

**GEORGETOWN TRANSPORTATION ENHANCEMENT CORPORATION
AGENDA ITEM COVER SHEET**

SUBJECT: August 2019 GTEC Updates - Wesley Wright, P.E., Systems Engineering Director/Michael Hallmark, CIP Manager

ITEM SUMMARY:

Northwest Boulevard:

Preconstruction scheduled for 8-16-19, construction to begin by the end of August
4th Quarter 2020 expected completion.

Rabbit Hill Road Improvements:

Design is tentatively complete. ROW procurement ongoing. Project limits have changed to end at the first property line North of Commerce Blvd on the East side of Rabbit Hill Rd.

Rivory Boulevard Extension:

Utility installation complete. Roadway base complete, Curb and gutter 95%, concrete flatwork 95%. D mix (final) asphalt on Rivory lanes complete. August 2019 expected substantial completion original scope. Change order to add East bound turn lane from Williams to Rivory Approved in May utility relocates for this section underway.

Southeast Inner loop/ Southwestern Blvd

Southwestern:

- Turned in preliminary alignment of the roadway (30%) for review and comment.
- Performing Hydrologic and Hydraulic calculations.

SE Inner Loop:

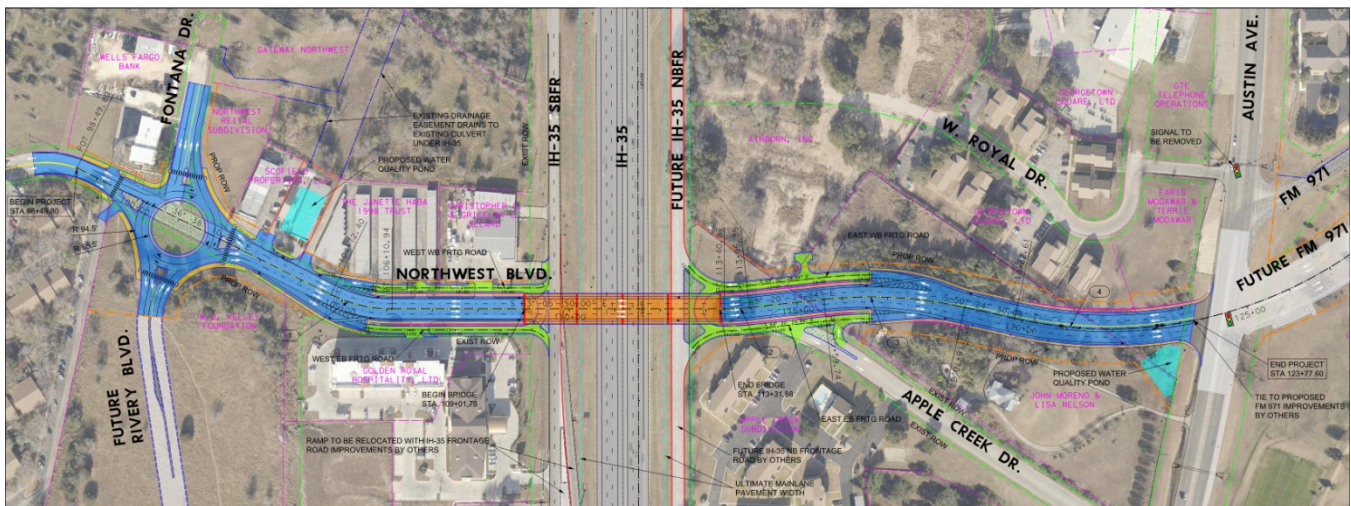
- Finalizing horizontal alignment
- Preparing constraints map

Performing hydrologic and hydraulic calculations.

ROW needs on Southwestern to be determined

**Northwest Boulevard
(Fontana Drive to Austin Avenue)
Project No. 5QX TIP No. AF
August 2019**

Project Description	Construction of overpass and surface roads to connect Northwest Boulevard with Austin Avenue and FM 971.
Purpose	This project will relieve congestion at the Austin Avenue/Williams Drive intersection and provide a more direct access from the west side of IH 35 corridor to Georgetown High School and SH 130 via FM 971.
Project Manager	Joel Weaver and Wesley Wright, P.E.
Engineer	Klotz Associates



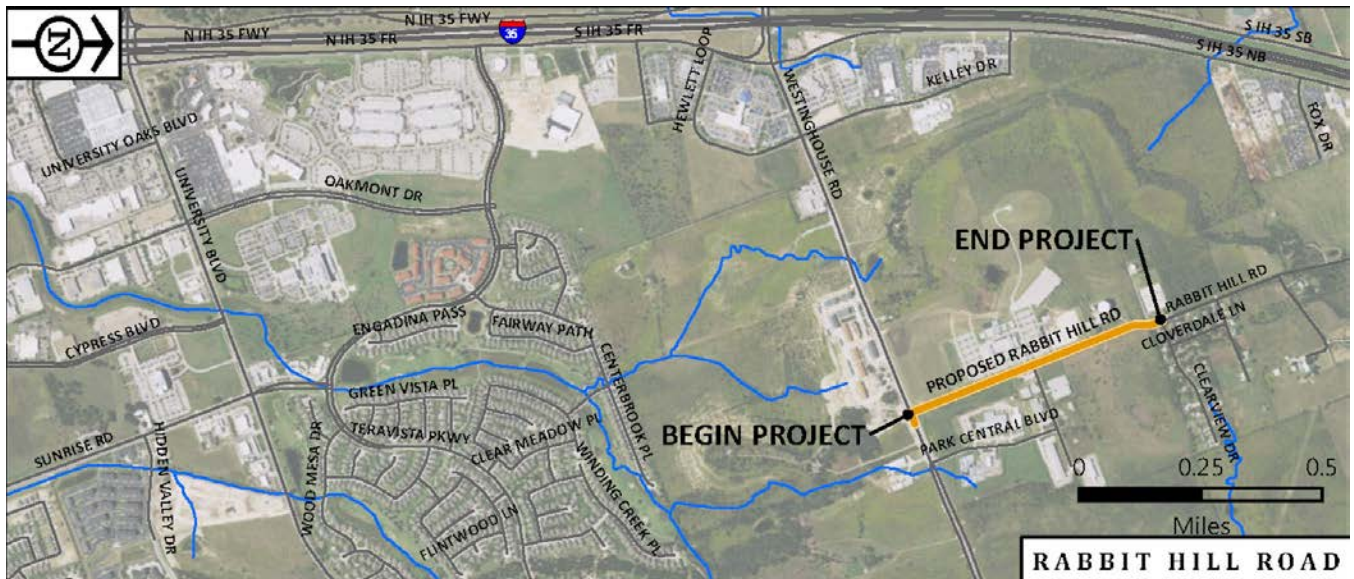
Element	Status / Issues
Design	Design is complete.
Environmental/ Archeological	Complete
Rights of Way	ROW Documents are being finalized. Preliminary outreach to landowners has been made. Offers have been made on 5 parcels. 9 parcels needed, 0 acquired to date, tentative bid late 2018.
Utility Relocations	TBD
Construction	Preconstruction scheduling underway, construction to begin in August 3 rd Quarter 2020 expected completion.
Other Issues	

Rabbit Hill Road Improvements Project
(Westinghouse Road to S. Clearview Drive)
Project No. 5RQ TIP No. BZ
August 2019

Project Description Reconstruct Rabbit Hill Road from Westinghouse Road northward to S. Clearview Dr. Widening along Westinghouse Road will also be included in the schematic for additional turning lanes to/from Westinghouse Road. The project length along the anticipated alignment is approximately 0.75 miles

Project Managers Ken Taylor and Wesley Wright, P.E.

Engineer CP&Y, Inc.



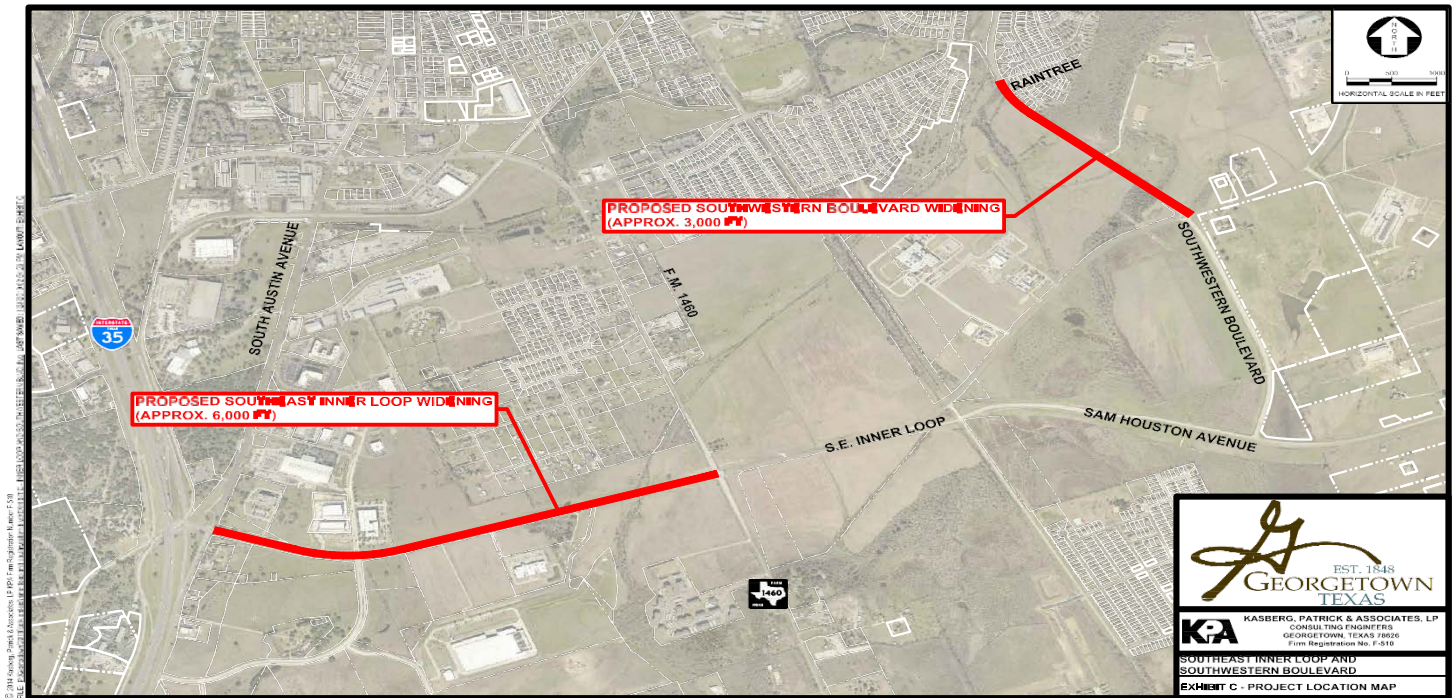
Element	Status / Issues		
Design	Final Design Tentatively complete.		
Environmental/ Archeological	Efforts underway and any issues are expected to be identified in the coming month.		
Rights of Way	ROW to be acquired late 2018, two properties acquired as part of Mays St. Extension.	Total Parcels:	9
		Possession:	2
		Pending:	0
Utility Relocations	Will be initiated as ROW/easements are acquired and as part of the bidding process. Multiple relocations expected – Round Rock water and Georgetown Electric.		
Construction	ROW procurement ongoing		
Other Issues	Project limits have changed to end at the first property line North of Commerce Blvd on the East side of Rabbit Hill Rd.		

**Widening of: SE Inner Loop - FM 1460 to Austin Avenue Roadway &
Southwestern Boulevard – Raintree Drive to SE Inner Loop Roadway**
Project No.
August 2019

Project Description FM 1460 to Austin Avenue Roadway Widening Project & Southwestern Boulevard – Raintree Drive to SE Inner Loop Roadway Widening Project (See Attached Exhibit C). The professional services will consist of providing final roadway, drainage, water, wastewater, incidental designs, as well as, utility coordination, ROW support, environmental phase I investigations, archeological investigations, geotechnical investigations, ROW & Temporary Construction Easement (TCE) metes and bounds documents, bidding documents, bidding services, and construction administration services.

Project Managers Joel Weaver and Wesley Wright, P.E.

Engineer KPA & Associates



Element	Status / Issues		
Design	Southwestern:		
	<ul style="list-style-type: none"> Turned in preliminary alignment of the roadway (30%) for review and comment. Performing Hydrologic and Hydraulic calculations. 		
Environmental/ Archeological	SE Inner Loop:		
	<ul style="list-style-type: none"> Finalizing horizontal alignment Preparing constraints map Performing hydrologic and hydraulic calculations. 		
Efforts to begin April 2019 and any issues are expected to be identified in the coming month.			
Rights of Way	ROW needs on Southwestern to be determined	Total Parcels:	0
		Possession:	0
		Pending:	0
Utility Relocations	To be determined		
Construction			

Other Issues	None.
---------------------	-------

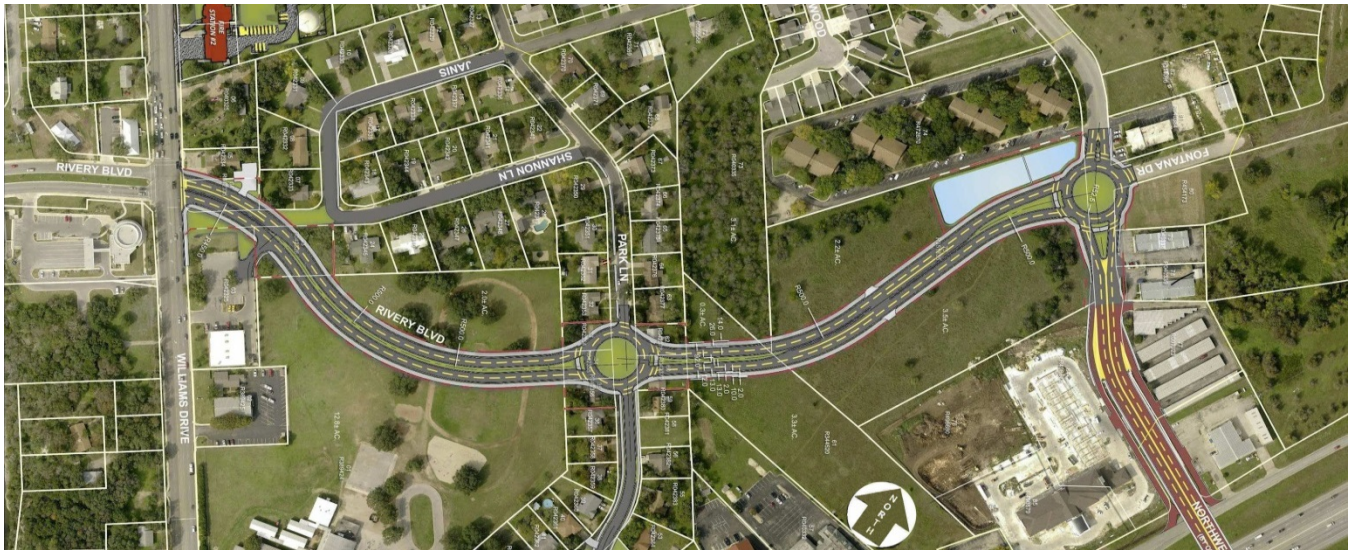
Rivory Boulevard Extension
(Williams Drive to Northwest Boulevard @ Fontana Drive)
Project No. 5RM TIP No. AD
August 2019

Project Description Develop the Rights-of-Way Map, acquire ROW, address potential environmental issues and complete construction plans specifications and estimate (PS&E) for the extension of Rivory Boulevard from Williams Drive to Northwest Boulevard at Fontana Drive in anticipation of future funding availability.

Purpose To provide a route between Williams Drive and Northwest Boulevard serving the Gateway area, providing an alternate route from Williams Drive to the future Northwest Boulevard Bridge over IH 35, to provide a route between the hotels in the Gateway area and the proposed Conference Center near Rivory Boulevard and Wolf Ranch Parkway.

Project Manager Travis Baird, Joel Weaver, and Wesley Wright, P.E.

Engineer Kasberg Patrick and Associates



Element	Status / Issues		
Design	Complete		
Environmental/ Archeology	Complete		
Rights of Way	Offers have been made on 22 parcels, and 20 have closed. Environmental assessment complete on 11 parcels in preparation for demolition. Condemnation proceedings have been requested on 2 parcels. Aggressive efforts continue to close all outstanding parcels in FY 2017.	Total Parcels:	22
		Appraised:	22
		Offers:	22
		Acquired:	20
		Closing pending:	0
		Condemnation:	2
Utility Relocations	Complete		
Construction	Utility installation complete. Roadway base complete, Curb and gutter 95%, concrete flatwork 95%. D mix (final) asphalt on Rivory lanes complete. August 2019 expected substantial completion original scope. Change order to add East bound turn lane from Williams to Rivory Approved in May utility relocates for this section underway.		
Other Issues			