

**Notice of Meeting for the
Historic and Architectural Review Commission
of the City of Georgetown
August 22, 2019 at 6:00 PM
at Council and Courts Bldg, 101 E 7th Street Georgetown, TX 78626**

The City of Georgetown is committed to compliance with the Americans with Disabilities Act (ADA). If you require assistance in participating at a public meeting due to a disability, as defined under the ADA, reasonable assistance, adaptations, or accommodations will be provided upon request. Please contact the City Secretary's Office, at least three (3) days prior to the scheduled meeting date, at (512) 930-3652 or City Hall at 808 Martin Luther King Jr. Street, Georgetown, TX 78626 for additional information; TTY users route through Relay Texas at 711.

The Historic and Architectural Review Commission, appointed by the Mayor and the City Council, is responsible for hearing and taking final action on applications, by issuing Certificates of Appropriateness based upon the City Council adopted Downtown Design Guidelines and Unified Development Code.

Welcome and Meeting Procedures:

- Staff Presentation
- Applicant Presentation (Limited to ten minutes unless stated otherwise by the Commission.)
- Questions from Commission to Staff and Applicant
- Comments from Citizens *
- Applicant Response
- Commission Deliberative Process
- Commission Action

*** Those who speak must turn in a speaker form, located at the back of the room, to the recording secretary before the item they wish to address begins. Each speaker will be permitted to address the Commission one time only for a maximum of three minutes.**

Legislative Regular Agenda

- A Consideration and possible action to approve the minutes from the August 8, 2019 regular meeting of the Historic and Architectural Review Commission and re-approval of the minutes from the July 25, 2019 regular meeting due to a modification. Alternate Member Pam Mitchell was in attendance for the July 25 meeting. - Mirna Garcia, Management Analyst
- B ***CONTINUED FROM THE AUGUST 8, 2019 HARC MEETING***
Public Hearing and possible action on a request for a Certificate of Appropriateness for an addition to a street facing façades at the property located at 503 E 14th Street, bearing the legal description of Hughes Addition, BLOCK 5 (SW/PT) (2019-42-COA) – Chelsea Irby, Senior Planner
- C Public Hearing and possible action on a request for a Certificate of Appropriateness for Replacing a Historic Architectural Feature with a Non-Historic Architectural Feature (Siding) at the property located at

1008 S Main Street, bearing the legal description of Lot 2, Block 13 of the Lost Addition (2019-49-COA)
– Chelsea Irby, Senior Planner

D Updates, Commissioner questions, and comments. - Sofia Nelson, Planning Director

Adjournment

Certificate of Posting

I, Robyn Densmore, City Secretary for the City of Georgetown, Texas, do hereby certify that this Notice of Meeting was posted at City Hall, 808 Martin Luther King Jr. Street, Georgetown, TX 78626, a place readily accessible to the general public as required by law, on the _____ day of _____, 2019, at _____, and remained so posted for at least 72 continuous hours preceding the scheduled time of said meeting.

Robyn Densmore, City Secretary

City of Georgetown, Texas
Historic and Architectural Review
August 22, 2019

SUBJECT:

Consideration and possible action to approve the minutes from the August 8, 2019 regular meeting of the Historic and Architectural Review Commission and re-approval of the minutes from the July 25, 2019 regular meeting due to a modification. Alternate Member Pam Mitchell was in attendance for the July 25 meeting. - Mirna Garcia, Management Analyst

ITEM SUMMARY:

FINANCIAL IMPACT:

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SUBMITTED BY:

Mirna Garcia, Management Analyst

ATTACHMENTS:

Description		Type
☐	Minutes	Backup Material
☐	Minutes 7.25.19	Backup Material

City of Georgetown, Texas
Historic and Architectural Review Commission
Minutes
August 8, 2019, 2019 at 6:00 p.m.
Council and Courts Building
510 West 9th Street Georgetown, TX 78626

Members present: Art Browner; Lawrence Romero; Josh Schroeder; Steve Johnston; Terri Asendorf-Hyde; Amanda Parr; Pam Mitchell; Karalei Nunn

Absent: Catherine Morales; Josh Schroeder

Staff present: Nat Waggoner, Long Range Planning Manager; Chelsea Irby, Senior Planner; Mirna Garcia, Management Analyst

Call to order by the Vice-Chair at 6:00 pm.

- A. Consideration and possible action to approve the minutes from the July 25, 2019 regular meeting of the Historic and Architectural Review Commission. – Mirna Garcia, Management Analyst

Motion to approve Item A by Commissioner Johnston, second by Commissioner Asendorf-Hyde. Approved (7-0).

- B. Public Hearing and possible action on a request for a Certificate of Appropriateness for the New Construction of a Single-Family Residence at the property located at 1207 Walnut, bearing the legal description of Snyder's Addition Block 1 (W/PT) (2019-37-COA) – Chelsea Irby, Senior Planner

Staff report presented by Irby. The applicant is requesting to construct a 2,082 sq. ft. single-family structure on a vacant lot in the Old Town Overlay District. The proposed structure will have two street facing facades – 13th Street and Walnut Street. Per Section 3.13 of the Unified Development Code, HARC is the decision-making body for all new construction (infill development) in the Old Town Overlay District. The proposed structure meets the development standards for the Residential Single-Family (RS) zoning district. The proposed structure has a floor-to-area ratio of 0.35. The applicant states the design of the house will be a mid-century farmhouse style, with a monochromatic scheme. Architectural details will include a front porch with exposed rafters, two front gables, a dormer and tall rectangular windows. The structure is proposed to have a combination of siding including horizontal Hardiplank 6" lap siding and board and batten at the gabled ends, asphalt shingles, and 3 over 1 windows.

The block in which this structure is located contains a mixture of low and medium priority structures. The two structures to the north which front University Ave are designated as medium priority, craftsman style homes in the 2016 Historic Resources Survey. Along 13th, to the east of the subject structure are medium and low priority structures which do not have an identifiable style. Although not within the same block as the subject structure, this infill proposal would identify more with the minimum ranch style homes, constructed between 1930

and 1940, located on the south side of 13th Street. The proposed structure fits the character and context of the area

Vice-Chair Romero opened the Public Hearing. No one signed up to speak. Vice-Chair Romero closed the Public Hearing.

Commissioner Parr had a question for the applicant regarding the renderings and the proposed materials. The applicant provided clarification regarding the rendering.

Commissioner Mitchell had a question for staff regarding the height. Irby answered that other structures around the home have a similar height.

Motion to approve Item B (2019-37-COA) as presented by Commissioner Parr. Second by Commissioner Mitchell. Approved (7-0).

- C. Public Hearing and possible action on a request for a Certificate of Appropriateness for an Addition to a Street Facing Façade at the property located at 508 E 7th Street, bearing the legal description of Glasscock Addition, BLOCK 36, Lot 1-2 (W/PTS) (2019-43-COA) – Chelsea Irby, Senior Planner

Staff report presented by Irby. The applicant is redesigning underutilized space in their home on the second story. The internal addition would create a dormer on the east-facing façade of the structure. This dormer would be parallel to E. 7th Street, which would create a street-facing façade. Per Section 3.13 of the Unified Development Code (UDC), HARC has review and approval authority for changes to a street facing façade. The dormer is being proposed on a Tudor Revival structure. A Tudor Revival structure was predominantly seen from 1890 to 1940. The identifying features are a steeply pitched roof (usually side-gabled), a façade with one or more front-facing gables, tall/narrow windows, massive chimneys, and entry porches with a decorative Tudor arch. The proposed dormer utilizes materials (windows, trim, siding, and shingles) that match the existing structure. The proposed dormer will be the same height as the existing dormer on the west façade. The use of a dormer would be the differentiation of the change to the structure, since Tudor structures were not typically constructed with dormers. The Design Guidelines encourage the use of a dormer for second story additions, rather than creating a full second story. The structure currently has a dormer on the west façade. The property dormer would match and complement the existing dormer. The use of dormers is appropriate as it allows the two front gables (which are a part of the Tudor Revival style) to be retained. Adding a full second story would compromise the integrity of the structure.

Vice-Chair Romero opened the Public Hearing. No one signed up to speak. Vice-Chair Romero closed the Public Hearing.

Vice-Chair Romero invited the applicant to speak. Gary Wang, the applicant, provided further clarification for the Commission. He provided additional information and answered the Commissioners' questions.

Motion to approve Item C (2019-43-COA) by Commissioner Mitchell. Second by Commissioner Parr. Approved (7-0).

- D. Public Hearing and possible action on a request for a Certificate of Appropriateness for an addition to a street facing façades at the property located at 503 E 14th Street, bearing the legal description of Hughes Addition, BLOCK 5 (SW/PT) (2019-42-COA) – Chelsea Irby, Senior Planner

Staff report presented by Irby. The applicant is creating an addition for a master bathroom, which affects the south façade (street-facing). The applicant is also creating a covered porch on the rear of the structure which affects the west façade (street-facing). Per Section 3.13 of the Unified Development Code (UDC), HARC has review and approval authority for changes to a street facing façade. The existing structure is Minimal Traditional style with a cross-hipped roof, constructed mainly of brick. As noted on the Historic Resource Survey, the structure has some alternations, but is still significant and contributes to the neighborhood character. Minimal Traditional structures are known for their low or intermediate pitched roofs (generally gabled), double-hung windows, and minimal added architectural features.

South façade: Overall, the proposed addition to the south façade is appropriate because it is located in the rear of the structure, maintains the existing building materials, and has a slight jog in the foundation which helps to create a differentiation. This addition would be adding onto a previous expansion of the original structure. The proposed addition is also compatible in scale. The existing structure is approximately 1,400 sq. ft. The proposed covered patio is 224 sq. ft. and the proposed bathroom addition is 184 sq. ft. The proposed addition will remove a window from existing east façade; however, the window will be re-installed.

West façade: The addition of the covered porch to the rear of the existing structure respects the original structure in size and scale. To maintain the scale, the roofline is extended – however, this extension does not create differentiation. The Design Guidelines do recommend subtle differentiation, in this instance, the applicant proposes shingle plank siding (Hardiplank) and an arch detail for the covered patio. While these provide the differentiation encouraged by the Design Guidelines, the style is not consistent with Minimal Traditional or the existing building materials.

Vice-Chair Romero opened the Public Hearing.

Doris Curl, public speaker, is opposed to the project. She commented that the project does not keep up with the architectural style of the neighborhood.

Commissioner Parr commented on the setback and whether it is in compliance. She also asked about the material proposed.

Commissioner Nunn commented that the arch is out of place. She commented that the arch and the use of materials for the siding don't align.

Commissioner Mitchell asked the applicant if they considered other designs for the patio where the arch is proposed. The applicant addressed the arch and provided additional information for the arch, and the homeowner's request. The applicant considered other options that blended in as best as possible. The homeowner wanted the proposed design to provide more shade coverage when sitting in the patio.

Commissioner Nunn commented about the use of different materials for the siding, and use of different colors to blend in better.

Commissioner Mitchell commented about a design similar to the proposed arch, where the overhang can stay more inline with the roofline and still provide coverage from the sun. The applicant replied that the effect the arch would create as requested by the homeowner deals more with inside the arch and the ceiling coverage.

Vice-Chair Romero asked Irby about the Commission's voting options, and if the item can be moved to the next meeting for consideration. Irby explained that the Commission can choose to table the item to the next meeting if they would like further review. Waggoner also explained to the Commission members that they can approve the item with conditions to modify the arch if they choose to. Commission members expressed that they would like to see the item be discussed again at the following meeting. Irby explained to Commission members that they have to approve the requests in the item at the same time because the requests are under the same application.

Motion to table Item D (2019-42-COA) until the next meeting by Commissioner Johnston. Second by Commissioner Browner. Approved (7-0).

- E. Public Hearing and possible action on a request for a Certificate of Appropriateness for a fence at the property located at 1103 Elm Street, bearing the legal description of Lot 8, Block 25 of the Glasscock Addition (2019-50-COA) – Chelsea Irby, Senior Planner

Staff report presented by Irby. The applicant is requesting to construct a fence which does not meet the Unified Development and Downtown Design Guidelines criteria for height and materials. Fences in the Old Town Overlay District are regulated by Section 8.07.040 of the Unified Development Code (UDC). The UDC states that fences located in a front yard or side setback abutting a local or collector-level street are allowed with the following limitations: 1.) Fences shall be limited to four feet in height, except in the Old Town Overlay District where height is limited to three feet. 2) Fences shall be at least 50 percent (50%) transparent. For example, a wrought iron fence or picket fence that has openings the width of the picket. 3) Chainlink fences are prohibited in these locations. The property at 1103 Elm Street, which contains a medium priority structure, had a 6' fence which was recently removed. The original fence was considered legal non-conforming because it did not meet the UDC requirements as it was located in the side street setback and 6' in height and not 50% transparent. However, Section 14 of the UDC states that legal non-conforming status is no longer valid when the non-conformity has been expanded or removed. The original fence was removed and the applicant is requesting to construct a new 6' fence in the approximate location, which is 3' higher than allowed by the UDC. Section 3.13 of the UDC gives HARC the authority to approve fences that are inconsistent with the overlay district's characteristics and the applicable guidelines.

The Commission asked the applicant about the material used for the fence. The applicant spoke and explained that wood is being used, and the fence is 16 feet from the curb. The applicant also explained the reason for the height of the fence is to provide privacy.

Vice-Chair Romero opened the Public Hearing. No one signed up to speak. Vice-Chair Romero closed the Public Hearing.

Motion to approve Item E (2019-50-COA) by Commissioner Parr. Second by Commissioner Nunn. Approved (6-1) with Commissioner Mitchell opposed.

F. Updates, Commissioner Questions and comments. Sofia Nelson, Planning Director

There are no updates at this time.

Commissioner Parr asked about the vacant historic planner position. Waggoner explained that interviews have been held. However, due to recent legislative changes, staff have been working to review Department processes in preparation for the effective date of a new bill.

Adjournment

Motion to adjourn by Commissioner Nunn, second by Commissioner Mitchell.

Meeting adjourned at 7:05pm.

Approved, Josh Schroeder, Chair

Attest, Amanda Parr, Secretary

City of Georgetown, Texas
Historic and Architectural Review Commission
Minutes
July 25, 2019, 2019 at 6:00 p.m.
Council and Courts Building
510 West 9th Street Georgetown, TX 78626

Members present: Art Browner; Lawrence Romero; Josh Schroeder; Steve Johnston; Terri Asendorf-Hyde; Amanda Parr; Pam Mitchell

Absent: Catherine Morales; Karalei Nunn

Staff present: Nat Waggoner, Long Range Planning Manager; Mirna Garcia, Management Analyst

Call to order by the Chair at 6:00 pm.

- A. Consideration and possible action to approve the minutes from the June 27, 2019 and July 11, 2019 regular meeting of the Historic and Architectural Review Commission. – Mirna Garcia, Management Analyst

Motion to approve the minutes as presented by Commissioner Romero. Second by Commissioner Asendorf-Hyde. Approved (6-0).

- B. Public Hearing and possible action on a request for a Certificate of Appropriateness for: 1) 15' setback encroachment along the property line adjacent to S Myrtle Street, into the required 25' setback, allowing for detached garage structure 10' from the property line per the Unified Development Code (UDC) Section 4.08d.080.D; 2) street facing facade garage addition, for the property located at 304 E University, bearing the legal description of 0.66 acres of the Hughes 2nd Addition, Block A (W/PT) (2019-35-COA). Chelsea Irby, Senior Planner

The staff report was presented by Waggoner. The applicant is requesting to construct a detached garage in the same location of the original garage. Per UDC Section 3.13, HARC has review and approval authority for the following elements of this request: 1) Addition of a street facing facade (detached garage); 2) Setback modification (15' into the 25' setback). The addition of a street facing facade (detached garage) would be 14' at the setback, which is an allowable building height. The applicant proposes to use the same roof and siding materials as the main structure, which is in conformance with the Downtown and Old Town Design Guidelines. The proposed structure would be a single-gabled roof. The street facing facade would have two faux dormers, two panel garage doors, and one faux panel garage door. Constructing the garage to match the materials of the primary structure would maintain the character of the high-priority primary structure. The location of the proposed structure would require a setback modification. The original structure was 10' from the property line, which encroached 15' into the 25' garage-facing setback. The original structure was demolished and the driveway apron remained. The applicant proposes to construct a new detached garage in the same location. There is room on the lot to move the structure back to respect the 25' setback; however, there are two trees that would be encroached upon. Additionally, there would not be a negative impact to the surrounding properties. There are also other detached garages nearby with similar setbacks.

Constructing the garage in the original location would maintain the character of the high-priority primary structure.

There was one public comment in support of the project, which was submitted by email earlier in the day. Waggoner provided a copy to the Commissioners.

Commissioner Browner asked if the trees are heritage trees. Waggoner explained that they are not, and the department's landscape planner conducted a site visit to identify the trees.

Commissioner Romero asked if the placement of the garage will affect the trees. The applicant explained that it will not.

Chair Schroeder opened the Public Hearing. No one signed up to speak. Chair Schroeder closed the Public Hearing.

Motion to approve Item B as presented by Commissioner Romero. Second by Commissioner Johnston. Approved (6-0).

- C. Public Hearing and possible action on a request for a Certificate of Appropriateness for the replacement of five windows for the property located at 1607 S Church Street, bearing the legal description of 0.15 acres of the Southside Addition, Block 1 (SW/PT) (2019-40-COA). Chelsea Irby, Senior Planner

The staff report presented by Waggoner. The applicant is requesting to replace five (5) windows on a medium priority structure in the Old Town Overlay District. As noted on the Historic Resource Survey, the structure is a one-story Minimal Traditional style house clad in wood siding with an irregular plan and a cross-hipped roof. The structure as a non-historic addition in the rear. The Historic Resource Survey also notes that the structure retains a relatively high degree of integrity. The window grouping proposed for replacement are fixed casement metal, located on the street-facing façade, to the left of the entryway on an articulated wall. The windows are grouped together and create a character defining element of the structure. The existing configuration is a large single-paned window flanked with five (5) paned vertical windows on either side. There are two (2) additional windows parallel to the façade of the home with a similar configuration of five (5) panes which the applicant also intends to replace. The window trim and muntins are black on the exterior and white on the interior. The applicant proposes to replace the windows and maintain the same material, size, location, color, and configuration (5 panes). However, the proposed replacements will not retain their functionality. The replacement windows will not swing open. The operation of the window is not a character defining feature. Recent UDC changes support the replacement of historic materials with in kind materials for low and medium priority structures. Staff recommends approval of the request.

Commissioners Browner and Romero had questions about the windows, and how they open. The applicant explained that the windows are going to be replaced so that they function as originally intended. They currently do not open.

Commissioner Parr had a question about the material used. The applicant explained that the casement material will be vinyl which will help with energy efficiency and will also be a similar look to wood to match the exterior more closely.

Chair Schroeder opened the Public Hearing. No one signed up to speak. Chair Schroeder closed the Public Hearing.

Motion to approve Item C as presented by Commissioner Romero. Second by Commissioner Parr. Approved (6-0).

- D. Presentation and discussion of a request for a Commercial Addition and Renovation for the property located at 101 E. 7th Street, bearing the legal description of 0.14 ac. Georgetown, City of, Block 39, Lot 2-39 (W/PTS), (COA-2018-046). Nat Waggoner, AICP, PMP, Long Range Planner

Waggoner explained to the Commission that the item was pulled from the agenda. When the application was initially submitted, it was reviewed and processed for HARC approval. However, after further review, it was determined that the application can be reviewed by staff. The item has been pulled from the agenda as HARC approval is not required.

Larry Olson, public speaker for the item, commented that he liked the project.

Waggoner let the Commission know he can answer questions regarding the project if needed.

- E. Updates, Commissioner questions and comments. Sofia Nelson, Planning Director

There are no updates at this time.

Waggoner discussed a training opportunity the Commission members might consider in Seguin, Texas on 8/16/2019. He will send a follow up email with the training information and suggests Commission members attend.

Adjournment

**Motion to adjourn by Commissioner Romero, second by Commissioner Parr. Approved (6-0).
Meeting adjourned at 6:26pm.**

Approved, Josh Schroeder, Chair

Attest, Amanda Parr, Secretary

City of Georgetown, Texas
Historic and Architectural Review
August 22, 2019

SUBJECT:

CONTINUED FROM THE AUGUST 8, 2019 HARC MEETING

Public Hearing and possible action on a request for a Certificate of Appropriateness for an addition to a street facing façades at the property located at 503 E 14th Street, bearing the legal description of Hughes Addition, BLOCK 5 (SW/PT) (2019-42-COA) – Chelsea Irby, Senior Planner

ITEM SUMMARY:

Overview of the Applicant's Request

The applicant is creating an addition for a master bathroom, which affects the south façade (street-facing). The applicant is also creating a covered porch on the rear of the structure which affects the west façade (street-facing). Per Section 3.13 of the Unified Development Code (UDC), HARC has review and approval authority for changes to a street facing façade.

Public Comments

One member of the public spoke in opposition at the 08/08/2019 meeting during the public hearing.

Staff Findings

The existing structure is Minimal Traditional style with a cross-hipped roof, constructed mainly of brick. As noted on the Historic Resource Survey, the structure has some alternations, but is still significant and contributes to the neighborhood character. Minimal Traditional structures are known for their low or intermediate pitched roofs (generally gabled), double-hung windows, and minimal added architectural features.

South façade:

Overall, the proposed addition to the south façade is appropriate because it is located in the rear of the structure, maintains the existing building materials, and has a slight jog in the foundation which helps to create a differentiation. This addition would be adding onto a previous expansion of the original structure. The proposed addition is also compatible in scale. The existing structure is approximately 1,400 sq. ft. The proposed covered patio is 224 sq. ft. and the proposed bathroom addition is 184 sq. ft. The proposed addition will remove a window from existing east façade; however, the window will be re-installed.

West façade:

The addition of the covered porch to the rear of the existing structure respects the original structure in size and scale. To maintain the scale, the roofline is extended – however, this extension does not create differentiation. The Design Guidelines do recommend subtle differentiation, in this instance, the applicant proposes shingle plank siding (Hardiplank) and an arch detail for the covered patio. While these provide the differentiation encouraged by the Design Guidelines, the style is not consistent with Minimal Traditional or the existing building materials.

FINANCIAL IMPACT:

None. The applicant has paid all required fees.

SUBMITTED BY:

Chelsea Irby, Senior Planner

ATTACHMENTS:

	Description	Type
▢	Staff Report	Backup Material
▢	Exhibit 1 - Location Map	Backup Material
▢	Exhibit 2 - Letter of Intent	Backup Material
▢	Exhibit 3 - Plans and Renderings	Backup Material
▢	Exhibit 4 - Historic Resource Survey	Backup Material
▢	Exhibit 5 - Updated Plans and Renderings	Backup Material

Planning Department Staff Report

Historic and Architectural Review Commission (HARC)

Meeting Date: August 8, 2019

File Number: 2019-42-COA

AGENDA ITEM DESCRIPTION

Public Hearing and possible action on a request for a Certificate of Appropriateness for an addition to a street facing façades at the property located at 503 E 14th Street, bearing the legal description of Hughes Addition, BLOCK 5 (SW/PT) (2019-42-COA) – Chelsea Irby, Senior Planner

AGENDA ITEM DETAILS

Project Name: Flagg House - Addition
Applicant: Travis Adams (Riata Builders)
Property Owner: Kristi Flagg
Property Address: 503 E 14th Street
Legal Description: Hughes Addition, BLOCK 5 (SW/PT)
Historic Overlay: Old Town Overlay
Case History: No notable case history

HISTORIC CONTEXT

Date of Construction: 1950
Historic Resources Survey Level of Priority: 1984 – N/A
2007 – Medium
2016 – Medium
National Register Designation: No
Texas Historical Commission Designation: No

APPLICANT'S REQUEST

The applicant is creating an addition for a master bathroom, which affects the south façade (street-facing). The applicant is also creating a covered porch on the rear of the structure which affects the west façade (street-facing). Per Section 3.13 of the Unified Development Code (UDC), HARC has review and approval authority for changes to a street facing façade.

STAFF ANALYSIS

The existing structure is Minimal Traditional style with a cross-hipped roof, constructed mainly of brick. As noted on the Historic Resource Survey, the structure has some alternations, but is still significant and contributes to the neighborhood character. Minimal Traditional structures are known for their low or intermediate pitched roofs (generally gabled), double-hung windows, and minimal added architectural features.

Planning Department Staff Report

Historic and Architectural Review Commission (HARC)

South façade:

Overall, the proposed addition to the south façade is appropriate because it is located in the rear of the structure, maintains the existing building materials, and has a slight jog in the foundation which helps to create a differentiation. This addition would be adding onto a previous expansion of the original structure. The proposed addition is also compatible in scale. The existing structure is approximately 1,400 sq. ft. The proposed covered patio is 224 sq. ft. and the proposed bathroom addition is 184 sq. ft. The proposed addition will remove a window from existing east façade; however, the window will be re-installed.

West façade:

The addition of the covered porch to the rear of the existing structure respects the original structure in size and scale. To maintain the scale, the roofline is extended – however, this extension does not create differentiation. The Design Guidelines do recommend subtle differentiation, in this instance, the applicant proposes shingle plank siding (Hardiplank) and an arch detail for the covered patio. While these provide the differentiation encouraged by the Design Guidelines, the style is not consistent with Minimal Traditional or the existing building materials.

APPLICABLE DESIGN GUIDELINES

The following guidelines are applicable to the proposed scope of work in accordance with the adopted Downtown and Old Town Design Guidelines:

CHAPTER 7 DESIGN GUIDELINES FOR ADAPTIVE RE-USE, ADDITIONS & ALTERATIONS	FINDINGS
7.1 Avoid alterations that would damage historic features. <ul style="list-style-type: none">✓ Avoid alterations that would hinder the ability to interpret the design character of the original building.✓ Alterations that seek to imply an earlier period than that of the building are inappropriate.	Complies The additions do not remove or damage any historic features.
7.6 Design a new addition such that the original character can be clearly seen. In this way, a viewer can understand the history of changes that have occurred to the building. <ul style="list-style-type: none">✓ An addition should be made distinguishable from the original building, even in subtle ways, such that the character of the original can be interpreted.✓ Creating a jog in the foundation between the original and new structures may help to define an addition.✓ The amount of foundation exposed on the addition should match that of the original building, in appearance, detail, and material.✓ Even applying a new trim board at the connection point between the addition and the original structure can help define the addition.	Partially Complies South façade: The proposed addition will utilize the same materials as the existing structure, which is brick. It is important to use the same materials since the guidelines encourage this. However, continuing the use of brick will make the addition hard to differentiate. The addition does have a slight jog in the

Planning Department Staff Report

Historic and Architectural Review Commission (HARC)

<p>✓ See also Preservation Briefs #14: New Exterior Additions to Historic Buildings, published by the National Park Service. https://www.nps.gov/tps/how-to-preserve/briefs/14-exterior-additions.htm</p>	<p>foundation and is placed in the rear of the structure.</p> <p>West façade: The addition of the covered porch is differentiated by the use of shingle shake siding and an arch design. While the arch design does help to create a differentiation, it is not consistent with the straight lines of the Minimal Traditional style of the structure.</p>
<p>7.7 Place an addition at the rear of a building or set it back from the front to minimize the visual impacts.</p> <ul style="list-style-type: none">✓ Setting an addition back from any primary, character-defining façade will allow the original proportions and character to remain prominent.✓ Locating an addition at the front of a structure is inappropriate, and an addition should be to the rear of the building, when feasible.	<p>Complies The additions are located at the rear of the structure.</p>
<p>7.8 Do not obscure, damage, destroy, or remove original architectural details and materials of the primary structure.</p> <ul style="list-style-type: none">✓ When preserving original details and materials, follow the guidelines presented earlier in this chapter.	<p>Complies The additions do not remove or damage any architectural details.</p>
<p>7.9 An addition shall be compatible in scale, materials, and character with the main building.</p> <ul style="list-style-type: none">✓ An addition shall relate to the historic building in mass, scale, and form. It should be designed to remain subordinate to the main structure.✓ While a smaller addition is visually preferable, if a residential addition would be significantly larger than the original building, one option is to separate it from the primary building, when feasible, and then link it with a smaller connecting structure.	<p>Complies The additions are compatible in scale to the existing structure and are placed in the rear and use the same building materials. The existing structure is approximately 1,400 sq. ft. The proposed covered patio is 224 sq. ft. and the proposed bathroom addition is 184 sq. ft.</p>

Planning Department Staff Report

Historic and Architectural Review Commission (HARC)

<ul style="list-style-type: none"> ✓ An addition should be simple in design to prevent it from competing with the primary facade. N.A. Consider adding dormers to create second story spaces before changing the scale of the building by adding a full second floor. 	
<p>7.10 The roof form of a new addition shall be in character with that of the primary building.</p> <ul style="list-style-type: none"> ✓ Typically, gable, hip, and shed roofs are appropriate for residential additions. Flat roofs are appropriate for commercial buildings in the downtown area. ✓ Repeat existing roof slopes, overhangs, and materials. ✓ If the roof of the primary building is symmetrically proportioned, the roof of the addition should be similar. ✓ The roofs of additions should not interfere with the original roof form by changing its basic shape or view of the original roof, and should have a roof form compatible with the original building. 	<p>Complies</p> <p>The additions maintain the roof line of the existing structure by extending them. The same roof materials are proposed to be used.</p>
CHAPTER 14 DESIGN GUIDELINES FOR INFILL CONSTRUCTION AND ADDITIONS IN THE OLD TOWN OVERLAY DISTRICT	FINDINGS
<p>14.1 Locate a new building using a residential type setback.</p> <ul style="list-style-type: none"> N.A. Align the new non-residential building front at a setback that is in context with the area properties N.A. New residential buildings should meet the minimum front setback requirement of the UDC or use an increased setback if the block has historically developed with an extended setback ✓ Generally, additions should not be added to the front facing façades. N.A. Where no sidewalk exists, one should be installed that aligns with nearby sidewalks. 	<p>Complies</p> <p>The additions are located in the rear and meet the setback requirements of the zoning district.</p>
<p>14.9 Historic building materials of existing buildings should be maintained and respected when additions are proposed.</p> <ul style="list-style-type: none"> ✓ See Chapter 5 for design guidelines related to maintaining and protecting historic building materials. 	<p>Complies</p> <p>The additions do not remove or damage any historic building materials.</p>
<p>14.10 Non-traditional siding materials are discouraged.</p> <ul style="list-style-type: none"> ✓ Typically, artificial stone and brick veneer are not appropriate. ✓ Asphalt shingles are not appropriate. ✓ Aluminum and vinyl are not appropriate. 	<p>Complies</p> <p>The addition utilizes the same building materials as the existing structure, which is brick. The Design Guidelines encourage the use of the original building material.</p>

Planning Department Staff Report

Historic and Architectural Review Commission (HARC)

<p>14.11 Avoid alterations that would damage historic features.</p> <ul style="list-style-type: none">✓ Avoid alterations that would hinder the ability to interpret the design character of the original building or period of significance.✓ Alterations that seek to imply an earlier period than that of the building are inappropriate.	<p>Complies</p> <p>The additions do not remove or damage any historic features.</p>
<p>14.12 An addition shall be compatible in scale, materials, and character with the main building.</p> <ul style="list-style-type: none">✓ An addition shall relate to the building in mass, scale, and form. It should be designed to remain subordinate to the main structure✓ An addition to the front of a building is usually inappropriate.	<p>Complies</p> <p>The additions are compatible in scale to the existing structure and are placed in the rear.</p>
<p>14.13 Design a new addition such that the original character can be clearly seen.</p> <ul style="list-style-type: none">✓ In this way, a viewer can understand the history of changes that have occurred to the building.✓ An addition should be distinguishable from the original building, even in subtle ways, such that the character of the original can be interpreted.✓ Creating a jog in the foundation between the original and new structures may help to define an addition.✓ Even applying new trim board at the connection point between the addition and the original structure can help define the addition.✓ See also Preservation Briefs #14: New Exterior Additions to Historic Buildings, published by the National Park Service.	<p>Partially Complies</p> <p>South façade:</p> <ul style="list-style-type: none">• The proposed addition will utilize the same materials as the existing structure, which is brick. It is important to use the same materials since the guidelines encourage this. However, continuing the use of brick will make the addition hard to differentiate. The addition does have a slight jog in the foundation and is placed in the rear of the structure. <p>West façade:</p> <ul style="list-style-type: none">• The addition of the covered porch is differentiated by the use of shingle shake siding and an arch design. While the arch design does help to create a differentiation, it is not

Planning Department Staff Report

Historic and Architectural Review Commission (HARC)

	consistent with the straight lines of the Minimal Traditional style of the structure.
<p>14.14 Place an addition at the rear of a building or set it back from the front to minimize the visual impacts.</p> <ul style="list-style-type: none">✓ Setting an addition back from any primary, character-defining façade will allow the original proportions and character to remain prominent.✓ Locating an addition at the front of a structure is inappropriate, and an addition should be to the rear of the building, when feasible.	<p>Complies</p> <p>The additions are located at the rear of the structure.</p>
<p>14.15 Do not obscure, damage, destroy, or remove original architectural details and materials of the primary structure.</p> <ul style="list-style-type: none">✓ When preserving original details and materials, follow the guidelines presented in this document.	<p>Complies</p> <p>Original architectural details and materials are not being damaged, destroyed, or removed.</p>
<p>14.16 An addition shall be compatible in scale, materials, and character with the main building.</p> <ul style="list-style-type: none">✓ An addition shall relate to the historic building in mass, scale, and form. It should be designed to remain subordinate to the main structure.✓ While a smaller addition is visually preferable, if a residential addition would be significantly larger than the original building, one option is to separate it from the primary building, when feasible, and then link it with a smaller connecting structure.✓ An addition should be simple in design to prevent it from competing with the primary facade.✓ Consider adding dormers to create second story spaces before changing the scale of the building by adding a full second floor.	<p>Complies</p> <p>The additions are compatible in scale to the existing structure and are placed in the rear.</p>
<p>14.17 An addition shall be set back from any primary, character-defining façade.</p> <ul style="list-style-type: none">✓ An addition should be to the rear of the building, when feasible.	<p>Complies</p> <p>The additions are located at the rear of the structure.</p>
<p>14.18 The roof of a new addition shall be in character with that of the primary building.</p>	<p>Complies</p> <p>The additions maintain the roof line of the existing structure by extending them. The same roof</p>

Planning Department Staff Report

Historic and Architectural Review Commission (HARC)

<ul style="list-style-type: none"> ✓ Typically, gable, hip, and shed roofs are appropriate for residential additions. Flat roofs may be more appropriate for commercial buildings. ✓ Repeat existing roof slopes and materials. ✓ If the roof of the primary building is symmetrically proportioned, the roof of the addition should be similar. 	materials are proposed to be used.
<p>14.19 The architectural features of existing buildings should be protected when additions are proposed.</p> <ul style="list-style-type: none"> ✓ See Chapter 4 for design guidelines related to protecting architectural features. 	<p>Complies</p> <p>The architectural features of the existing structure remain protected.</p>
<p>14.20 An addition shall not damage or obscure architecturally important features.</p> <ul style="list-style-type: none"> ✓ For example, loss or alteration of a porch should be avoided. ✓ Addition of a porch may be inappropriate 	<p>Complies</p> <p>The architectural features of the existing structure are not damaged.</p>
<p>14.21 An addition may be made to the roof of a building if it does the following:</p> <ul style="list-style-type: none"> ✓ An addition should be set back from the primary, character-defining façade, to preserve the perception of the historic scale of the building. ✓ Its design should be modest in character, so it will not attract attention from the historic façade. × The addition should be distinguishable as new, albeit in a subtle way. 	<p>Partially Complies</p> <p>The additions extend the existing roofline of the structure. The materials used for the west façade provide differentiation, which offsets the lack of differentiation in the roof. However, for the south façade, the materials do not provide differentiation – only the slight jog in the foundation. It may be appropriate to have a change in the roofline of the south façade, to create more differentiation.</p>
<p>14.22 Individual building elements of existing buildings should be preserved, protected, and replicated where appropriate when additions are proposed.</p> <ul style="list-style-type: none"> ✓ See Chapter 6 for design guidelines related to preserving individual building elements. 	<p>Complies</p> <p>The additions utilize the existing building and roof materials.</p>

Planning Department Staff Report

Historic and Architectural Review Commission (HARC)

In accordance with Section 3.13.030 of the Unified Development Code, the HARC must consider the following criteria:

SECTION 3.13.030 CRITERIA	FINDINGS
1. The application is complete and the information contained within the application is correct and sufficient enough to allow adequate review and final action;	Complies
2. Compliance with any design standards of this Code;	Complies
3. Compliance with the Secretary of the Interior's Standards for the Treatment of Historic Properties to the most extent practicable;	Complies
4. Compliance with the adopted Downtown and Old Town Design Guidelines, as may be amended from time to time, specific to the applicable Historic Overlay District;	Partially Complies
5. The general historic, cultural, and architectural integrity of the building, structure or site is preserved;	Complies
6. New buildings or additions are designed to be compatible with surrounding properties in the applicable historic overlay district;	Complies
7. The overall character of the applicable historic overlay district is protected; and	Complies
8. The Master Sign Plan is in keeping with the adopted Downtown and Old Town Design Guidelines and character of the historic overlay district.	N/A

STAFF RECOMMENDATION

Staff recommends approval of the request.

PUBLIC COMMENTS

As of the date of this report, staff has not received any written comments.

ATTACHMENTS

Exhibit 1 – Location Map
Exhibit 2 – Letter of Intent
Exhibit 3 – Plans and Renderings
Exhibit 4 – Historic Resource Survey

SUBMITTED BY

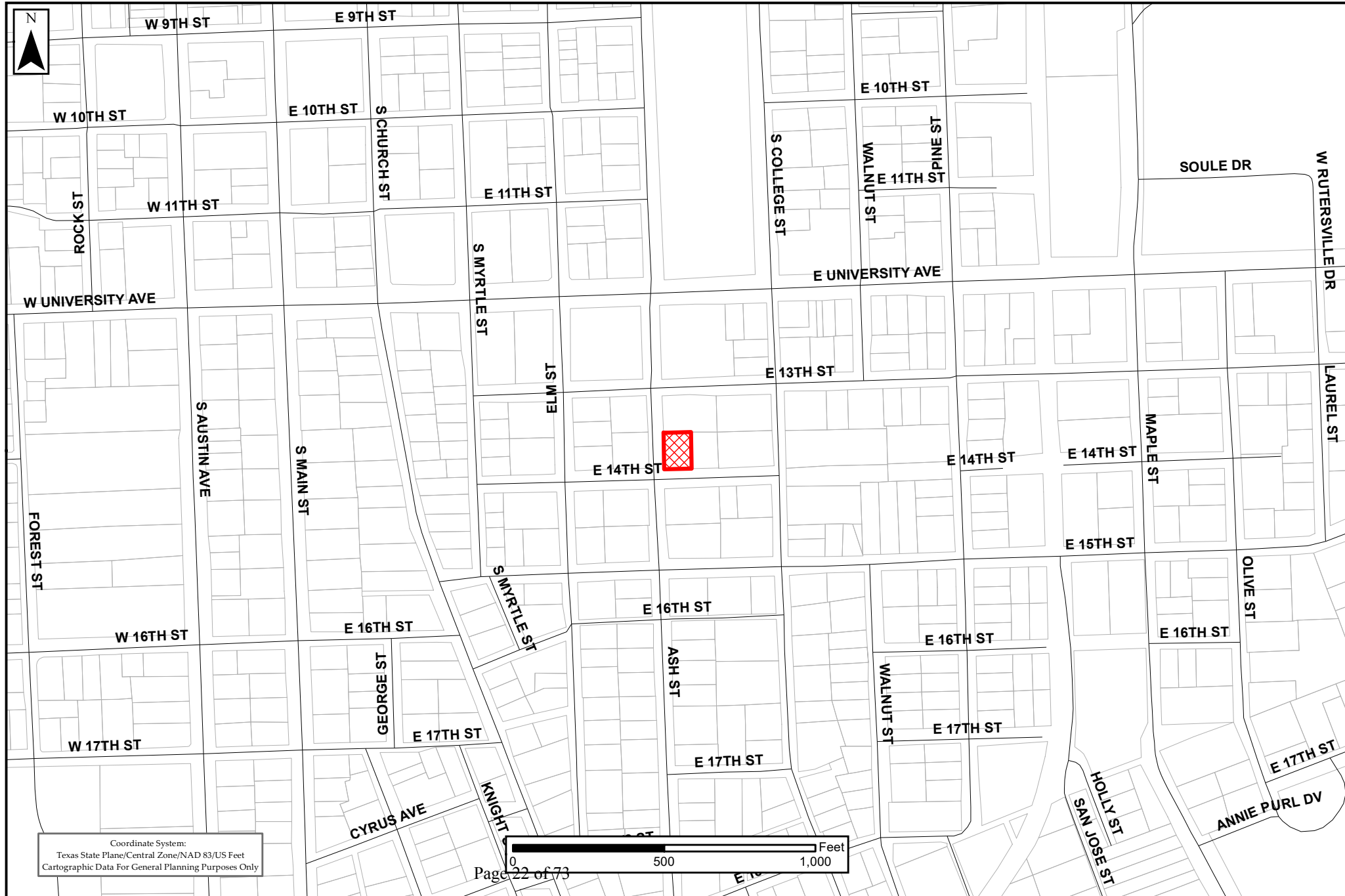
Chelsea Irby, Senior Planner

Location Map

2019-42-COA

Exhibit #1

- Legend
-  Site
 -  Parcels
 -  City Limits
 -  Georgetown ETJ



The Flagg House

Letter of Intent

Title: Residential Addition in Old Town, 503 E 14th St.

Zoning District: RS (Residential, Single Family)

Texas Historical Commission Survey Preservation Priority: Medium

Project Information

Proposed Use: Residential

Zoning District: Residential, Single Family

Acreage: .2459 (10,711 sq. ft)

Proposed Total Impervious Cover: 3,316 sq. ft (31%)

Legal Description of Property: S3810 - Hughes Addition, BLOCK 5(SW/PT), ACRES 0.2459

Project Participants

Builder/ Designer: Travis Adams c/o Riata Builders, 1799 CR 245 Georgetown, TX 78633

Phone: (512)-818-1117

E-mail: tadams.riata@hotmail.com

Owners: Kristi Flagg, 503 E. 14th St. Georgetown, TX 78626

Phone: (512)-948-6341

E-mail: khflagg@gmail.com

Utility Providers: City of Georgetown (electric, water, sewer) & Atmos (gas).

Purpose of Addition:

The proposed Addition will include 2 parts: Addition of a new master bathroom, and Addition of a new covered patio. The purpose of these additions will be to provide the homeowner with a traditional master suite that the existing house doesn't offer and to allow some outdoor entertaining space.

Master Bathroom:

The addition of the new master bathroom will be on the East side of the house toward the north end and will be visible from 14th street. The street facing facade will be painted brick to match the existing structure. The roof over the new portion will tie into the existing and will use the same pitches and hip style as the existing. To clearly differentiate the existing from the addition without sacrificing appearance we have designed a jog in the foundation that will also provide a break in the roof line. The Paint colors that will be used will be matched directly from the existing structure. The windows being used on the east side of the addition will be removed from the existing bedroom and reused.

Covered Patio:

The patio addition will be on the north side of the house toward the east and will be visible from Ash st. The patio will not be accessible from the house, but it will be connected to the existing roof line. The new roof will be built with the same pitch as existing to correspond. The patio will be constructed with open air walls up to 8 ft from grade but will have siding walls above that up to the roof line to provide shade, Because the existing house is 100% masonry and does not have any siding to match we are going to use a shingle shake type siding to complement the era of the existing. We plan on incorporating an arch ceiling over a portion of the patio that will provide a distinction from the existing to the addition. Paint colors are to match existing.

The Flagg Res. Bathroom Addition

503 E. 14th st
Georgetown, TX 78626

WCAD INFO:

Property Type: Residential

Legal Description: S3810 - Hughes Addition, BLOCK 5(SW/PT), ACRES 0.2459

Neighborhood: G618T60I - Central Georgetown Less than 1960 Year blt.

Account: R-20-5800-0000-0017

Map Number: 3-1127

Layout Page Table			
Label	Title	Description	Comments
P-01	Plan Info		NTS
P-02	Existing		1/8"=1'
P-03	Existing Photos		NTS
P-04	Proposed		1/8"=1'
P-05	3D Elevation		NTS
P-06	Ext. Elevations		1/8"=1'
P-07	Ext. Elevations		1/8"=1'
P-08	Material Data		NTS
P-09	Electrical		1/8"=1'
P-010	Roof Plan		1/8"=1'
P-011	Site Plan		1"=10'



DRAWINGS PROVIDED BY:
Travis Adams
Riata Builders
Tadams.riata@hotmail.com
512.818.1117



Flagg Res.
503 E 16th st
Georgetown, TX
78626

Plan Info

DATE:

7/11/2019

SCALE:

NTS

SHEET:

11"x17"

PAGE:

P-01



Street Facing Photos



Rear of house
(location of proposed covered
patio)



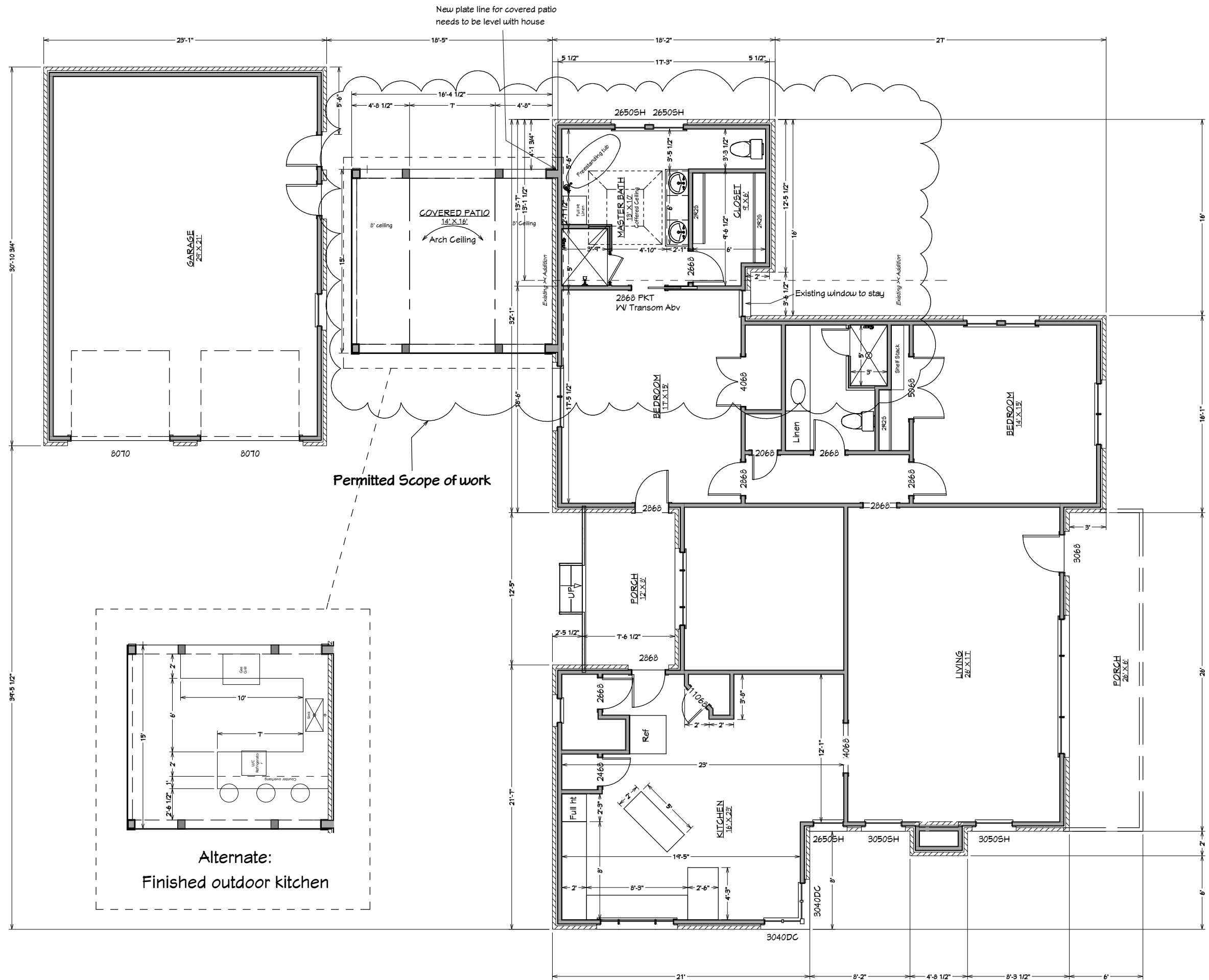
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Riata Builders
Tadams.riata@hotmail.com
512.818.1117




Flagg Res.
503 E 16th st
Georgetown, TX
78626

Existing Photos

DATE:
7/11/2019
SCALE:
NTS
SHEET:
11"x17"
PAGE:
P-03





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 Travis Adams
 Riata Builders
 Tadams.riata@hotmail.com
 512.818.1117

Flagg Res.
 503 E 16th st
 Georgetown, TX
 78626

Proposed

DATE:

7/11/2019

SCALE:

1/8" = 1'

SHEET:

11"x17"

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P-04



Street View of new Addition



View of new covered patio on rear of house



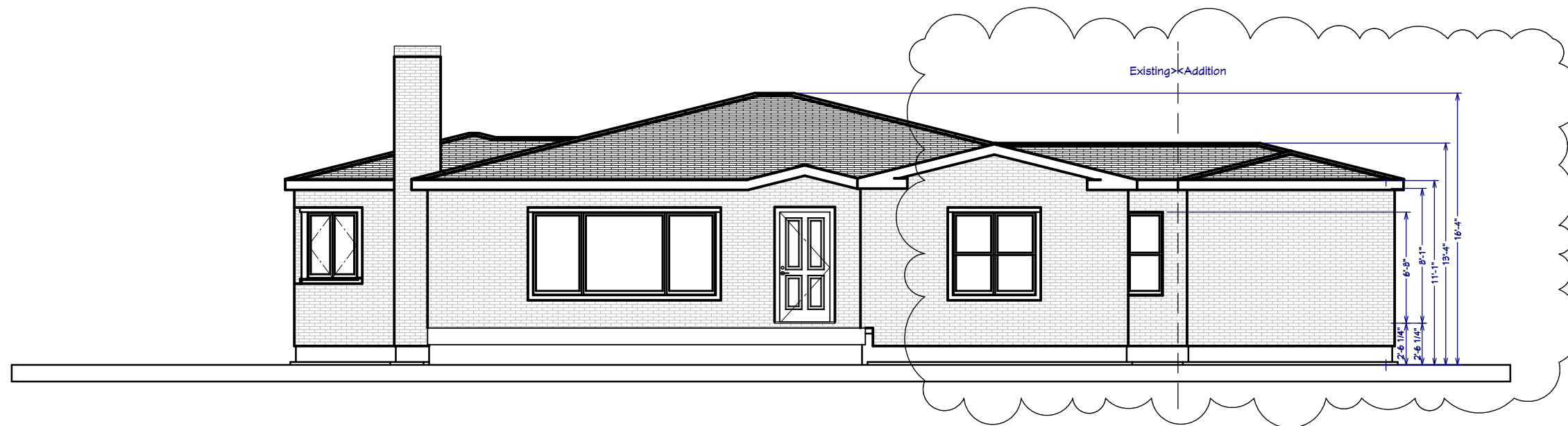
DRAWINGS PROVIDED BY:
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 Riata Builders
 Tadam@riata.com
 512.818.1117



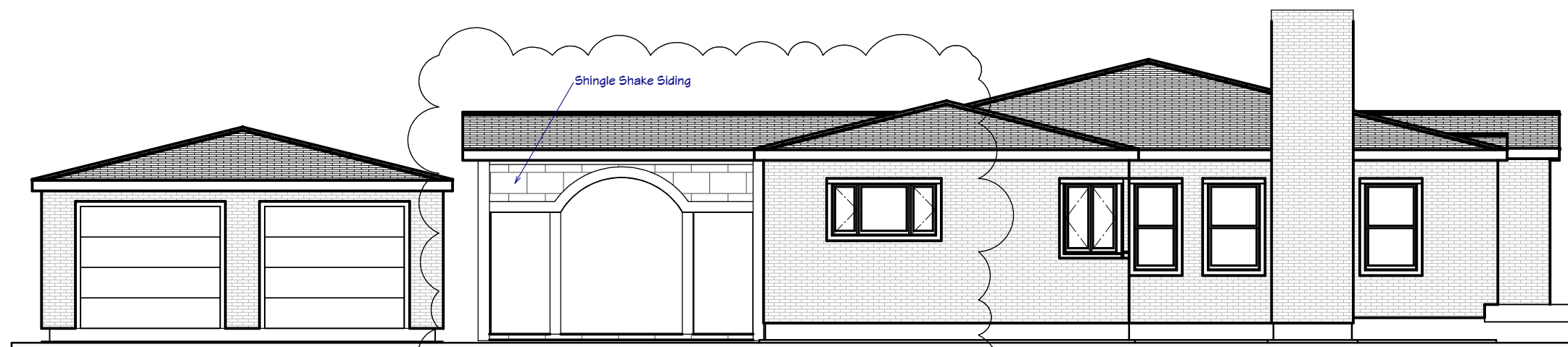
Flagg Res.
 503 E 16th st
 Georgetown, TX
 78626

3D Elevation

DATE:
7/11/2019
SCALE:
NTS
SHEET:
11"x17"
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P-05



South Elevation
"Street View"



West Elevation



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Flagg Res.
503 E 16th st
Georgetown, TX
78626

Ext. Elevations

DATE:

7/11/2019

SCALE:

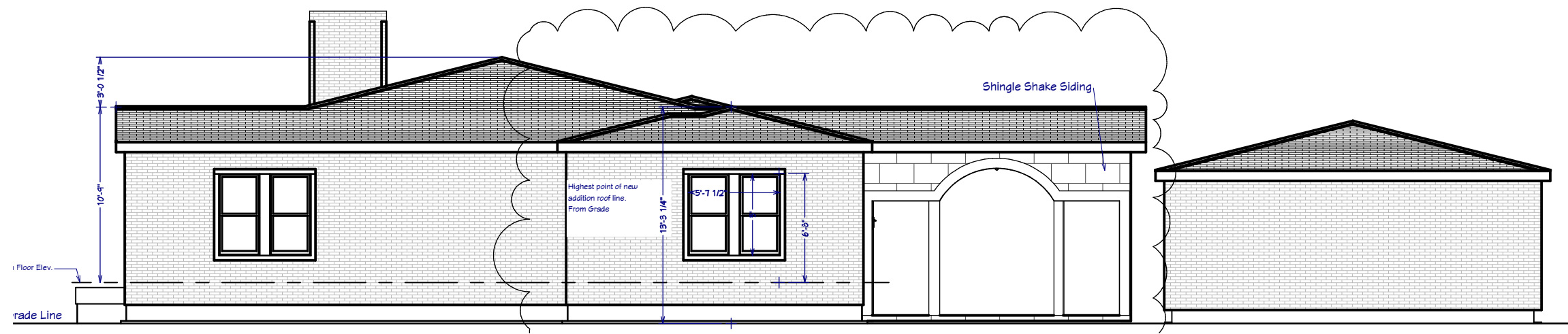
1/8" = 1'

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P-06



East Elevation



North Elevation



Section North Elevation



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Riata Builders
Tadams.riata@hotmail.com
512.818.1117



Flagg Res.
503 E 16th st
Georgetown, TX
78626

Ext. Elevations

DATE:

7/11/2019

SCALE:

1/8" = 1'

SHEET:

11"x17"

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P-07

Exterior Brick Facade



- Exterior of new addition will be painted brick to match existing. Paint color is unknown but we will use a salvaged brick and match the color exactly at Kelley Moore paints.

Soffit / Trim



- Soffit will be Tongue and groove pine to resemble existing vinyl material and will be painted to match existing
- Window trim will be painted to match existing

Covered Patio Siding



- New covered patio will have Hardie shingle siding on front and rear, as well as the gable end.
- New shingle siding will be painted to match existing soffit and trim color



- Owens Corning - Aged Cedar



- Existing



- Existing

- Roof Material will be matched as close as possible to existing, Owens Corning - Aged Cedar



- There will be no NEW windows used, the windows pictured here will be removed from existing and reused on the addition.



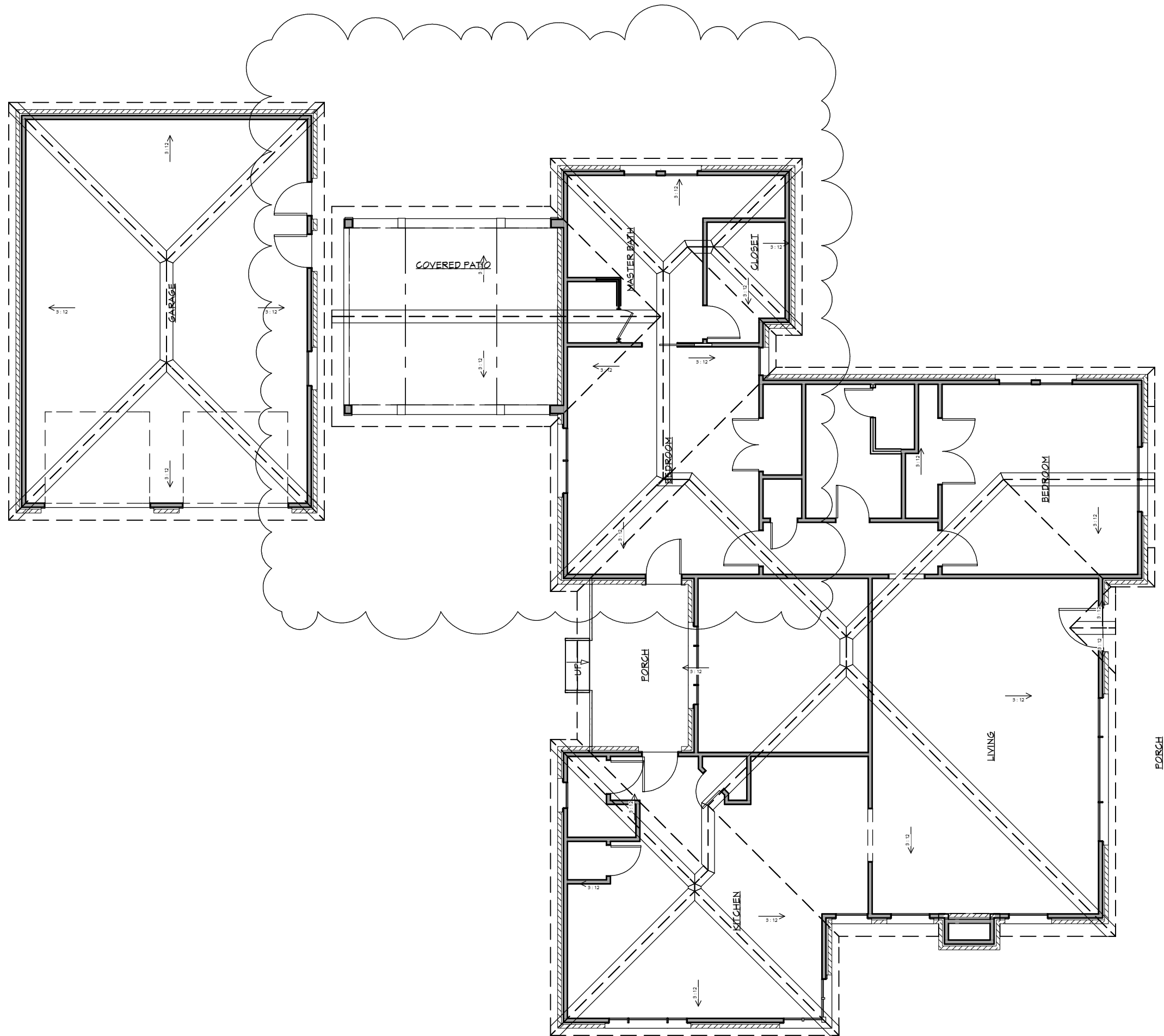
DRAWINGS PROVIDED BY:
Travis Adams
Riata Builders
Tadams.riata@hotmail.com
512.818.1117




Flagg Res.
503 E 16th st
Georgetown, TX
78626


Material Data

DATE:
7/11/2019
SCALE:
NTS
SHEET:
11"x17"
PAGE:
P-08





Drawings provided by:
Travis Adams
Riata Builders
Tadams.riata@hotmail.com
512.818.1117



Flagg Res.
503 E 16th st
Georgetown, TX
78626

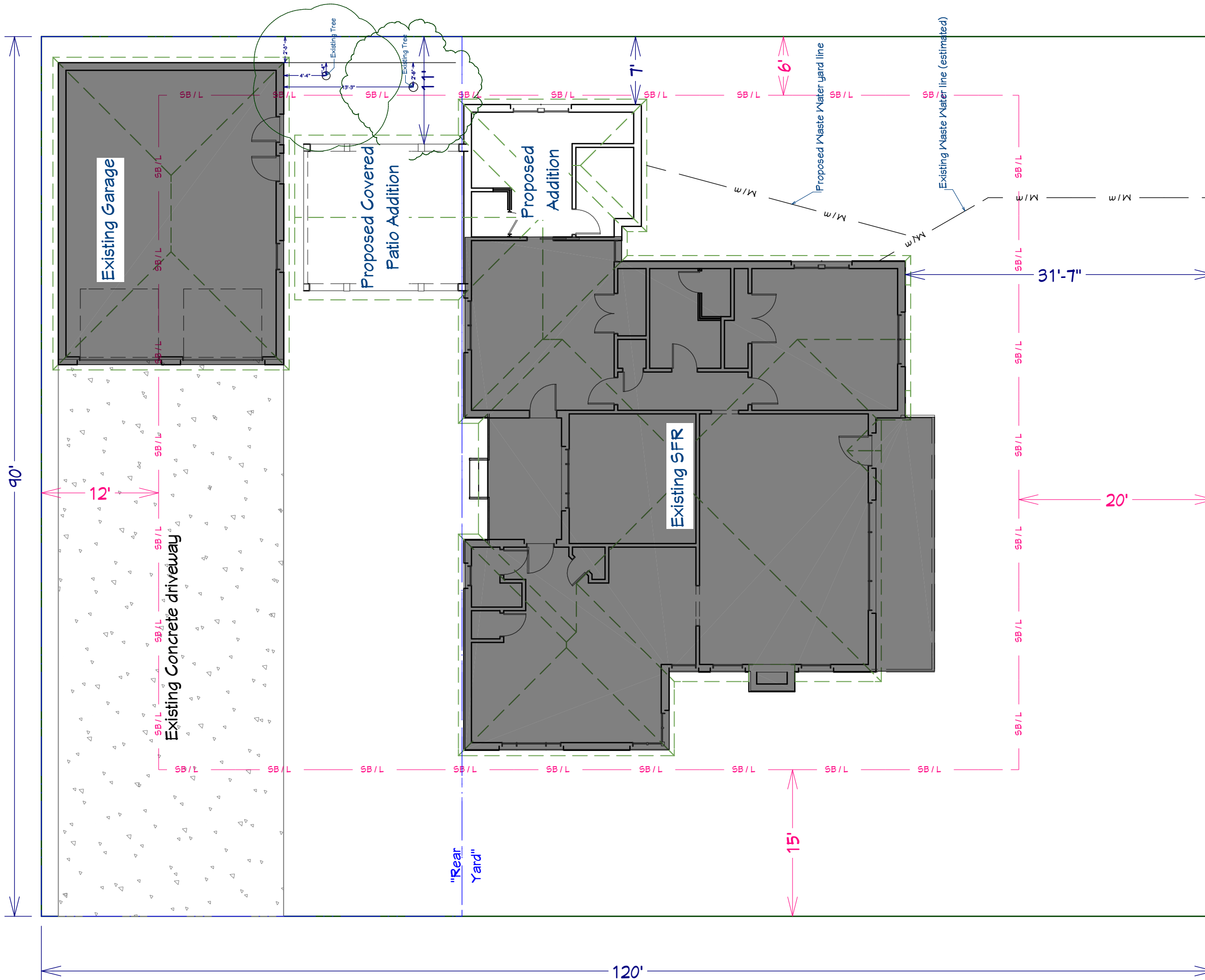
Roof Plan

DATE:
7/11/2019

SCALE:
1/8" = 1'

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11"x17"

PAGE:
P-010



Totals:
Total Lot - 10,711 sq ft (WCAD)
"Rear yard" - 3,873 sq ft

Impervious Coverage:
House (existing) - 2,182 sq ft
House (proposed) - 2,393 sq ft
Covered Patio (proposed) - 255 sq ft
Garage - 668 sq ft

Proposed Lot-31% @ 3,316 sq ft
Proposed Rear yard-24% @ 923 sq ft



DRAWINGS PROVIDED BY:
Travis Adams
Riata Builders
Tadams.riata@hotmail.com
512.818.1117

RIATA BUILDERS

Flagg Res.
503 E 16th st
Georgetown, TX
78626

Site Plan

DATE:
7/11/2019
SCALE:
1"=10'
SHEET:
11"x17"
PAGE:
P-011

TEXAS HISTORICAL COMMISSION

HISTORIC RESOURCES SURVEY FORM

Address: 503 14th St 2016 Survey ID: 124457
 City: Georgetown 2016 Preservation Priority: Medium
 County: Williamson Local District: Old Town District

SECTION 1

Basic Inventory Information

Owner/Address FLAGG, KRISTI D, 503 E 14TH ST, , GEORGETOWN, TX 78626-6818

Current/Historic Name: None/None

Latitude: 30.631822 Longitude -97.672874

Legal Description (Lot/Block): HUGHES ADDITION, BLOCK 5(SW/PT), ACRES .2459 WCAD ID: R042788

Addition/Subdivision: S3810 - Hughes Addition

Property Type: ☒ Building ☐ Structure ☐ Object ☐ Site ☐ District

Current Designations:

☐ NR District (Is property contributing? ☐ Yes ☐ No)

☐ NHL ☐ NR ☐ RTHL ☐ OTHM ☐ HTC ☐ SAL ☒ Local: Old Town District ☐ Other

Architect: Builder:

Construction Date: 1950 ☒ Actual ☐ Estimated Source: WCAD

Function

Current Use: ☐ Agriculture ☐ Commerce/trade ☐ Defense ☒ Domestic ☐ Educational ☐ Government

☐ Healthcare ☐ Industry/processing ☐ Recreation/culture ☐ Religious ☐ Social ☐ Vacant

☐ Other:

Historic Use: ☐ Agriculture ☐ Commerce/trade ☐ Defense ☒ Domestic ☐ Educational ☐ Government

☐ Healthcare ☐ Industry/processing ☐ Recreation/culture ☐ Religious ☐ Social ☐ Vacant

☐ Other:

Recorded by: CMEC Date Recorded 3/4/2016



Photo direction: North

Note: See additional photo(s) on page 4

TEXAS HISTORICAL COMMISSION

HISTORIC RESOURCES SURVEY FORM

Address:	503 14th St	2016 Survey ID:	124457
City:	Georgetown	2016 Preservation Priority:	Medium
County:	Williamson	Local District:	Old Town District

SECTION 2

Architectural Description

General Architectural Description:

One-story brick house with an irregular plan, cross-hipped roof, and partial-width porch with stone piers and a metal balustrade; single front door below a front gable.

☒ Additions, modifications: Windows replaced

☐ Relocated

Stylistic Influence(s)

<input type="checkbox"/> Log traditional	<input type="checkbox"/> Shingle	<input type="checkbox"/> Gothic Revival	<input type="checkbox"/> Pueblo Revival	<input type="checkbox"/> International
<input type="checkbox"/> Greek Revival	<input type="checkbox"/> Romanesque Revival	<input type="checkbox"/> Tudor Revival	<input type="checkbox"/> Spanish Colonial	<input type="checkbox"/> Post-war Modern
<input type="checkbox"/> Italianate	<input type="checkbox"/> Folk Victorian	<input type="checkbox"/> Neo-Classical	<input type="checkbox"/> Prairie	<input type="checkbox"/> Ranch
<input type="checkbox"/> Second Empire	<input type="checkbox"/> Colonial Revival	<input type="checkbox"/> Beaux Arts	<input type="checkbox"/> Craftsman	<input type="checkbox"/> Commercial Style
<input type="checkbox"/> Eastlake	<input type="checkbox"/> Renaissance Revival	<input type="checkbox"/> Mission	<input type="checkbox"/> Art Deco	<input type="checkbox"/> No Style
<input type="checkbox"/> Queen Anne	<input type="checkbox"/> Exotic Revival	<input type="checkbox"/> Monterey	<input type="checkbox"/> Moderne	<input checked="" type="checkbox"/> Other: Minimal Traditional

Structural Details

Roof Form

☐ Gable ☐ Hipped ☐ Gambrel ☐ Shed ☐ Flat w/parapet ☐ Mansard ☐ Pyramid ☒ Other: Cross-Hipped

Roof Materials

☐ Wood shingles ☐ Tile ☒ Composition shingles ☐ Metal ☐ Asphalt ☐ Other:

Wall Materials

☒ Brick ☐ Stucco ☐ Stone ☐ Wood shingles ☐ Log ☐ Terra Cotta ☐ Concrete
☐ Metal ☐ Wood Siding ☐ Siding: Other ☐ Glass ☐ Asbestos ☐ Vinyl ☐ Other:

Windows

☒ Fixed ☐ Wood sash ☒ Double hung ☒ Casement ☐ Metal sash ☐ Decorative Screenwork ☒ Other: Vinyl

Doors (Primary Entrance)

☒ Single door ☐ Double door ☐ With transom ☐ With sidelights ☐ Other:

Plan

☐ L-plan ☐ T-plan ☐ Modified L-plan ☐ 2-room ☐ Open ☐ Center Passage ☐ Bungalow ☐ Shotgun
☒ Irregular ☐ Four Square ☐ Rectangular ☐ Other

Chimneys

Specify # 1 or more ☐ Interior ☒ Exterior ☐ None
☒ Brick ☐ Stone ☐ Stucco ☐ Corbelled Caps ☐ Other

PORCHES/CANOPIES

Form: ☐ Shed Roof ☐ Flat Roof ☐ Hipped Roof ☒ Gabled Roof ☐ Inset ☐ None ☐ Other

Support

☐ Wood posts (plain) ☐ Wood posts (turned) ☐ Masonry pier ☐ Fabricated metal
☐ Box columns ☐ Classical columns ☐ Tapered box supports ☐ Suspension cables ☒ None
☐ Suspension rods ☐ Spindlework ☐ Jigsaw trim ☐ Other:

Materials: ☒ Metal ☐ Wood ☐ Fabric ☒ Other: Masonry

of stories: 1 Basement: ☐ None ☐ Partial ☐ Full ☒ Unknown

Ancillary Buildings

Garage 1 Barn Shed Other:

Landscape/Site Features

☐ Sidewalks ☐ Terracing ☐ Drives ☐ Well/cistern ☐ Gardens ☐ Other
☐ Stone ☐ Wood ☐ Concrete ☐ Brick ☐ Other materials:

Landscape Notes:

TEXAS HISTORICAL COMMISSION

HISTORIC RESOURCES SURVEY FORM

Address: 503 14th St
 City: Georgetown
 County: Williamson
 2016 Survey ID: 124457
 2016 Preservation Priority: Medium
 Local District: Old Town District

SECTION 3

Historical Information

Associated Historical Context:

- | | | | | |
|---|---|--|--|---|
| <input type="checkbox"/> Commerce | <input type="checkbox"/> Communication | <input type="checkbox"/> Agriculture | <input type="checkbox"/> Architecture | <input type="checkbox"/> Arts |
| <input type="checkbox"/> Immigration/Settlement | <input type="checkbox"/> Law/Government | <input type="checkbox"/> Education | <input type="checkbox"/> Exploration | <input type="checkbox"/> Health |
| <input type="checkbox"/> Religion/Spirituality | <input type="checkbox"/> Science/Technology | <input type="checkbox"/> Military | <input type="checkbox"/> Natural Resources | <input type="checkbox"/> Planning/Development |
| | | <input type="checkbox"/> Social/Cultural | <input type="checkbox"/> Transportation | <input type="checkbox"/> Other |

Applicable National Register (NR) Criteria:

- ☐ A Associated with events that have made a significant contribution to the broad pattern of our history
- ☐ B Associated with the lives of persons significant in our past
- ☐ C Embodies the distinctive characteristics of a type, period or method of construction or represents the work of a master, or possesses high artistic value, or represents a significant and distinguishable entity whose components lack individual distinctions
- ☐ D Has yielded, or is likely to yield, information important in prehistory or history

Areas of Significance:

Periods of Significance:

- Level of Significance: ☐ National ☐ State ☐ Local
- Integrity: ☒ Location ☒ Design ☐ Materials ☒ Workmanship
- ☒ Setting ☒ Feeling ☒ Association

Integrity notes: See Section 2

Individually Eligible? ☐ Yes ☒ No ☐ Undetermined

Within Potential NR District? ☐ Yes ☐ No ☐ Undetermined

Is Property Contributing? ☐ Yes ☐ No ☐ Undetermined

Priority: ☐ High ☒ Medium ☐ Low Explain: Despite some alterations, property is significant and contributes to neighborhood character

Other Info:

Is prior documentation available for this resource? ☒ Yes ☐ No ☐ Not known Type: ☐ HABS ☒ Survey ☐ Other

Documentation details 2007 ID: 343 1984 ID: Not Recorded
 2007 survey 2007 Survey Priority: Medium 1984 Survey Priority: Not Recorded

General Notes: (Notes from 2007 Survey: some windows replaced with wood)

Questions?

Contact Survey Coordinator
 History Programs Division, Texas
 Historical Commission
 512/463-5853
 history@thc.state.tx.us



HISTORIC RESOURCES SURVEY FORM

Address: 503 14th St
 City: Georgetown
 County: Williamson

2016 Survey ID: 124457
 2016 Preservation Priority: Medium
 Local District: Old Town District

Additional Photos

Photo Direction Northeast




The Flagg Res. Bathroom Addition

503 E. 14th st
Georgetown, TX 78626


WCAD INFO:

Property Type: Residential
Legal Description: S3810 - Hughes Addition, BLOCK 5(SW/PT), ACRES 0.2459
Neighborhood: G618T60I - Central Georgetown Less than 1960 Year blt.
Account: R-20-5800-0000-0017
Map Number: 3-1127

Layout Page Table			
Label	Title	Description	Comments
P-01	Plan Info		NTS
P-02	Existing		1/8"=1'
P-03	Existing Photos		NTS
P-04	Proposed		1/8"=1'
P-05	3D Elevation		NTS
P-06	Ext. Elevations		1/8"=1'
P-07	Ext. Elevations		1/8"=1'
P-08	Material Data		NTS
P-09	Electrical		1/8"=1'
P-010	Roof Plan		1/8"=1'
P-011	Site Plan		1"=10'
P-012	Summery of changes		N/A



DRAWINGS PROVIDED BY:
Travis Adams
Riata Builders
Tadams.riata@hotmail.com
512.818.1117



Flagg Res.
503 E 16th st
Georgetown, TX 78626

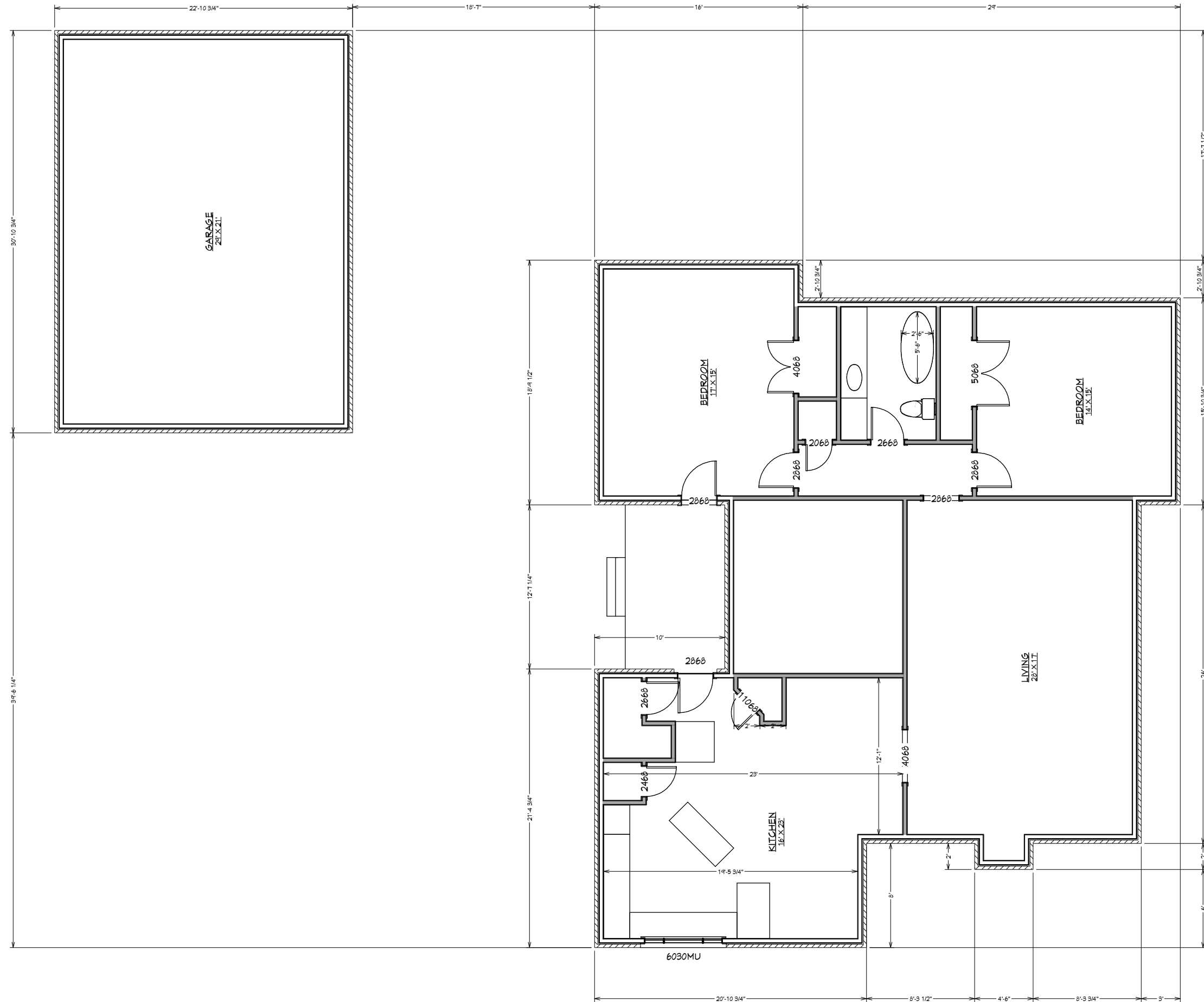
Plan Info


DATE:
8/14/2019

SCALE:
NTS


SHEET:
11"x17"

PAGE:
P-01





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Travis Adams
Riata Builders
Tadams.riata@hotmail.com
512.818.1117



Flagg Res.
503 E 16th st
Georgetown, TX 78626

Existing

DATE:
8/14/2019

SCALE:
1/8" = 1'

SHEET:
11"x17"

PAGE:
P-02



Street Facing Photos



Rear of house
(location of proposed covered patio)



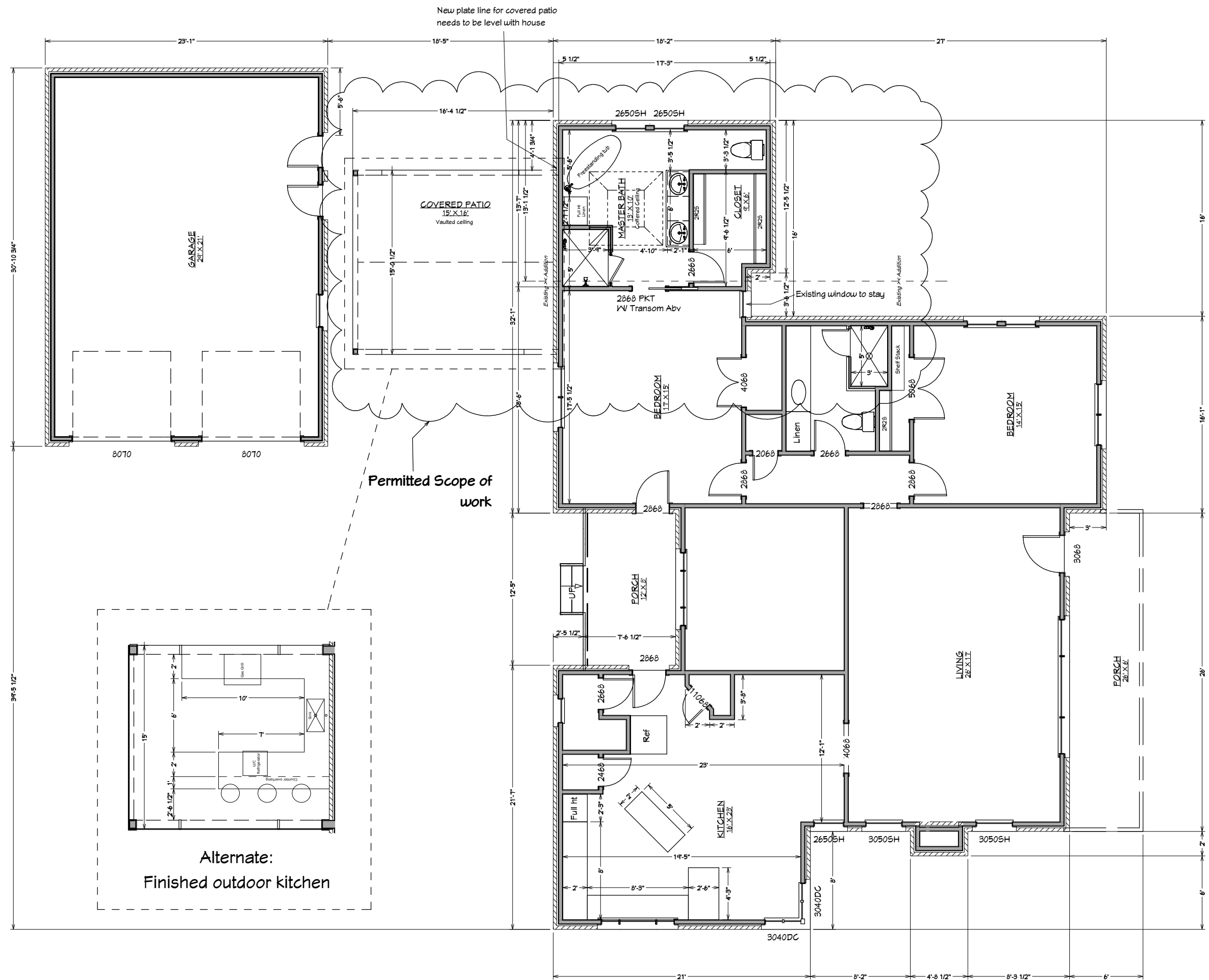
DRAWINGS PROVIDED BY:
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Existing Photos

DATE:
8/14/2019
SCALE:
NTS
SHEET:
11"x17"
PAGE:
P-03



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 Tadam@riatabuilders.com
 512.818.1117

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 503 E 16th st
 Georgetown, TX 78626

Proposed

DATE:

8/14/2019

SCALE:

1/8" = 1'

SHEET:

11"x17"

PAGE:

P-04



Street View of new Addition



View of new covered patio on rear of house



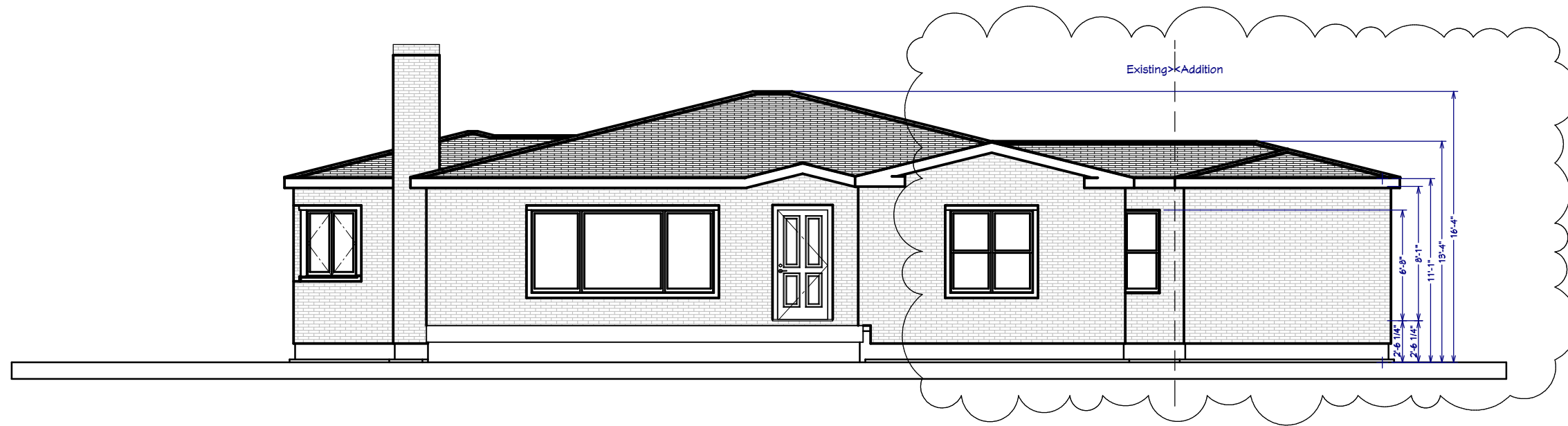
DRAWINGS PROVIDED BY:
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 Riata Builders
 Tadam@riatabuilders.com
 512.818.1117



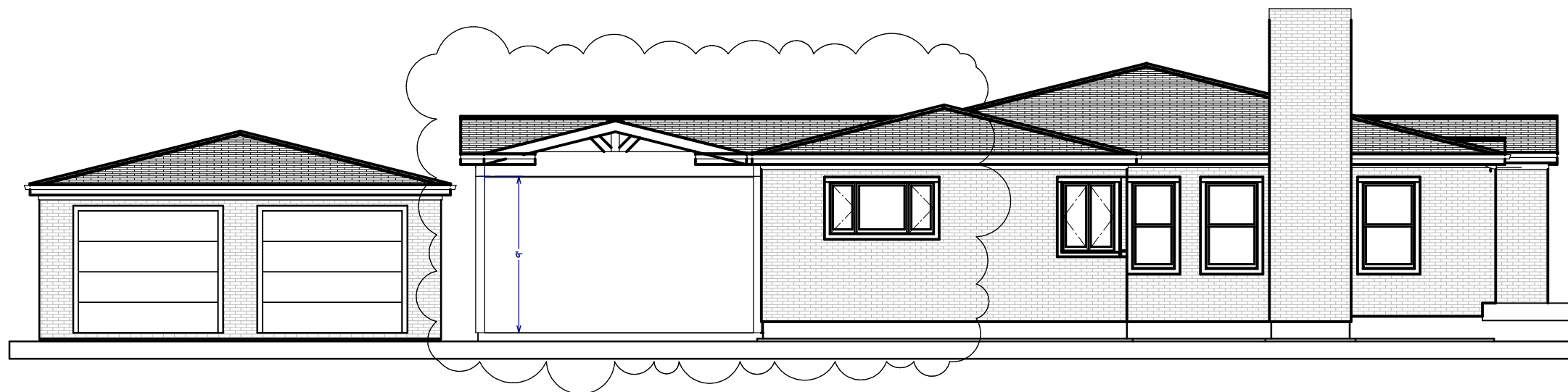
Flagg Res.
 503 E 16th st
 Georgetown, TX 78626

3D Elevation

DATE:
8/14/2019
SCALE:
NTS
SHEET:
11"x17"
PAGE:
P-05



South Elevation
"Street View"



West Elevation



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Ext. Elevations

DATE:

8/14/2019

SCALE:

1/8" = 1'

SHEET:

11"x17"

PAGE:

P-06



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503 E 16th st
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Ext. Elevations

DATE:

8/14/2019

SCALE:

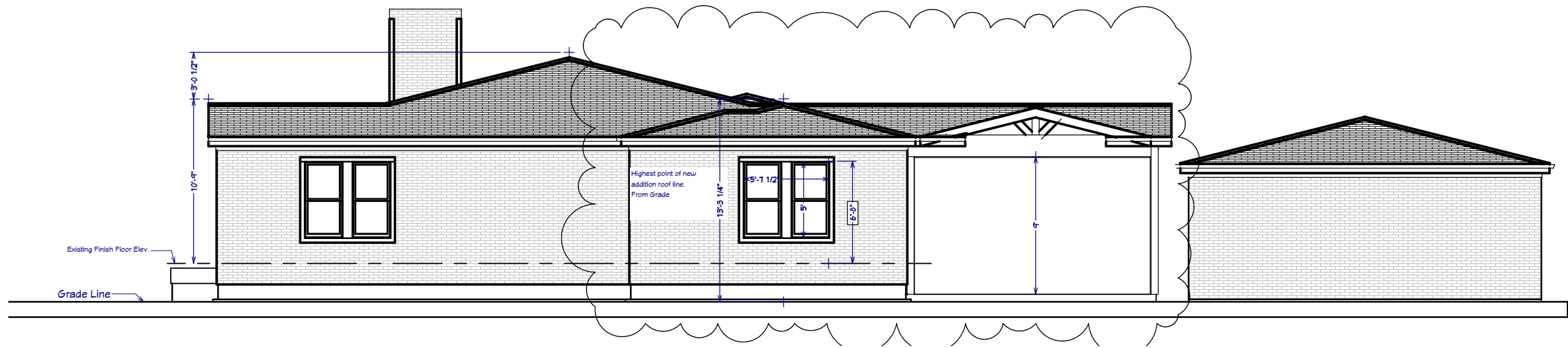
1/8" = 1'

SHEET:

11"x17"

PAGE:

P-07



East Elevation



North Elevation



Section North Elevation

Exterior Brick Facade



- Exterior of new addition will be painted brick to match existing. Paint color is unknown but we will use a salvaged brick and match the color exactly at Kelley Moore paints.

Soffit / Trim



- Soffit will be Tongue and groove pine to resemble existing vinyl material and will be painted to match existing
- Window trim will be painted to match existing



- Owens Corning - Aged Cedar



- Existing



- Existing

- Roof Material will be matched as close as possible to existing, Owens Corning - Aged Cedar



- There will be no NEW windows used, the windows pictured here will be removed from existing and reused on the addition.



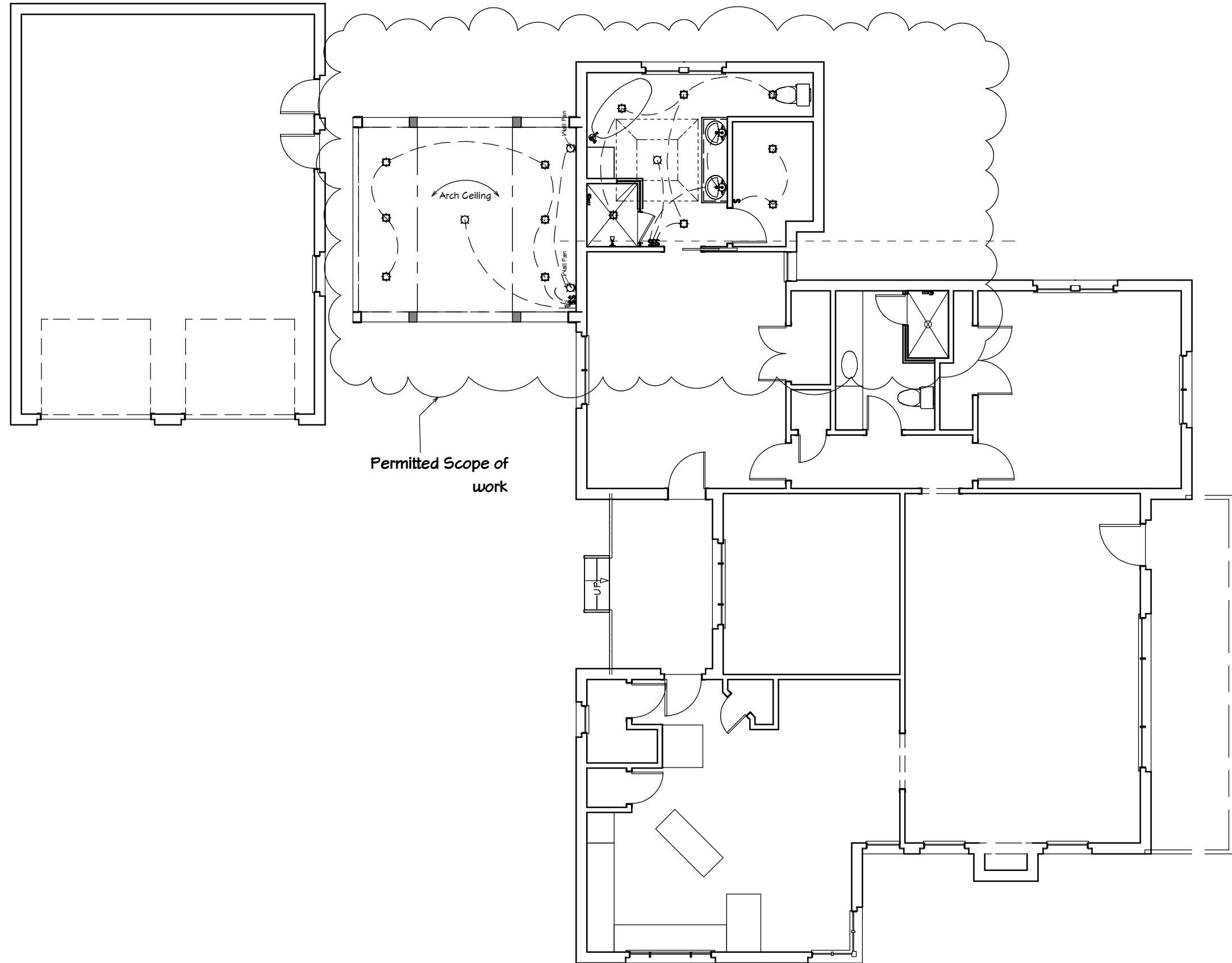
DRAWINGS PROVIDED BY:
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Tadams.riata@hotmail.com
512.818.1117



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Material Data

DATE:
8/14/2019
SCALE:
NTS
SHEET:
11"x17"
PAGE:
P-08



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Electrical

DATE:

8/14/2019

SCALE:

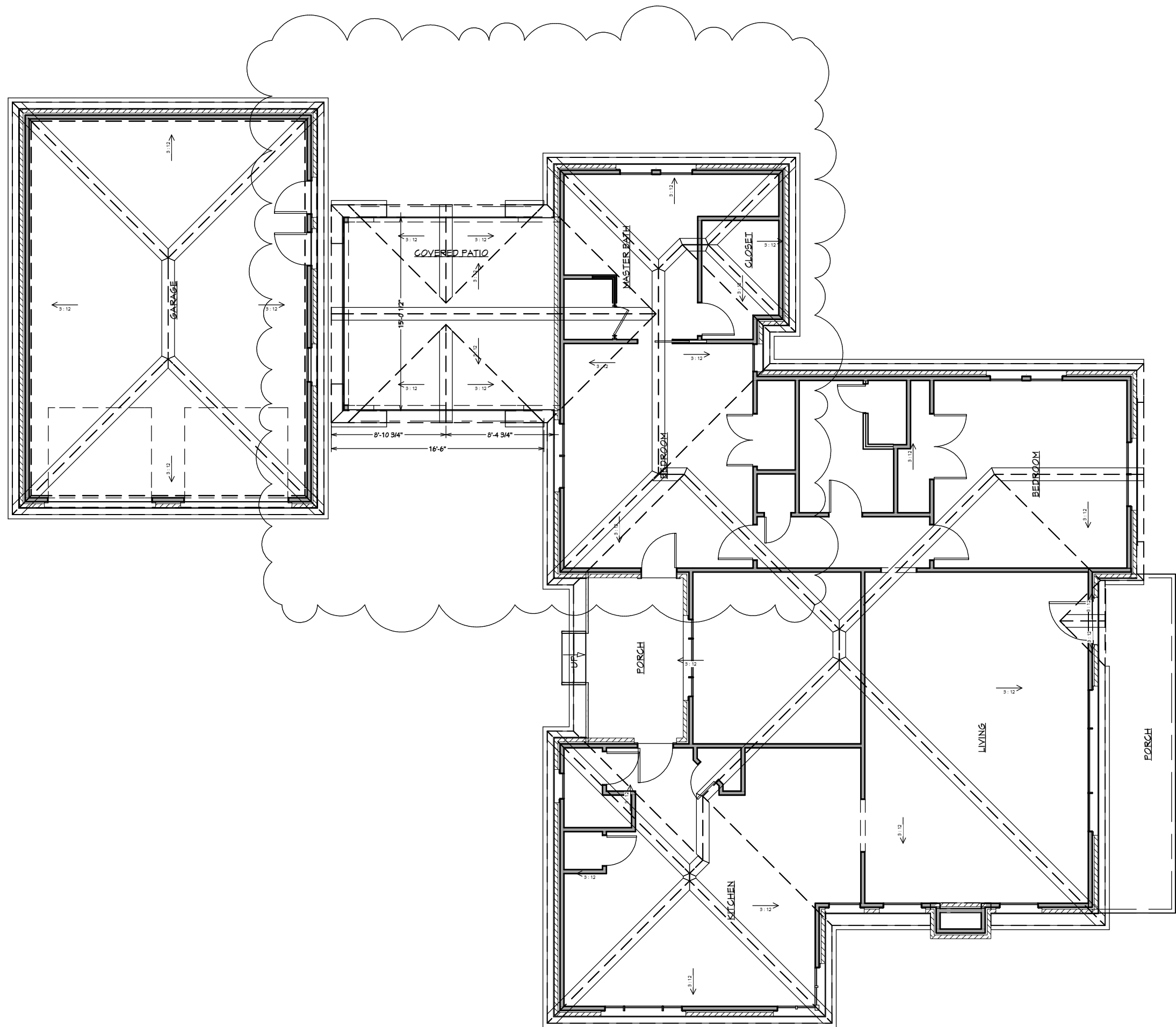
1/8" = 1'


SHEET:

11"x17"


PAGE:

P-09





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Georgetown, TX 78626

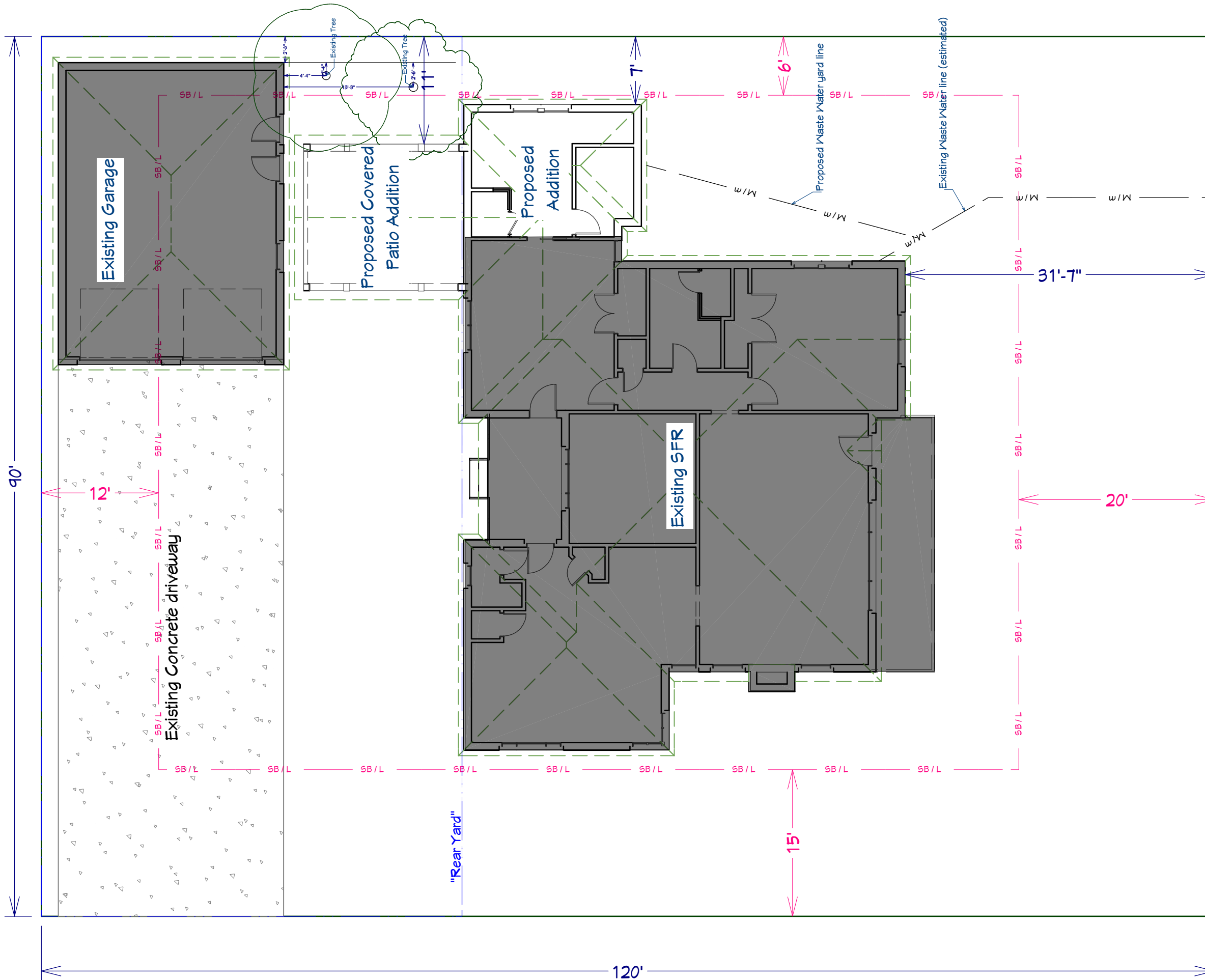
Roof Plan

DATE:
8/14/2019

SCALE:
1/8" = 1'

SHEET:
11"x17"


PAGE:
P-010




Totals:
Total Lot - 10,711 sq ft (WCAD)
"Rear yard" - 3,873 sq ft

Impervious Coverage:
House (existing) - 2,182 sq ft
House (proposed) - 2,393 sq ft
Covered Patio (proposed) - 255 sq ft
Garage - 668 sq ft

Proposed Lot-31% @ 3,316 sq ft
Proposed Rear yard-24% @ 923 sq ft



Drawings provided by:
Travis Adams
Riata Builders
Tadams.riata@hotmail.com
512.818.1117



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Georgetown, TX 78626

Site Plan

DATE:
8/14/2019

SCALE:
1"=10'

SHEET:
11"x17"


PAGE:
P-011




Boxed eaves/ roof
returns to match front
gables of the house.



All Trim/ columns
Painted to match
existing trim on
house.



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Riata Builders
Tadams.riata@hotmail.com
512.818.1117



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503 E 16th st
Georgetown, TX 78626

Summery of changes

DATE:
8/14/2019

SCALE:
N/A

SHEET:
11"x17"

PAGE:
P-012

City of Georgetown, Texas
Historic and Architectural Review
August 22, 2019

SUBJECT:

Public Hearing and possible action on a request for a Certificate of Appropriateness for Replacing a Historic Architectural Feature with a Non-Historic Architectural Feature (Siding) at the property located at 1008 S Main Street, bearing the legal description of Lot 2, Block 13 of the Lost Addition (2019-49-COA)
– Chelsea Irby, Senior Planner

ITEM SUMMARY:

Overview of the Applicant's Request

The applicant is proposing to replace wood siding with Hardieplank siding on a medium priority structure, located at 1008 S Main Street. The applicant is proposing the change in materials due to deteriorating siding and maintenance concerns.

Public Comments

To date, no public comments have been received.

Staff Findings

The medium property structure located at 1008 S Main Street does not have an identified style on the historic resource survey. The structure is a bungalow plan and the 2016 survey noted that the structure retains a relatively high degree of integrity. The 2007 survey noted that windows are in poor condition. The Downtown and Old Town Design Guidelines prioritize preservation and maintenance of the existing historic materials. *“The best way to preserve historic building materials is through well-planned maintenance. Wood surfaces, for example, should be protected with a good application of paint. In some cases, historic building materials may be deteriorated. When deterioration occurs, repairing the material rather than replacing it is preferred.”* Frequently, damaged materials can be patched or consolidated using special bonding agents. Preservation Principal #5 calls to:

Repair deteriorated historic features, and replace only those elements that cannot be repaired. Maintain the existing material, using recognized preservation methods whenever possible. If disassembly is necessary for repair or restoration, use methods that minimize damage to original materials and replace the existing configuration.

For those materials that cannot be repaired, the portion of the material that is beyond repair may be replaced. The guidelines call for the replacement material to match the original in appearance. The April 2019 revisions to the Unified Development Code now allows for low and medium priority structures to use in-kind materials.

Material that is intended to replace a historic material or feature that is either the same or a similar material, and the result will match all visual aspects, including form, color, and workmanship in order to retain the original design of the structure, may be permitted by the identified decision maker for medium and low priority resources.

The proposed replacement siding is Hardieplank v-groove lock joint siding of the same width as the original wood. The v-groove lock joint matches the profile of the original wood and would be an appropriate in-kind replacement.

FINANCIAL IMPACT:

None. The applicant has paid all required fees.

SUBMITTED BY:

ATTACHMENTS:

	Description	Type
▣	Staff Report	Backup Material
▣	Exhibit 1 - Location Map	Backup Material
▣	Exhibit 2 - Letter of Intent	Backup Material
▣	Exhibit 3 - Plans and Materials	Backup Material
▣	Exhibit 4 - Historic Resource Survey	Backup Material

Planning Department Staff Report

Historic and Architectural Review Commission

Meeting Date: August 22, 2019

File Number: 2019-49-COA

AGENDA ITEM DESCRIPTION

Public Hearing and possible action on a request for a Certificate of Appropriateness for Replacing a Historic Architectural Feature with a Non-Historic Architectural Feature (Siding) at the property located at 1008 S Main Street, bearing the legal description of Lot 2, Block 13 of the Lost Addition (2019-49-COA) – Chelsea Irby, Senior Planner

AGENDA ITEM DETAILS

Project Name: 1008 S Main Street
Applicant: Kasberg, Patrick & Associates, LP
Property Owner: Main One South LP
Property Address: 1008 S Main Street
Legal Description: Lot 2, Block 13 of the Lost Addition
Historic Overlay: Downtown Overlay District, Area 2

HISTORIC CONTEXT

Date of construction:	Est. 1925
Historic Resources Survey Level of Priority:	1984 – Medium 2007 - Medium 2016 - Medium
National Register Designation:	No
Texas Historical Commission Designation:	No

APPLICANT'S REQUEST

The applicant is requesting to replace the existing wood (pine) siding with non-wood siding on the medium priority structure located at 1008 S Main Street in the Downtown Overlay District. The applicant is seeking the change in materials due to deteriorating wood siding and maintenance concerns.

STAFF ANALYSIS

The medium property structure located at 1008 S Main Street does not have an identified style on the historic resource survey. The structure is a bungalow plan and the 2016 survey noted that the structure retains a relatively high degree of integrity. The 2007 survey noted that windows are in poor condition.

The Downtown and Old Town Design Guidelines prioritize preservation and maintenance of the existing historic materials. *"The best way to preserve historic building materials is through well-planned maintenance. Wood surfaces, for example, should be protected with a good application of paint. In some cases,*

Planning Department Staff Report

Historic and Architectural Review Commission

historic building materials may be deteriorated. When deterioration occurs, repairing the material rather than replacing it is preferred.” Frequently, damaged materials can be patched or consolidated using special bonding agents. Preservation Principal #5 calls to:

Repair deteriorated historic features, and replace only those elements that cannot be repaired. Maintain the existing material, using recognized preservation methods whenever possible. If disassembly is necessary for repair or restoration, use methods that minimize damage to original materials and replace the existing configuration.

For those materials that cannot be repaired, the portion of the material that is beyond repair may be replaced. The guidelines call for the replacement material to match the original in appearance. The April 2019 revisions to the Unified Development Code now allows for low and medium priority structures to use in-kind materials.

Material that is intended to replace a historic material or feature that is either the same or a similar material, and the result will match all visual aspects, including form, color, and workmanship in order to retain the original design of the structure, may be permitted by the identified decision maker for medium and low priority resources.

The proposed replacement siding is Hardieplank v-groove lock joint siding of the same width as the original wood. The v-groove lock joint matches the profile of the original wood and would be an appropriate in-kind replacement.

APPLICABLE DESIGN GUIDELINES

The following guidelines are applicable to the proposed scope of work in accordance with the adopted Downtown and Old Town Design Guidelines:

CHAPTER 5 – DESIGN GUIDELINES FOR HISTORIC BUILDING MATERIALS	FINDINGS
5.1 Maintain existing wall materials and textures. <ul style="list-style-type: none">• Avoid removing materials that are in good condition or that can be repaired in place.• Remove only those materials that are deteriorated and must be replaced.• Avoid rebuilding a major portion of an exterior wall that could be repaired. Reconstruction may result in a building that is no longer historic.• In many cases, original building materials may not be damaged beyond repair and do not require replacement. Repainting wood, ensuring proper drainage, and keeping the material clean may be all that is necessary.	Partially Complies <p>The applicant is proposing the replacement of all the existing wood siding, rather than repair and maintenance.</p> <p>However, the UDC was recently amended to allow for the in-kind replacement of materials for low and medium priority structures that has “the same or a similar</p>

Planning Department Staff Report

Historic and Architectural Review Commission

	<p>material, and the result will match all visual aspects, including form, color, and workmanship in order to retain the original design of the structure.”</p> <p>The Chief Building Inspector has reviewed the proposed Hardieplank product and finds that it has the same profile, including width and v-groove lock joint.</p>
<p>5.2 Repair deteriorated primary building materials by patching, piecing-in, consolidating, or otherwise reinforcing the materials.</p> <ul style="list-style-type: none">• Avoid the removal of damaged materials that can be repaired.• Isolated areas of damage may be stabilized or fixed, using consolidants. Epoxies and resins may be considered for wood repair. Also, special masonry repair components may be used.	<p>Does Not Comply</p> <p>The applicant is proposing the replacement of all the existing wood siding, rather than repair and maintenance.</p>
<p>5.04 Match the original material in composition, scale and finish when replacing it on a primary surface.</p> <ul style="list-style-type: none">• If the original material is wood clapboard, for example, then the replacement material should be wood as well. It should match the original in size, the amount of exposed lap, and finish.• Replace only the amount required. If a few boards are damaged beyond repair, then only replace them and not the entire wall.	<p>Partially Complies</p> <p>The proposed Hardieplank product has the same profile, including width and v-groove lock joint. However, the applicant is proposing to replace all of the wood siding and the Design Guidelines encourage partial replacement.</p>
<p>5.05 Do not use synthetic materials, such as aluminum, vinyl siding, or panelized brick, as replacements for primary building materials on an historic structure.</p> <ul style="list-style-type: none">• Primary building materials such as wood siding and brick may not be replaced with synthetic materials.• See also Preservation Briefs #16: The Use of Substitute Materials on Historic Building Exteriors, published by the National Park Service.	<p>Partially Complies</p> <p>Hardieplank is a synthetic material. However, the proposed Hardieplank product has the same profile, including width and v-groove lock joint. This would be an acceptable in-kind material replacement, per the UDC and Chief Building Inspector.</p>

Planning Department Staff Report

Historic and Architectural Review Commission

CRITERIA FOR APPROVAL

In accordance with Section 3.13.030 of the Unified Development Code, the HARC must consider the following criteria:

SECTION 3.13.030 CRITERIA	FINDINGS
1. The application is complete and the information contained within the application is correct and sufficient enough to allow adequate review and final action;	Complies
2. Compliance with any design standards of this Code;	Complies
3. Compliance with the Secretary of the Interior's Standards for the Treatment of Historic Properties to the most extent practicable;	Complies
4. Compliance with the adopted Downtown and Old Town Design Guidelines, as may be amended from time to time, specific to the applicable Historic Overlay District;	Partially Complies
5. The general historic, cultural, and architectural integrity of the building, structure or site is preserved;	Complies
6. New buildings or additions are designed to be compatible with surrounding properties in the applicable historic overlay district;	N/A
7. The overall character of the applicable historic overlay district is protected; and	Complies
8. The Master Sign Plan is in keeping with the adopted Downtown and Old Town Design Guidelines and character of the historic overlay district.	N/A

STAFF RECOMMENDATION

Staff recommends approval of the request.

PUBLIC COMMENTS

As of the date of this report, staff has not received any written comments.

ATTACHMENTS

Exhibit 1 – Location Map
Exhibit 2 – Letter of Intent
Exhibit 3 – Plans and Materials
Exhibit 4 – Historic Resources Survey

SUBMITTED BY

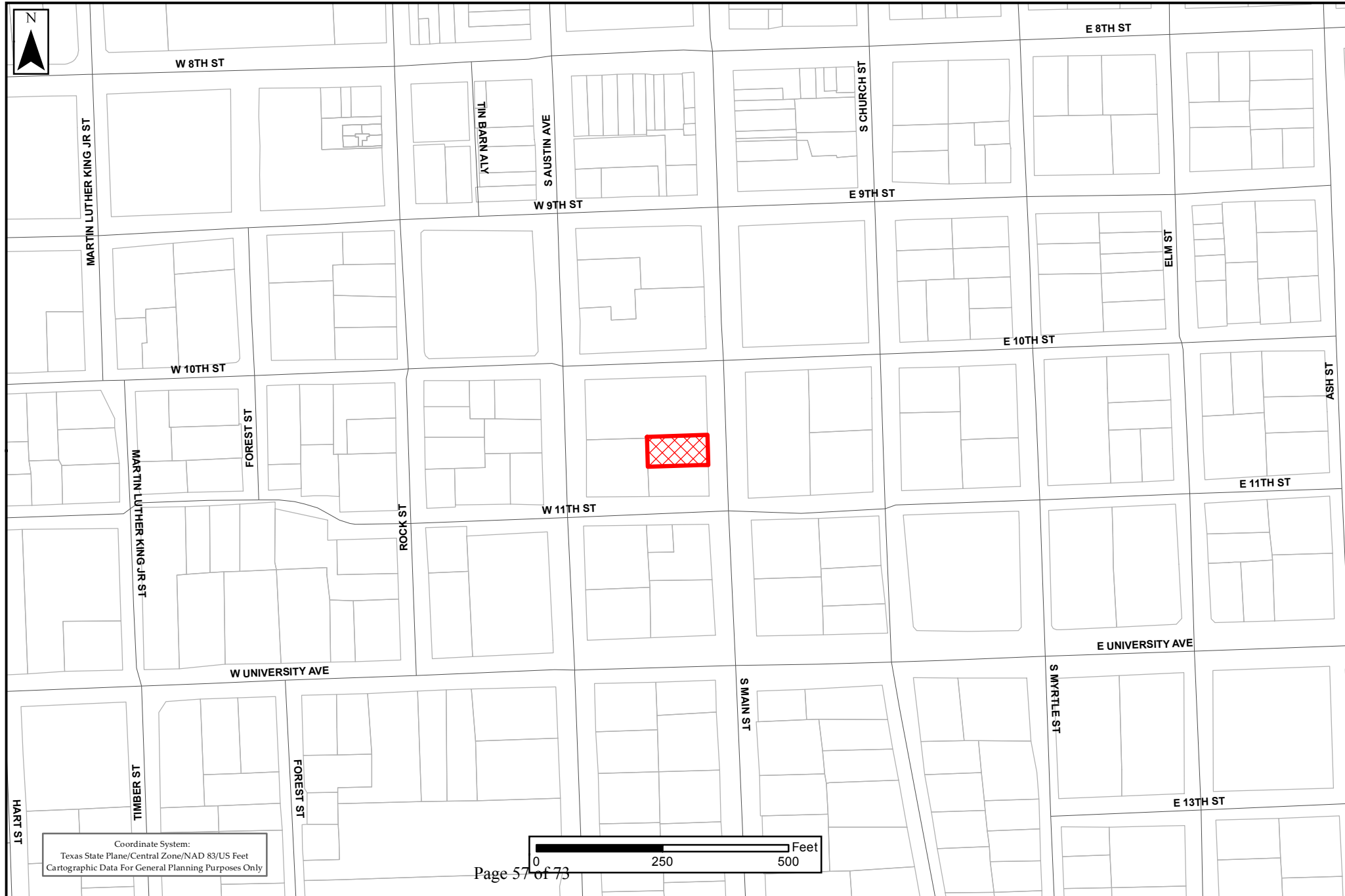
Chelsea Irby, Senior Planner

Location Map

2019-49-COA

Exhibit #1

- Legend
-  Site
 -  Parcels
 -  City Limits
 -  Georgetown ETJ





KASBERG, PATRICK & ASSOCIATES, LP
CONSULTING ENGINEERS
Texas Firm F-510

Temple
One South Main Street
Temple, Texas 76501
(254) 773-3731

RICK N. KASBERG, P.E.
R. DAVID PATRICK, P.E., CFM
THOMAS D. VALLE, P.E.
GINGER R. TOLBERT, P.E.
ALVIN R. "TRAE" SUTTON, III, P.E., CFM
JOHN A. SIMCIK, P.E., CFM

Georgetown
1008 South Main Street
Georgetown, Texas 78626
(512) 819-9478

August 9, 2019

Chelsea Irby
City of Georgetown
406 W 8th St
Georgetown, TX 78626

Re: Letter of Intent
Kasberg, Patrick & Associates, LP Building – Siding Replacement

Dear Ms. Irby:

We are submitting this application to request a variance from the Design Guidelines to utilize alternate siding material for our building located at 1008 South Main Street. As discussed previously, the siding and trim on our building is deteriorating rapidly. Since we purchased the building in 2012, we have on two separate occasions replaced deteriorated siding with the same pine siding material. Below are pictures of the deteriorated siding:



Picture 1: Deteriorated Siding and Trim



Picture 1: Deteriorated Siding and Trim



Picture 3: Deteriorated Siding

We have consulted with two different contractors to review the situation and provide recommendations for repair. Both contractors recommended replacement of the existing pine siding and trim with a similar Hardieplank siding and trim. Prior to our purchase of the property in 2012, one of contractors we consulted with had worked on the building for many years replacing the deteriorated wood siding and trim. Their evaluation of what is causing this deterioration is a factor of soft material, weather elements and short eaves that allows the water to cascade down the siding versus away from it. The sections that are deteriorating at a faster rate are located on the north side of the building that does not get much sun, resulting moisture remaining on the siding for longer periods.

Based on the information provided to us, we respectfully request to replace the existing wood siding and associated trim pieces (pine) with Hardieplank, Aspyre Collection, Artisan V-Groove Siding and Trim Boards. The paint scheme proposed is identical to the current paint scheme, which is identified on the attached Architectural Rendering. Below are sample pictures of the product. We have also included product samples and specifications attached to this application.



Picture 4: Artisan V-Groove Siding Sample No. 1



Picture 5: Artisan V-Groove Siding Sample No. 1

Page Four
Ms. Chelsea Irby
August 9, 2019

Please feel free to contact me should you have any questions and/or need any additional information regarding this application.

Sincerely,

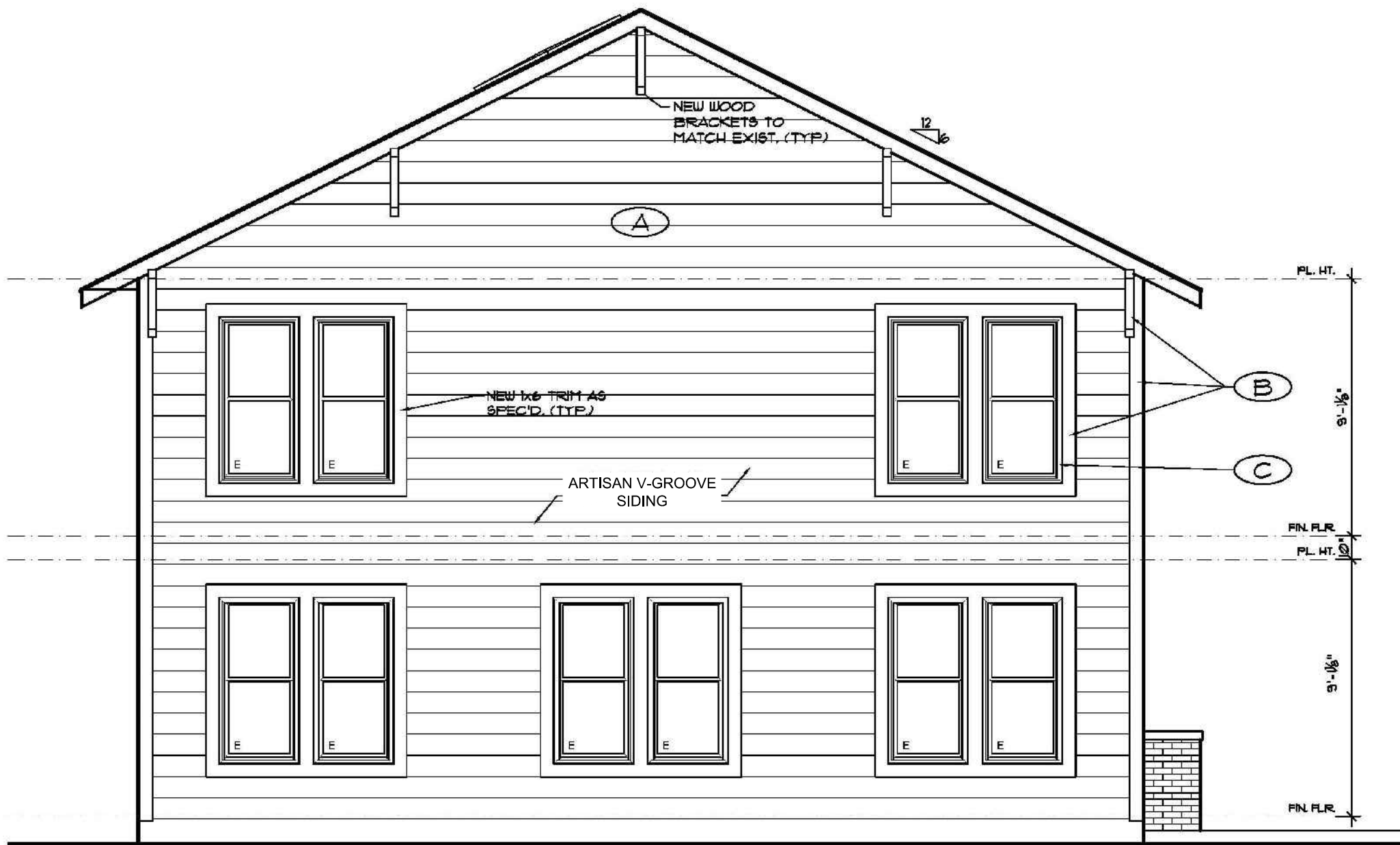
A handwritten signature in blue ink, appearing to read "Alvin R. Sutton III". The signature is fluid and cursive, with the first name "Alvin" being the most prominent part.

Alvin R. (Trae) Sutton III, P.E.

ARS/

PAINT SCHEDULE (A)	
A.	SU-2845 - 'BUNGLEHOUSE'
B.	SU-2833 - 'ROYCROFT VELLUM'
C.	SU-2833 - 'ROYCROFT VELLUM'
NOTE: ALL COLORS ARE BY SHERWIN WILLIAMS PAINTS.	
CONTRACTOR TO APPLY 2-COATS OVER PRIMED SURFACE.	

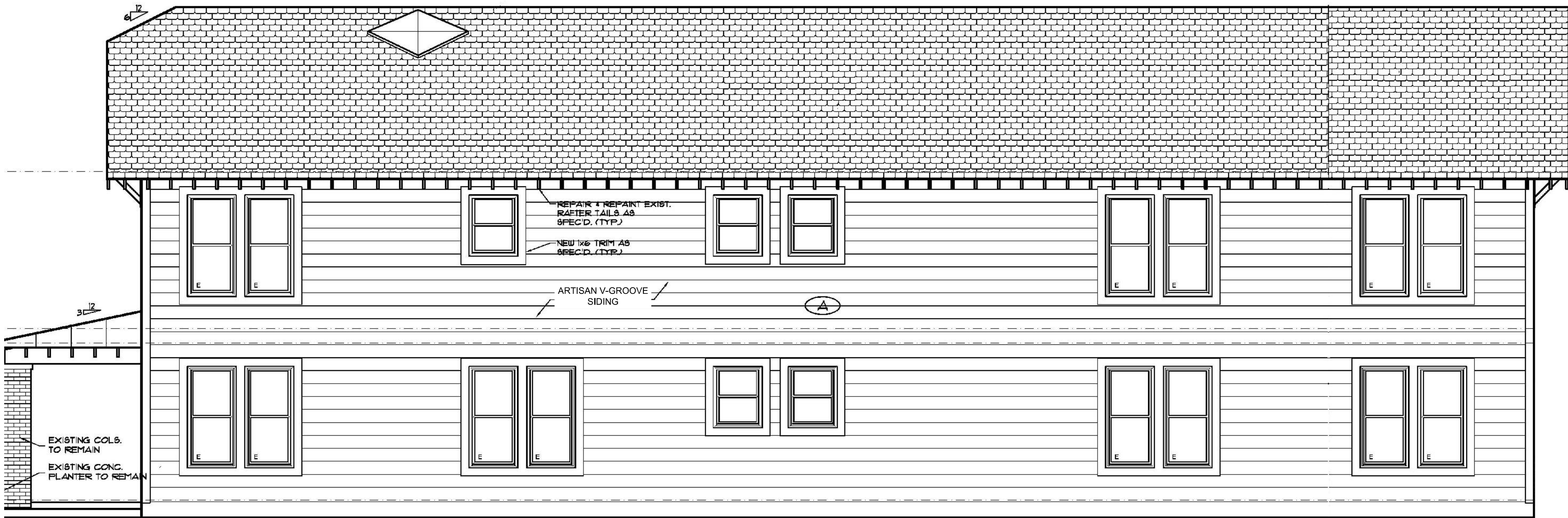
NEW SIDING SHALL BE
HARDIEPLANK, ASPYRE COLLECTION, ARTISAN V-GROOVE SIDING



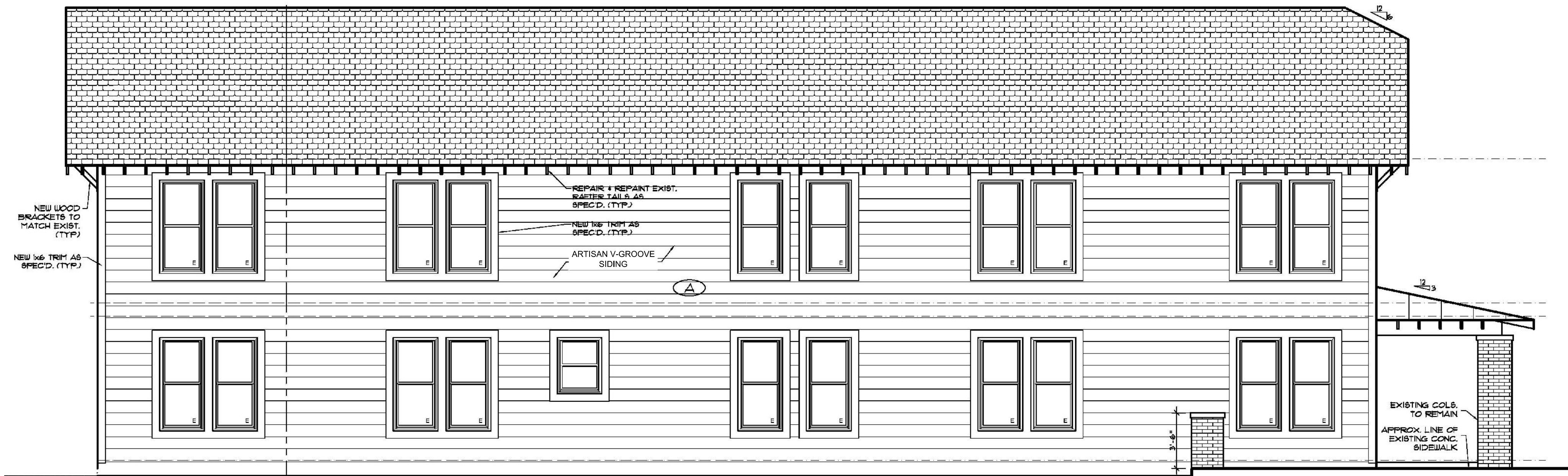
2 WEST ELEVATION



1 EAST ELEVATION



2 NORTH ELEVATION



1 SOUTH ELEVATION

artisan

Siding | Trim™

RETHINK
THE CLASSICS

Thick Artisan® siding

casts gorgeous shadow lines, recreating milled cedar profiles with lower maintenance.

Lock Joint System

helps enable faster, cleaner installation. Orient vertically, horizontally or use as soffit.

Tongue and Groove System

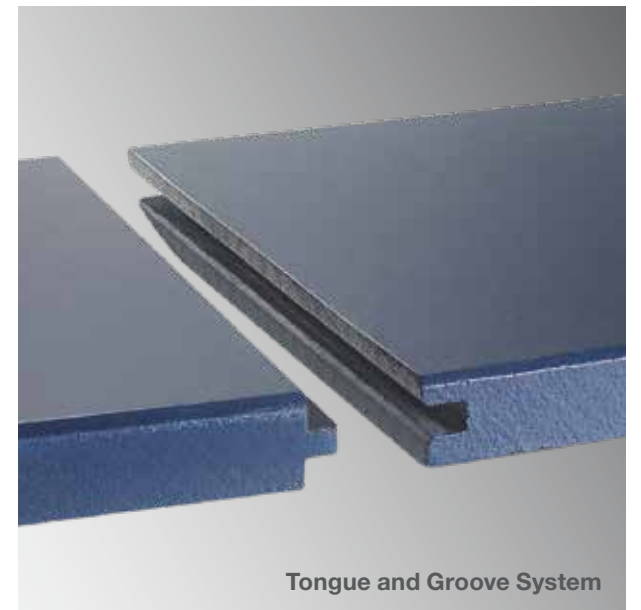
saves time on installation while providing a precise fit and seamless look.

Mitered corners

add sophistication to your design and can be crafted on-site with any Artisan® profile.



Lock Joint System



Tongue and Groove System



Mitered corners



LOCK JOINT

PROFILES



ARTISAN® V-GROOVE SIDING

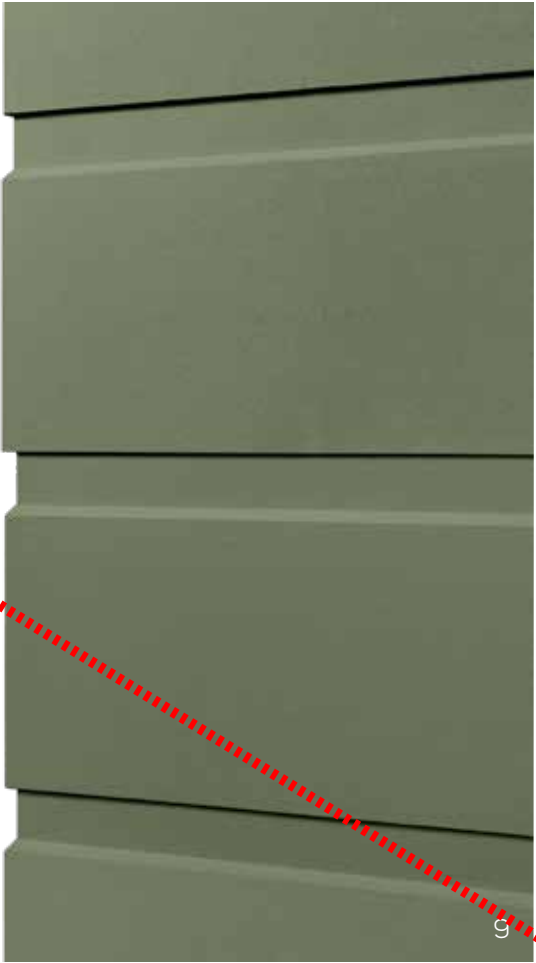
- Deep v-shaped channels
- Great for vertical, horizontal and soffit applications

WIDTH	THICKNESS	TEXTURE	FINISH	PROFILE
8.25 in (7.0 in Exposure)	5/8 in	Smooth	Primed	WIDTH x DEPTH 0.5 in x 0.263 in

ARTISAN® BEVEL CHANNEL SIDING

- Chiseled lines emphasize its deep channels
- Adds an upscale accent to every home

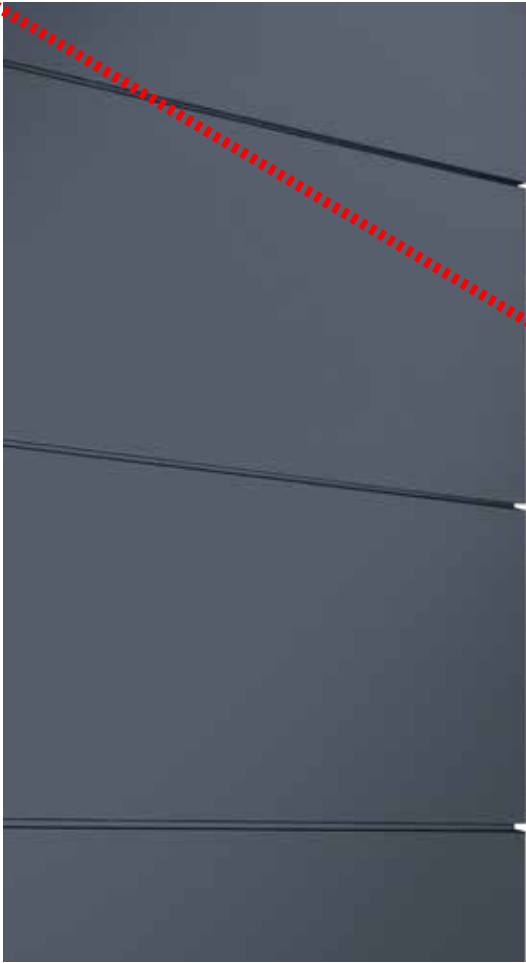
WIDTH	THICKNESS	TEXTURE	FINISH	PROFILE
10.25 in (9.0 in Exposure)	5/8 in	Smooth	Primed	WIDTH x DEPTH 1.68 in x 0.263 in





LOCK JOINT

PROFILES



ARTISAN[®] SHIPLAP SIDING

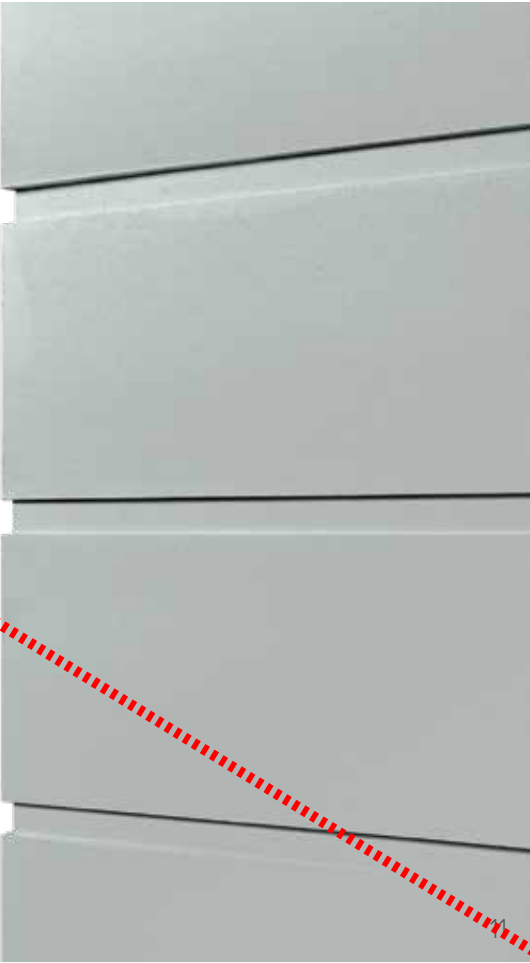
- Brings charm to any home
- Design flexibility from modern to rustic

WIDTH	THICKNESS	TEXTURE	FINISH	PROFILE
10.25 in (9.0 in Exposure)	5/8 in	Smooth	Primed	WIDTH x DEPTH 0.15 in x 0.263 in

ARTISAN[®] SQUARE CHANNEL SIDING

- Defined right-angle cuts
- Uniquely wide channel exposure

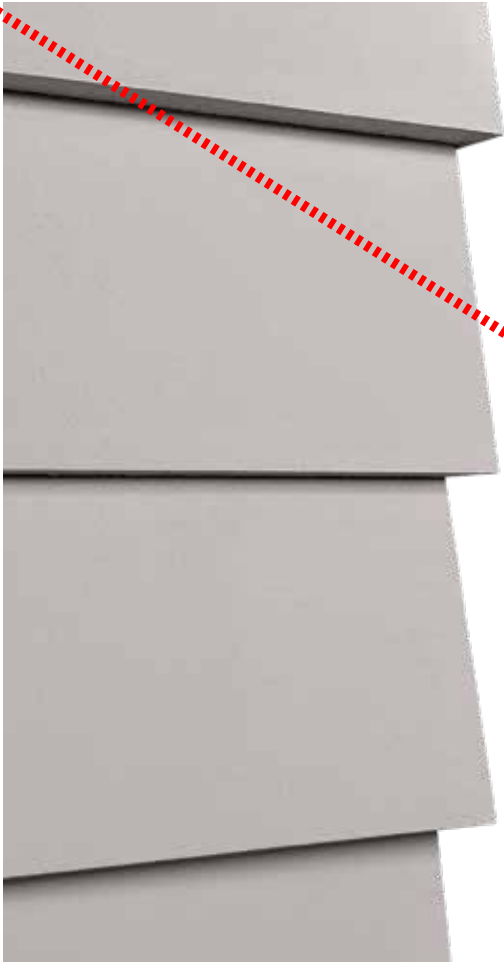
WIDTH	THICKNESS	TEXTURE	FINISH	PROFILE
10.25 in (9.0 in Exposure)	5/8 in	Smooth	Primed	WIDTH x DEPTH 1.0 in x 0.263 in





TONGUE & GROOVE

PROFILES



ARTISAN® LAP SIDING

- Casts deep shadow lines
- Luxury look with long-lasting performance

WIDTH	THICKNESS	TEXTURE	FINISH
5.25 in (4.0 in Exposure)	5/8 in	Smooth and Woodgrain	Primed
7.25 in (6.0 in Exposure)			
8.25 in (7.0 in Exposure)			

ARTISAN® BEADED LAP SIDING

- Tailored touch replicates traditional coastal style
- Creates a strong horizontal definition

WIDTH	THICKNESS	TEXTURE	FINISH
8.25 in (7.0 in Exposure)	5/8 in	Smooth	Primed



ARTISAN® TRIM

- Perfect partner for Artisan® profiles
- Thick boards for distinctly deep shadow lines

WIDTH	THICKNESS	WEIGHT	LENGTH	FINISH
3.25 in and 5.5 in	1.5 in	4.55 lbs/sq ft	144.0 in	Primed



SOPHISTICATED STYLING

LOCK JOINT
PROFILES

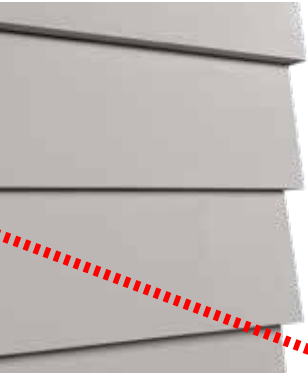


Artisan V-Groove

TONGUE & GROOVE
PROFILES



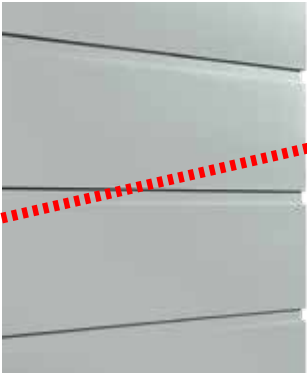
Artisan Bevel Channel



Artisan Lap



Artisan Shiplap



Artisan Square Channel



Artisan Beaded Lap

The Aspyre Collection by James Hardie™
expands your creative possibilities



ASPYRE
COLLECTION
by **JamesHardie**™

aspyredesign.com

Artisan V-Groove Siding
and Artisan Lap Siding



ASPYRE

COLLECTION

by **JamesHardie** TM

Distinctive design that's engineered to last

INTRODUCING THE ASPYRE COLLECTION BY JAMES HARDIE™



artisan + REVEAL
Siding | Trim™ Panel System™

Craft one-of-a-kind homes by integrating contrasting elements using the Aspyre Collection by James Hardie™. Ever-changing shadow lines cast by Artisan® siding add warmth to the fixed geometry of smooth Reveal® Panels.

Contents

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Artisan® V-Groove Siding

PERFORMANCE

THROUGH INNOVATION

The Aspyre Collection features the uncompromising performance you've come to expect from James Hardie.

JAMES HARDIE® FIBER CEMENT IS TOUGHER THAN THE ELEMENTS

Artisan® and Reveal® products are uniquely Engineered for Climate®—specifically designed to resist the effects of your local weather conditions.



Stands up to storms
and harsh weather



Water resistant to help
protect against swelling
and mold damage



Won't be eaten by
animals or insects



Fire resistant

TEXAS HISTORICAL COMMISSION

Properties Documented with the THC Form in 2007 and/or 1984 That Have Not Changed Preservation Priority

Address: 1008 S Main St 2016 Survey ID: 124646
 City: Georgetown 2016 Preservation Priority: Medium
 County: Williamson Local District: Downtown District

SECTION 1

Basic Inventory Information

Property Type: ☒ Building ☐ Structure ☐ Object ☐ Site ☐ District WCAD ID: R090168

Construction Date: 1925 ☐ Actual ☒ Estimated Source: 2007 survey

Latitude: 30.634438 Longitude -97.67729

Current/Historic Name None/None

Stylistic Influence(s)* ☒ None Selected

<input type="checkbox"/> Log traditional	<input type="checkbox"/> Shingle	<input type="checkbox"/> Gothic Revival	<input type="checkbox"/> Pueblo Revival	<input type="checkbox"/> International
<input type="checkbox"/> Greek Revival	<input type="checkbox"/> Romanesque Revival	<input type="checkbox"/> Tudor Revival	<input type="checkbox"/> Spanish Colonial	<input type="checkbox"/> Post-war Modern
<input type="checkbox"/> Italianate	<input type="checkbox"/> Folk Victorian	<input type="checkbox"/> Neo-Classical	<input type="checkbox"/> Prairie	<input type="checkbox"/> Ranch
<input type="checkbox"/> Second Empire	<input type="checkbox"/> Colonial Revival	<input type="checkbox"/> Beaux Arts	<input type="checkbox"/> Craftsman	<input type="checkbox"/> Commercial Style
<input type="checkbox"/> Eastlake	<input type="checkbox"/> Renaissance Revival	<input type="checkbox"/> Mission	<input type="checkbox"/> Art Deco	<input type="checkbox"/> No Style
<input type="checkbox"/> Queen Anne	<input type="checkbox"/> Exotic Revival	<input type="checkbox"/> Monterey	<input type="checkbox"/> Moderne	<input type="checkbox"/> Other:

Plan*

☐ L-plan ☐ T-plan ☐ Modified L-plan ☐ 2-room ☐ Open ☐ Center Passage ☒ Bungalow ☐ Shotgun
☐ Irregular ☐ Four Square ☐ Rectangular ☐ None Selected ☐ Other:

Priority: 2016 Survey ID: 124646 ☐ High ☒ Medium ☐ Low

Explain: Property retains a relatively high degree of integrity; property is significant and contributes to neighborhood character

2007 Survey ID: 705 ☐ High ☒ Medium ☐ Low

1984 Survey ID: 426 ☐ High ☒ Medium ☐ Low

General Notes: (Notes from 2007 Survey: windows in poor condition)

Recorded by: CMEC

Date Recorded 3/4/2016

*Photographs and Preservation Priority have been updated in 2016, and the year built date has also been reviewed. However, the plan and style data are sourced directly from the 2007 survey.



Photo direction: Northwest

Note: See additional photo(s) on following page(s)

Properties Documented with the THC Form in 2007 and/or 1984 That Have Not Changed Preservation Priority

Address:	1008 S Main St	2016 Survey ID:	124646
City	Georgetown	2016 Preservation Priority:	Medium
County	Williamson	Local District:	Downtown District

Additional Photos

Photo Direction West



Photo Direction Southwest

