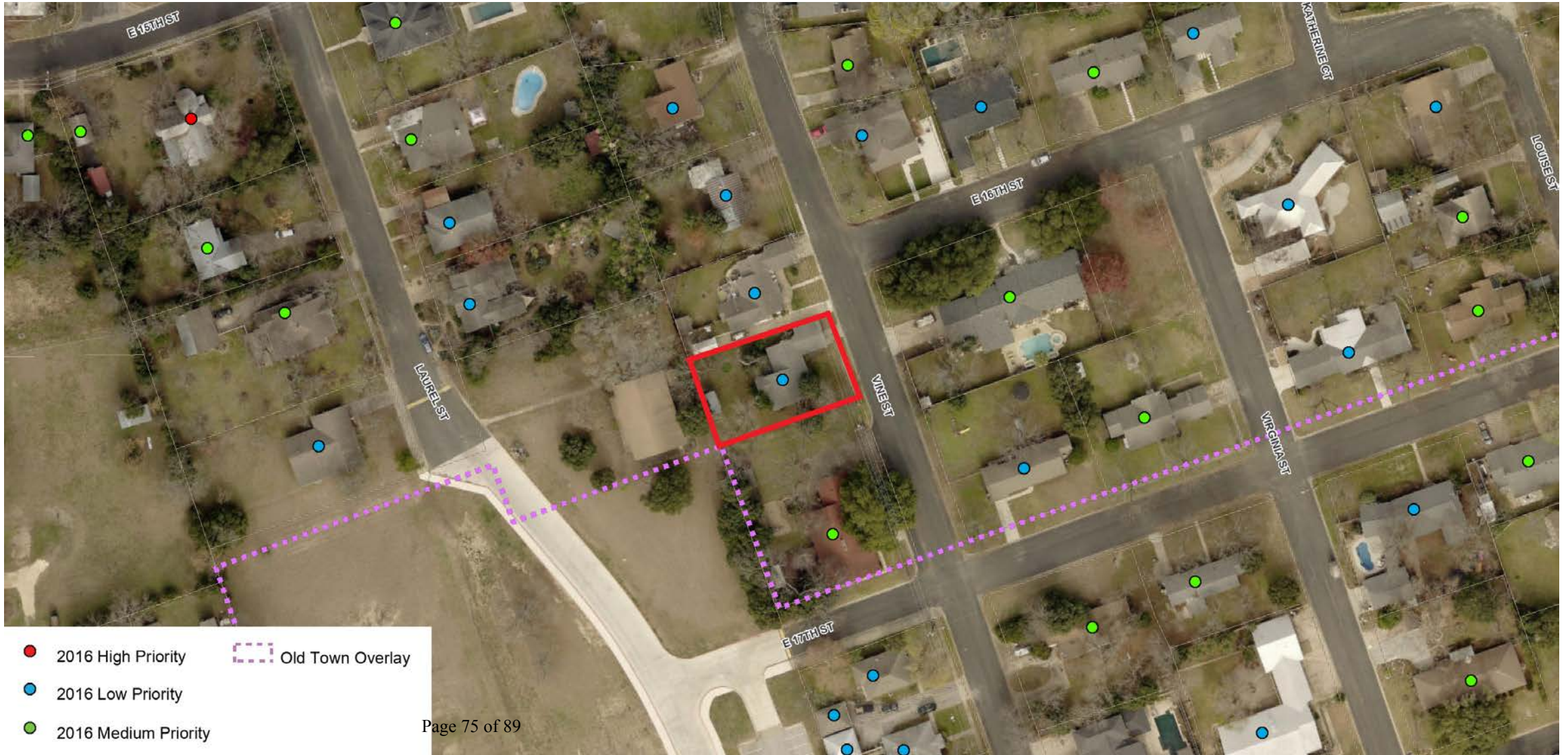
Exhibit #1

-  Site
-  Parcels



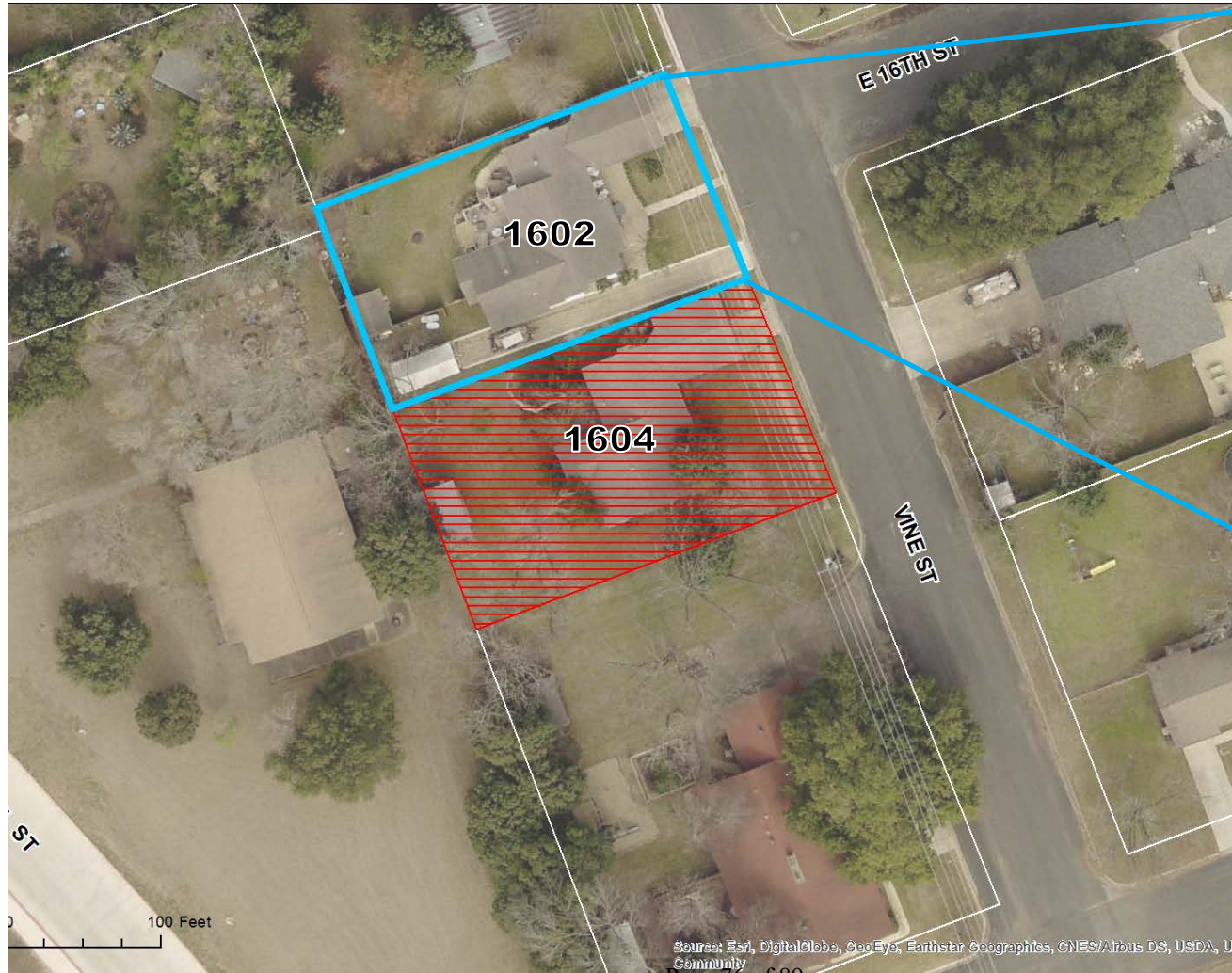


# Current Context





# Current Context








Abutting property to the north (1602 Vine St) also has a carport that encroaches into the front and side setbacks.



# Proposed Setbacks



-  1604 Vine St
-  25' Front Setback
-  5'-6" Modified Front Setback
-  6' Side Setback
-  1'-8" Modified Side Setback

Sources: Esri, DigitalGlobe, GeoEye, Earthstar Geographics, CNES/Airbus DS, USDA, USGS, AeroGRID, IGN, and the Community

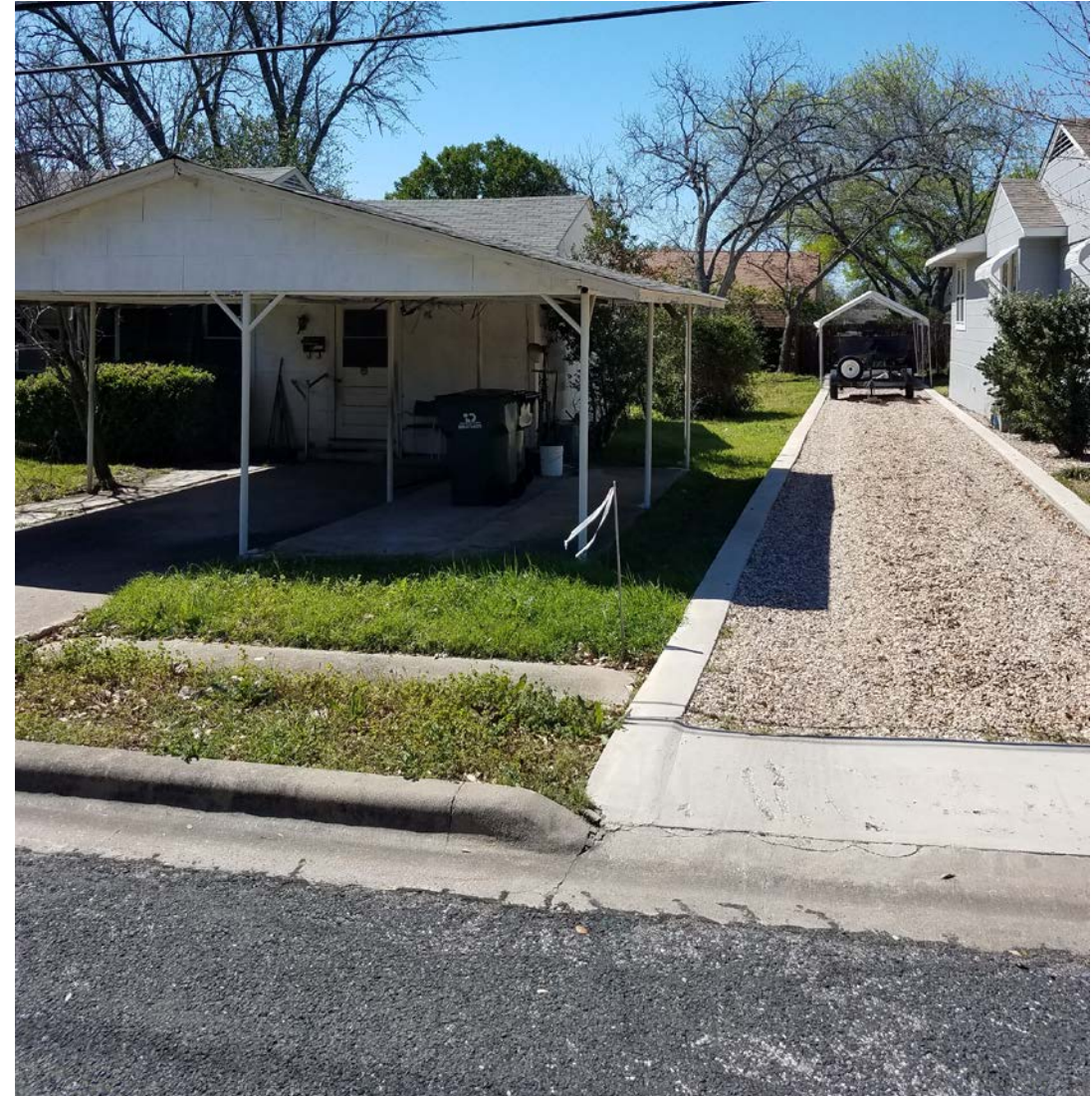


# Current Photo

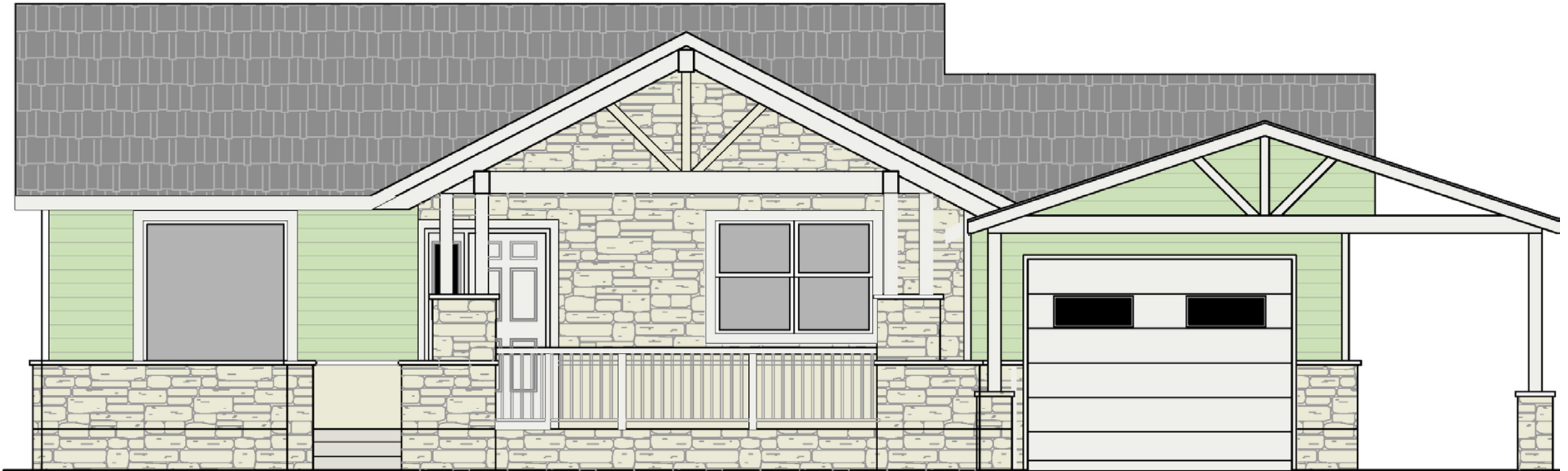




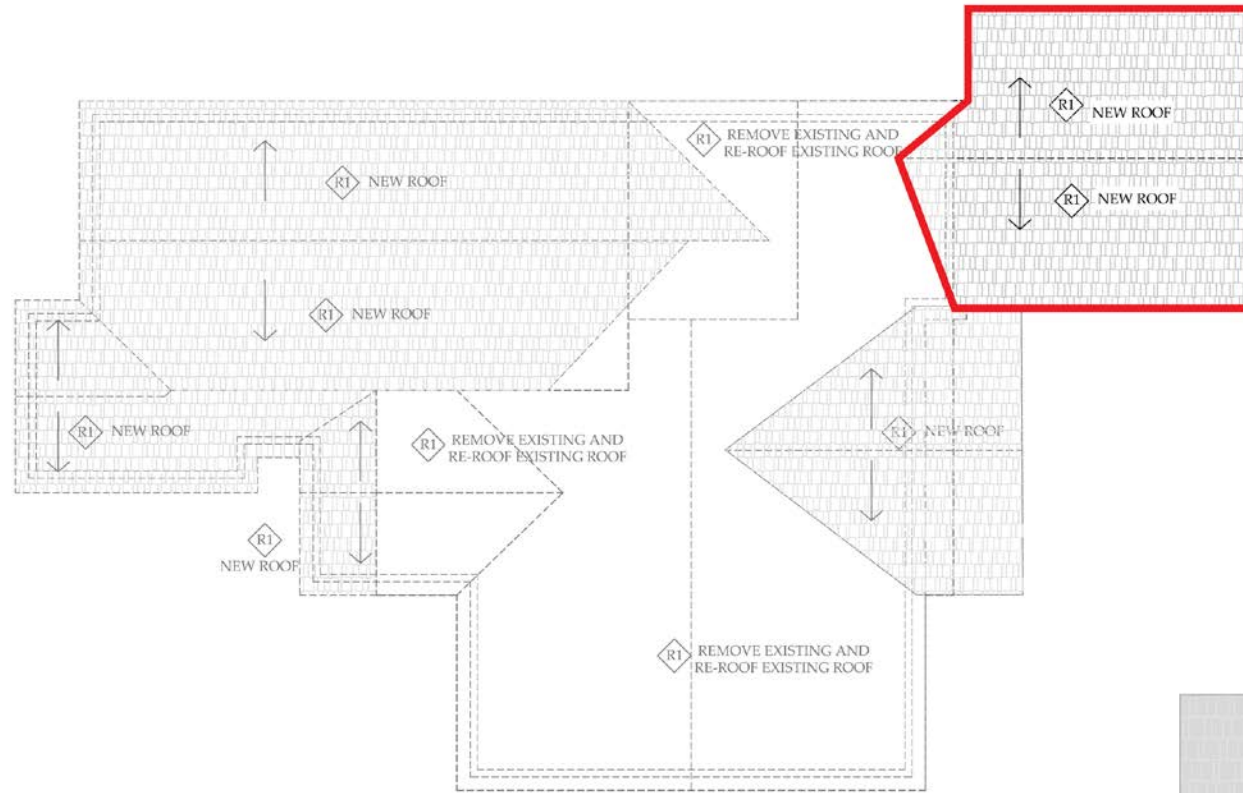
# Survey & Current Photo



# Proposed Design

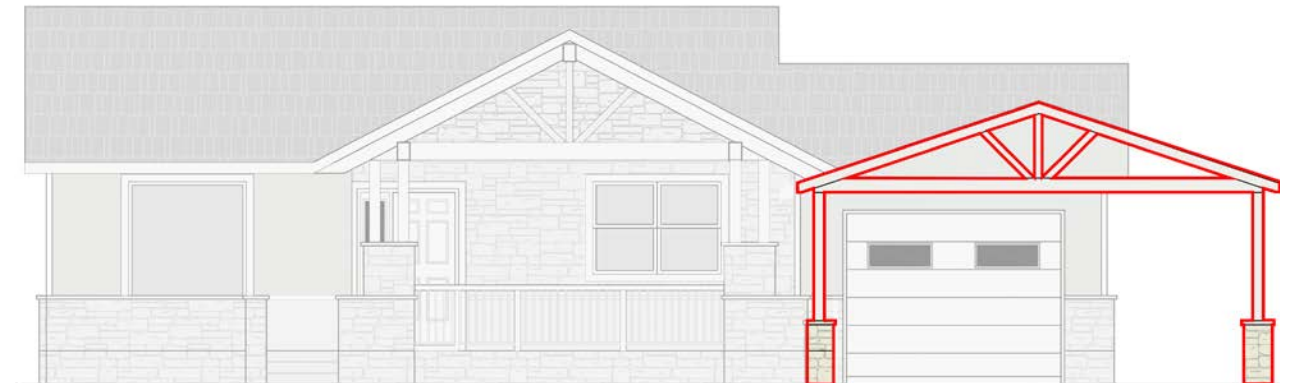


# Proposed Design



**Roof Plan**

**Elevation from Vine Street**



# Approval Criteria – UDC Section 3.13.030

Criteria	Staff's Finding
1. The application is complete and the information contained within the application is correct and sufficient enough to allow adequate review and final action;	<b>Complies</b>
2. Compliance with any design standards of this Code;	<b>Partially Complies</b>
3. Compliance with the Secretary of the Interior's Standards for the Treatment of Historic Properties to the most extent practicable;	<b>Complies</b>
4. Compliance with the adopted Downtown and Old Town Design Guidelines, as may be amended from time to time, specific to the applicable Historic Overlay District;	<b>Partially Complies</b>
5. The general historic, cultural, and architectural integrity of the building, structure or site is preserved;	<b>Complies</b>
6. New buildings or additions are designed to be compatible with surrounding properties in the applicable historic overlay district;	<b>Complies</b>
7. The overall character of the applicable historic overlay district is protected; and	<b>Complies</b>
8. The Master Sign Plan is in keeping with the adopted Downtown and Old Town Design Guidelines and character of the historic overlay district.	<b>Not Applicable</b>



# Setback Approval Criteria – UDC Section 3.13.030

Criteria	Staff's Finding
a. Whether the proposed setback encroachment is solely a matter of convenience;	<b>Partially Complies</b>
b. Whether there is adequate room on the site to allow the proposed addition or new structure without encroaching into the setback;	<b>Complies</b>
c. Whether the proposed setback is compatible and in context within the block in which the subject property is located;	<b>Complies</b>
d. Whether the proposed addition or new structure will be set closer to the street than other units within the block;	<b>Complies</b>
e. Whether the proposed structure is replacing a structure removed within the past year;	<b>Complies</b>
f. Whether the proposed structure will replace a structure that previously existed with relatively the same footprint and encroachment as proposed;	<b>Complies</b>

# Setback Approval Criteria – UDC Section 3.13.030.D.2

Criteria	Staff's Finding
g. If the proposed encroachment is for a structure that is replacing another structure, whether the proposed structure is significantly larger than the original;	<b>Complies</b>
h. If the proposed encroachment is for an addition, the scale of the addition compared to the original house;	<b>Complies</b>
i. The size of the proposed structure compared to similar structures within the same block;	<b>Complies</b>
j. Whether the proposed addition or new structure will negatively impact adjoining properties, including limiting their ability to maintain existing buildings;	<b>Complies</b>
k. Whether there is adequate space for maintenance of the proposed addition or new structure and/or any adjacent structures; and/or	<b>Complies</b>
l. Whether the encroachment would enable existing large trees or significant features of the lot to be preserved.	<b>Not Applicable</b>

# Public Notification

- One (1) sign posted
- Twenty-six (26) letters mailed
- Two (2) public comments in favor

# Recommendation

Staff recommends approval of the request for both setback modifications.

# HARC Motion

- Approve (as presented by the applicant)
- Deny (as presented by the applicant)
- Approve with conditions
- Postpone



# PLANNING & ZONING COMMISSION 2015

P&Z MEETING	Public notice agenda deadline	Staff finalizes notice items on agenda (Word doc)	Notice items approved for notice	Notice Items sent to Sun by noon	Letters mailed and signs ready for pick up after lunch	Non-public notice agenda deadline	Reports due to Principal Planner for review	Novus Agenda items submitted for review	Novus Items finalized and forwarded to Planning Tech	Novus completed. Commission emailed link. Posted online and City Hall.	P&Z Meeting
1st and 3rd Tuesdays	Tuesday 28 days prior	Monday 22 days prior	Tuesday 21 days prior	Wednesday 20 days prior	Friday 18 days prior	Monday 15 days prior	Wednesday 13 days prior	Monday 8 days prior	Wednesday 6 days prior	Friday 4 days prior	1st & 3rd Tuesdays
<b>Jan 6</b>	Dec 9, 2014	Dec 15, 2014	Dec 16, 2014	Dec 17, 2014	Dec 19, 2014	Dec 22, 2014	<b>*Dec 23, '14</b>	Dec 29, 2014	Dec 31, 2014	Jan 2, 2015	<b>Jan 6</b>
<b>Jan 20</b>	Dec 23	Dec 29	Dec 30	Dec 31	Jan 2	Jan 5	Jan 7	Jan 12	Jan 14	Jan 16	<b>Jan 20</b>
<b>Feb 3</b>	Jan 6	Jan 12	Jan 13	Jan 14	Jan 16	<b>*Jan 20</b>	Jan 21	Jan 26	Jan 28	Jan 30	<b>Feb 3</b>
<b>Feb 17</b>	Jan 20	Jan 26	Jan 27	Jan 28	Jan 30	Feb 2	Feb 4	Feb 9	Feb 11	Feb 13	<b>Feb 17</b>
<b>Mar 3</b>	Feb 3	Feb 9	Feb 10	Feb 11	Feb 13	Feb 16	Feb 18	Feb 23	Feb 25	Feb 27	<b>Mar 3</b>
<b>Mar 17</b>	Feb 17	Feb 23	Feb 24	Feb 25	Feb 27	Mar 2	Mar 4	Mar 9	Mar 11	Mar 13	<b>Mar 17</b>
<b>Apr 7</b>	Mar 10	Mar 16	Mar 17	Mar 18	Mar 20	Mar 23	Mar 25	Mar 30	Apr 1	Apr 3	<b>Apr 7</b>
<b>Apr 21</b>	Mar 24	Mar 30	Mar 31	Apr 1	Apr 3	Apr 6	Apr 8	Apr 13	Apr 15	Apr 17	<b>Apr 21</b>
<b>May 5</b>	Apr 7	Apr 13	Apr 14	Apr 15	Apr 17	Apr 20	Apr 22	Apr 27	Apr 29	May 1	<b>May 5</b>
<b>May 19</b>	Apr 21	Apr 27	Apr 28	Apr 29	May 1	May 4	May 6	May 11	May 13	May 15	<b>May 19</b>
<b>Jun 2</b>	May 5	Apr 13	May 12	May 13	May 15	May 18	May 20	<b>*May 22</b>	May 27	May 29	<b>Jun 2</b>
<b>Jun 16</b>	May 19	<b>*May 26</b>	May 26	May 27	May 29	Jun 1	Jun 3	Jun 8	Jun 10	Jun 12	<b>Jun 16</b>
<b>Jul 7</b>	Jun 9	Jun 15	Jun 16	Jun 17	Jun 19	Jun 22	Jun 24	Jun 29	Jul 1	Jul 3	<b>Jul 7</b>
<b>Jul 21</b>	Jun 23	Jun 29	Jun 30	Jul 1	<b>*Jul 2</b>	Jul 6	Jul 8	Jul 13	Jul 15	Jul 17	<b>Jul 21</b>
<b>Aug 4</b>	Jul 7	Jul 13	Jul 14	Jul 15	Jul 17	Jul 20	Jul 22	Jul 27	Jul 29	Jul 31	<b>Aug 4</b>
<b>Aug 18</b>	Jul 21	Jul 27	Jul 28	Jul 29	Jul 31	Aug 3	Aug 5	Aug 10	Aug 12	Aug 14	<b>Aug 18</b>
<b>Sep 1</b>	Aug 4	Aug 10	Aug 11	Aug 12	Aug 14	Aug 17	Aug 19	Aug 24	Aug 26	Aug 28	<b>Sep 1</b>
<b>Sep 15</b>	Aug 18	Aug 24	Aug 25	Aug 26	Aug 28	Aug 31	Sep 2	<b>*Sep 4</b>	Sep 9	Sep 11	<b>Sep 15</b>
<b>Oct 6</b>	Sep 8	Sep 14	Sep 15	Sep 16	Sep 18	Sep 21	Sep 23	Sep 28	Sep 30	Oct 2	<b>Oct 6</b>
<b>Oct 20</b>	Sep 22	Sep 28	Sep 29	Sep 30	Oct 2	Oct 5	Oct 7	Oct 12	Oct 14	Oct 16	<b>Oct 20</b>
<b>Nov 3</b>	Oct 6	Oct 12	Oct 13	Oct 14	Oct 16	Oct 19	Oct 21	Oct 26	Oct 28	Oct 30	<b>Nov 3</b>
<b>Nov 17</b>	Oct 20	Oct 26	Oct 27	Oct 28	Oct 30	Nov 2	Nov 4	Nov 9	Nov 11	Nov 13	<b>Nov 17</b>
<b>Dec 1</b>	Nov 3	Nov 9	Nov 10	Nov 11	Nov 13	Nov 16	Nov 18	Nov 23	Nov 25	<b>*Nov 25</b>	<b>Dec 1</b>
<b>Dec 15</b>	Nov 17	Nov 23	Nov 24	Nov 25	<b>*Nov 25</b>	Nov 30	Dec 2	Dec 7	Dec 9	Dec 11	<b>Dec 15</b>

\* Dates adjusted due to holiday - subject to change depending on updates to holiday calendars, etc.

City of Georgetown, Texas  
Historic and Architectural Review  
March 26, 2020

**SUBJECT:**

**ITEM SUMMARY:**

**FINANCIAL IMPACT:**

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**SUBMITTED BY:**

Mirna Garcia, Management Analyst