

Summit at Westinghouse 2021-21-PUD

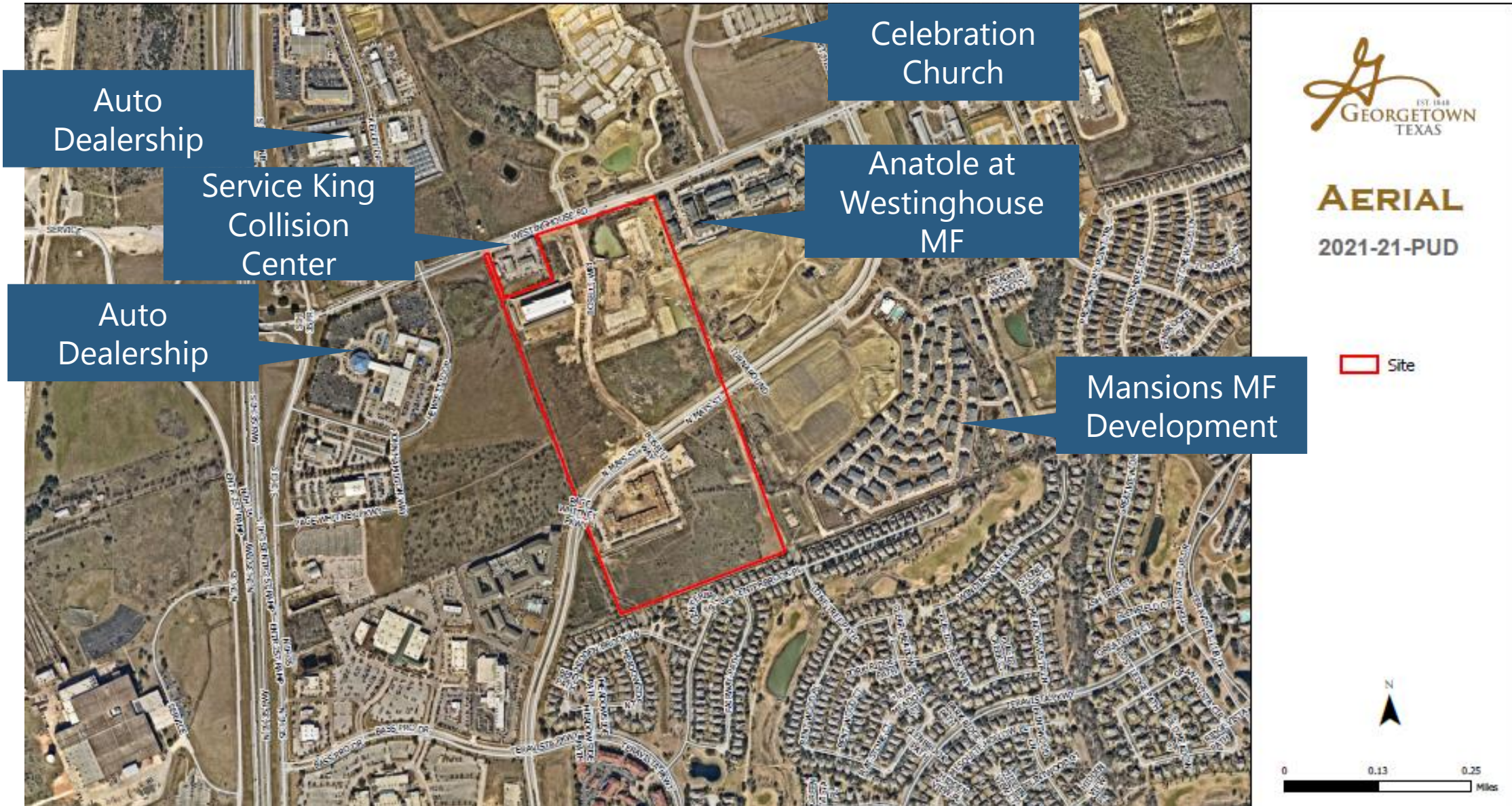
City Council
September 13, 2022

Item Under Consideration

2021-21-PUD

- Public Hearing and First Reading of an Ordinance on a request for a Zoning Map Amendment to amend the Summit at Westinghouse PUD which consists of 72 acres within the BC Low Survey, No. 51 and to amend zone F, approximately 6.00 acres, to allow an increase in self-storage square footage as well as an amendment of the zone F development standards to require retail space and increased landscaping. This site is generally located at 310 Westinghouse Road and is currently zoned Planned Unit Development District (PUD), case - (2021-21-PUD) – Colleen Russell, Principal Planner

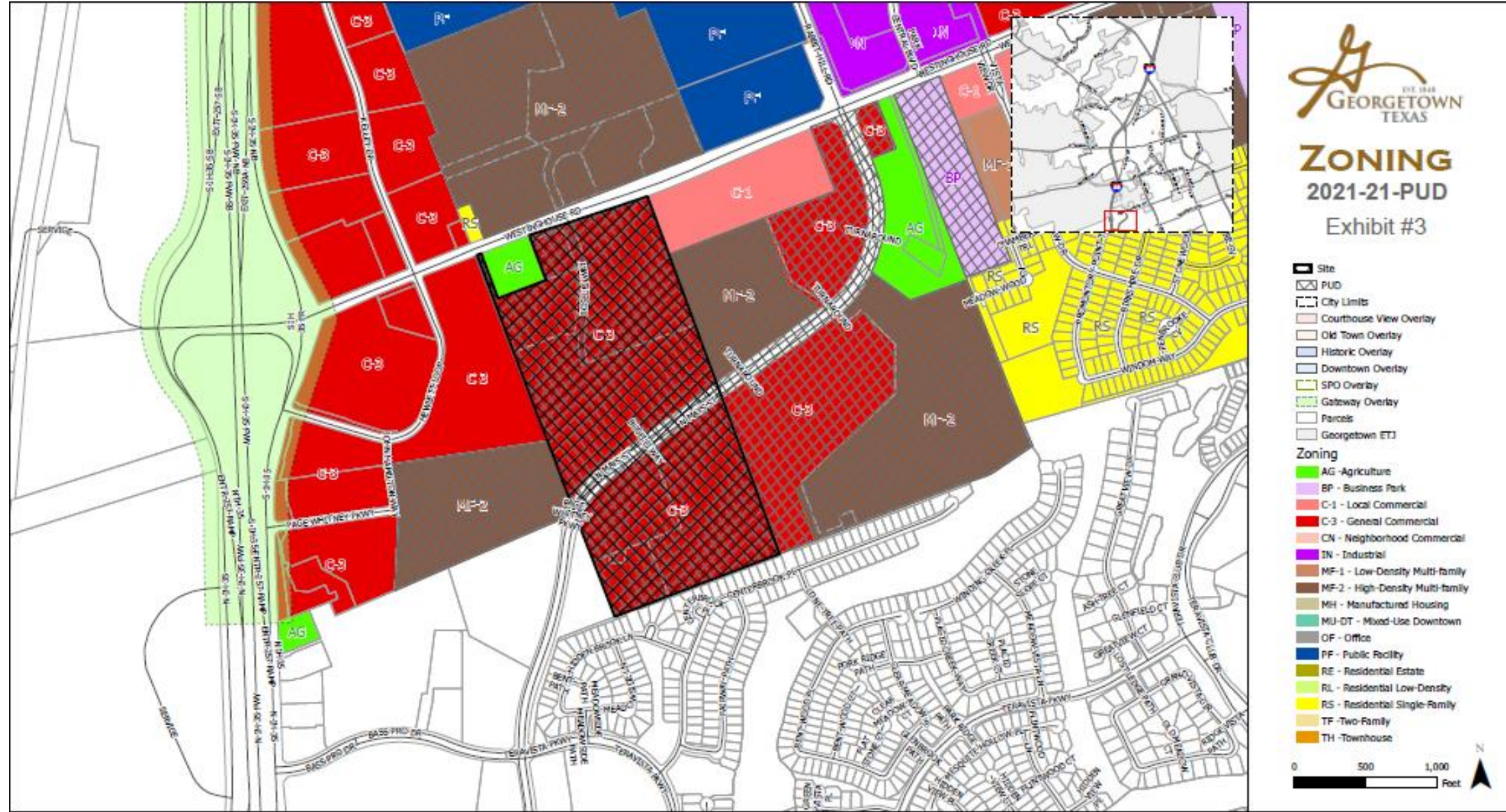
Summit at Westinghouse PUD



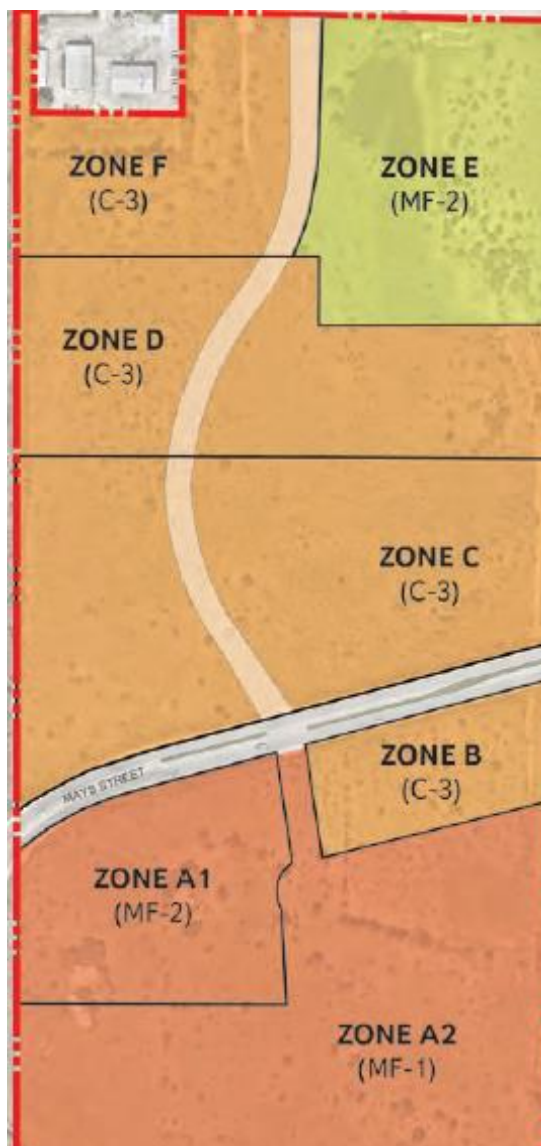
Future Land Use



Zoning



Existing PUD



Zone F. This Zone acts as a transition from the existing collision center and is intended for Self-Storage. Self-Storage shall be permitted by right without the approval of a Special Use Permit (SUP). Outdoor storage will not be permitted within this zone. C-3 uses are permitted in this zone.

Table.1 Non-Residential Development			
Zone	Use(s)	Max. Approx. Acres	Max. Building SF
F	Commercial (C-3)	6.00	180,000

Proposed PUD

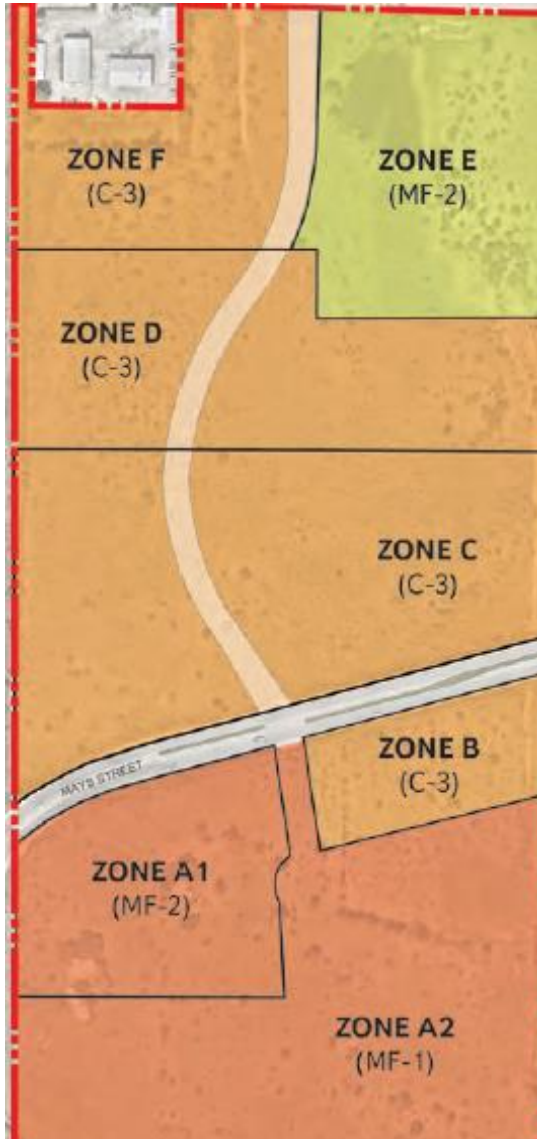


Table.2 Non-Residential Development			
Zone	Use(s)	Max. Approx. Acres	Max. BuildingSF
F	General Commercial C-3	6.00	252,000

Proposed Change Exhibit

Existing

Adjacent
Collision Center

Proposed





Approval Criteria – UDC Section 3.06.030

Criteria for Rezoning	Complies	Partially Complies	Does Not Comply
The application is complete and the information contained within the application is sufficient and correct enough to allow adequate review and final action;	X		
The zoning change is consistent with the Comprehensive Plan;		X	
The zoning change promotes the health, safety or general welfare of the City and the safe orderly, and healthful development of the City;		X	

Approval Criteria – UDC Section 3.06.030

Criteria for Rezoning	Complies	Partially Complies	Does Not Comply
The zoning change is compatible with the present zoning and conforming uses of nearby property and with the character of the neighborhood; and		X	
The property to be rezoned is suitable for uses permitted by the district that would be applied by the proposed amendment.	X		

Approval Criteria – UDC Section 3.06.040

Criteria for PUDs	Complies	Partially Complies	Does Not Comply
A variety of housing types, employment opportunities, or commercial services to achieve a balanced community.			X
An orderly and creative arrangement of all land uses with respect to each other and to the entire community.		X	
A planned and integrated comprehensive transportation system providing for a separation of pedestrian and vehicular traffic, to include facilities such as roadways, bicycle ways, and pedestrian walkways.		X	

Approval Criteria – UDC Section 3.06.040

Criteria for PUDs	Complies	Partially Complies	Does Not Comply
The provisions of cultural or recreational facilities for all segments of the community.		X	
The location of general building envelopes to take maximum advantage of the natural and manmade environment.		X	
The staging of development in a manner which can be accommodated by the timely provision of public utilities, facilities, and services.		X	

Public Notifications

- 19 property owners within the 300' buffer
- Notice in Sun News on August 21, 2022
- 1 Sign was posted on the property
- To date, staff has received:
 - 0 written comments IN FAVOR
 - 0 written comments OPPOSED

